

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
_____	ONSITE PROPERTY LINE / R.O.W. LINE	_____
_____	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE	_____
_____	EASEMENT LINE	_____
— ROW — ROW —	SETBACK LINE	_____

	CONCRETE CURB & GUTTER	
	UTILITY POLE WITH LIGHT	
	POLE LIGHT	
	TRAFFIC LIGHT	
	UTILITY POLE	
	TYPICAL LIGHT	
	ACORN LIGHT	
	TYPICAL SIGN	
	PARKING COUNTS	

_____ 120 _____ CONTOUR _____ 120 _____ ----- 125 ----- LINE _____ 125 _____	SPOT _____ 125.00 _____ ELEVATIONS 125.00 125.00 125.55
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	SANITARY LABEL	
	STORM LABEL	
	SANITARY SEWER LATERAL	
	UNDERGROUND WATER LINE	
	UNDERGROUND ELECTRIC LINE	
	UNDERGROUND GAS LINE	
	OVERHEAD WIRE	
	UNDERGROUND TELEPHONE LINE	
	UNDERGROUND CABLE LINE	

	SANITARY SEWER MAIN	
	HYDRANT	
	SANITARY MANHOLE	
	STORM MANHOLE	
	WATER METER	
	WATER VALVE	
	GAS VALVE	
	GAS METER	
	TYPICAL END SECTION	
	HEADWALL OR ENDWALL	
	YARD INLET	
	CURB INLET	
	CLEAN OUT	
	ELECTRIC MANHOLE	
	TELEPHONE MANHOLE	
	ELECTRIC BOX	
	ELECTRIC PEDESTAL	

	MONITORING WELL	
	TEST PIT	
	BENCHMARK	
	TEST PIT	

1. PROPERTY KNOWN AS:
PROPERTY BEING THE LAND OF DAVID SHAOL, AS RECORDED IN LIBER 30095
FOLIO 067, AMONG THE LANDS RECORDS OF PRICE GEORGE'S COUNTY,
MARYLAND SHOWN ON TAX MAP 0096 AS PARCEL 170 AND 303 PER THE
DEPARTMENT OF ASSESSMENTS.
2. TAX MAP: '96, GRID: E3.
3. WSSC 200' MAP REFERENCE NUMBER: 20B5E02.
4. PURPOSE OF SUBDIVISION: SUBDIVIDE PARCELS INTO ONE LOT FOR A
105 UNIT DWELLING UNIT RESIDENTIAL DEVELOPMENT.
5. PRIOR APPROVALS: A-9624 AND A-466037
6. TOTAL ACREAGE:
GROSS ACREAGE: 5.18 AC (ZONED R-10(L) (4.82AC) AND R-30(C) (0.36AC))
FLOOD PLAIN ACREAGE: 0.00 AC
TRACT ACREAGE (GROSS - FLOODPLAIN): 5.18 AC (ZONED R-10 AND R-30)
7. NET DEVELOPABLE AREA OUTSIDE OF PMA: 3.59AC
8. ACREAGE OF ENVIRONMENTAL REGULATED FEATURES: 1.23 AC
9. ACREAGE OF 100-YR FLOODPLAIN: NA
10. ACREAGE OF ROAD DEDICATION: 0.14 AC (8.26 SF)
11. EXISTING LAND USE/ZONING: VACANT-R-10 AND R-30C
12. PROPOSED LAND USE/ZONING: RESIDENTIAL-10/R-30C (LOTS TO BE COMBINED)
13. MINIMUM LOT SIZE REQUIRED: 20,000SF FOR MULTIFAMILY DWELLING IN THE R-10 AND R-30C
14. MINIMUM LOT WIDTH AT FRONT BUILDING LINE AND FRONT STREET LINE: 100 FEET
FOR BOTH BUILDING LINE AND STREET LINE
15. SUSTAINABLE GROWTH TIER 1.
16. ANDREWS, INTERIM LAND USE CONTROL: NO
17. THIS SITE IS LOCATED WITH THE OXON HILL ROAD CORRIDOR PER THE 2002 GENERAL
PLAN
18. GROSS FLOORED AREA:
EXISTING: NA
PROPOSED RESIDENTIAL: 106,615 SF
PROPOSED RETAIL SPACE: NA SF
19. STORMWATER CONCEPT NUMBER SDCP # 29824-20-00 (APPROVAL PENDING).
20. WATER AND SEWER CATEGORIES: W-3/S-3.
21. THE SITE IS NOT LOCATED WITHIN AN AVIATION POLICY AREA (APA).
22. PARK DEDICATION IS REQUIRED FOR RESIDENTIAL DEVELOPMENT. THE APPLICANT IS
PROPOSING RECREATIONAL FACILITIES.
23. CEMETERIES ON OR CONTIGUOUS TO THE SUBJECT PROPERTY: NO
24. THE SITE IS NOT LOCATED WITHIN A REGISTERED HISTORIC DISTRICT.
25. TYPE ONE CONSERVATION PLAN NUMBER: N.A.
26. THE SITE IS NOT LOCATED WITHIN THE CHESAPEAKE BAY CRITICAL AREA
(CBCA).
27. THERE ARE WETLANDS OR STREAMS LOCATED ONSITE AS FIELD VERIFIED
2020
28. THERE IS ONE WSSC STORM DRAIN EASEMENTS WITHIN THE PROPERTY
29. THE EXISTING AND PROPOSED NONRESIDENTIAL GFA: NA
30. NUMBER OF PROPOSED UNITS: 105 UNITS

TOPOGRAPHIC
PRINCE GEORGE'S COUNTY TOPOGRAPHIC SURVEY, CONFIRMED BY SEA ENGINEERED
SURVEY REPORT
PRINCE GEORGE'S COUNTY
"CUSTOM SOIL RESOURCE REPORT FOR PRINCE GEORGE'S COUNTY MARYLAND."
DATE: 12/17/2019

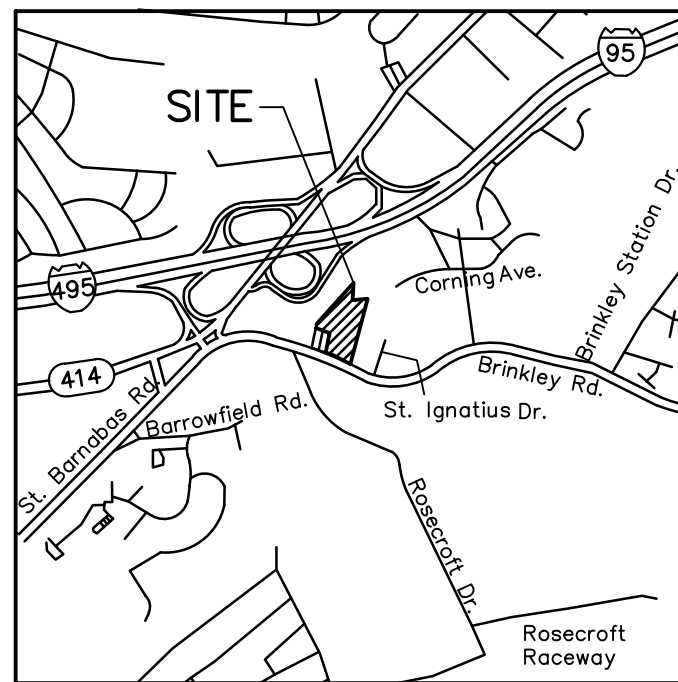
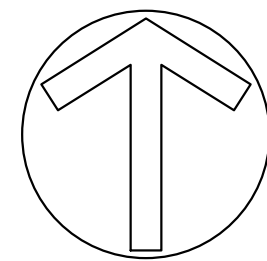
NATURAL RESOURCE INVENTORY PLAN.
SEA ENGINEERED, LLC
DATE: 2020

UTILITIES
THE FOLLOWING COMPANIES WERE NOTIFIED BY DELMARVA MISS UTILITY
SYSTEM (1-800-557-7777) AND REQUESTED TO MARK OUT UNDERGROUND
FACILITIES PROTECTING AND SERVING THIS SITE. THE UNDERGROUND
UTILITY INFORMATION SHOWN HEREIN IS BASED UPON THE UTILITY
COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): 17176854,
17176855, 17176831,
17176824 & 17176853

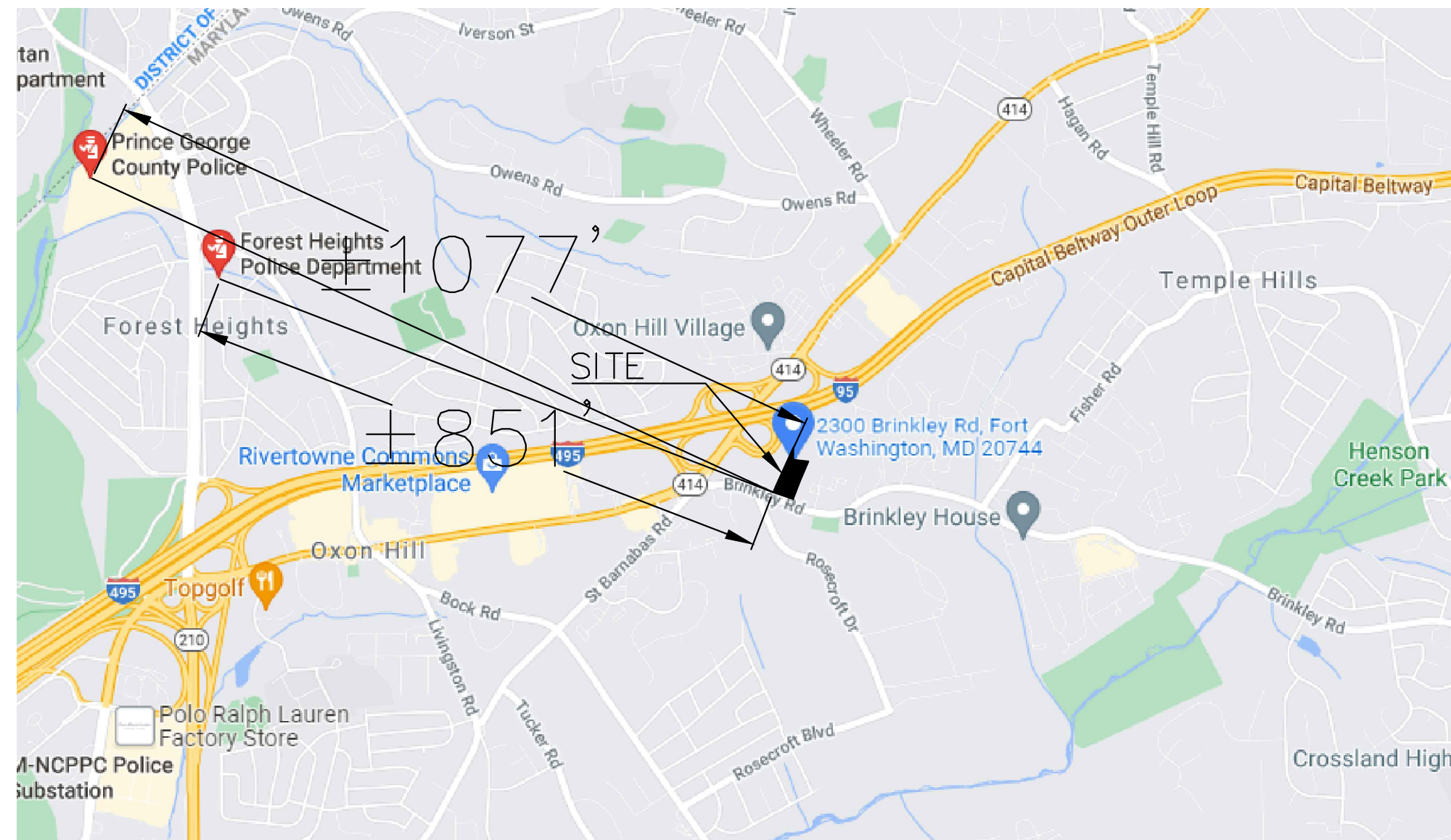
<u>UTILITY COMPANY</u>	<u>PHONE NUMBER(S)</u>
COMCAST-UTLTIQUEST	(410) 536-0701
PERIOD DCU UTILITY LOCATING	(800) 634-4385
VERIZON DAYTIME LOCATOR	(410) 713-0202
VERIZON	(410) 536-0701
WASHINGTON GAS-UTLTIQUEST	(202) 462-5500
WSSC-POINTPUC UN	(301) 868-8603

OWNER
FOREVER BAPAZ, LLC

SHEET TITLE	SHEET NUMBER
COVER SHEET	1
EXISTING CONDITIONS PLAN	2
PRELIMINARY PLAN OF SUBDIVISION	3



VICINITY MAP
SCALE: 1"=2000'

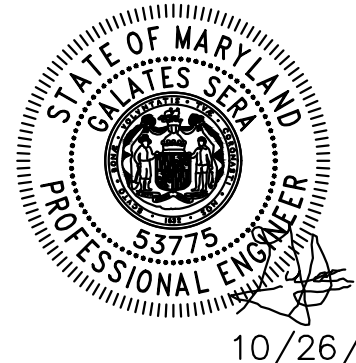


VICINITY MAP
SCALE: 1"=200'

 **SERA ENGINEERED, LLC**
4300 Georgia Ave, NW Washington, DC 20011 t: 202-556-8810 e: 202-417-8569

4300 GEORGIA AVE NW WASHINGTON, DC 20011
GEOTECHNICAL ENGINEER:
GIT CORP
14674-F SOUTHLAWN LN
ROCKVILLE, MD 20850
240-505-8154

I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME AND
THAT I AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE OF
MARYLAND LICENCE 53775 EXPIRATION
01/30/2023



10/26/2021

No.	Date	Drawing Issue	By
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DATE: OCTOBER 14 2021

DRAWN BY: GS CHECKED BY: G

S.E. JOB NUMBER: 119-041

PROJECT ADDRESS:
2222-2300 BRINKLEY RD
FORT WASHINGTON, MD 20744

PHASE

SHEET NO.:

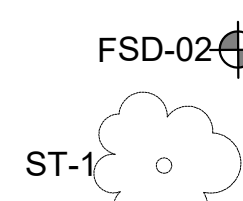
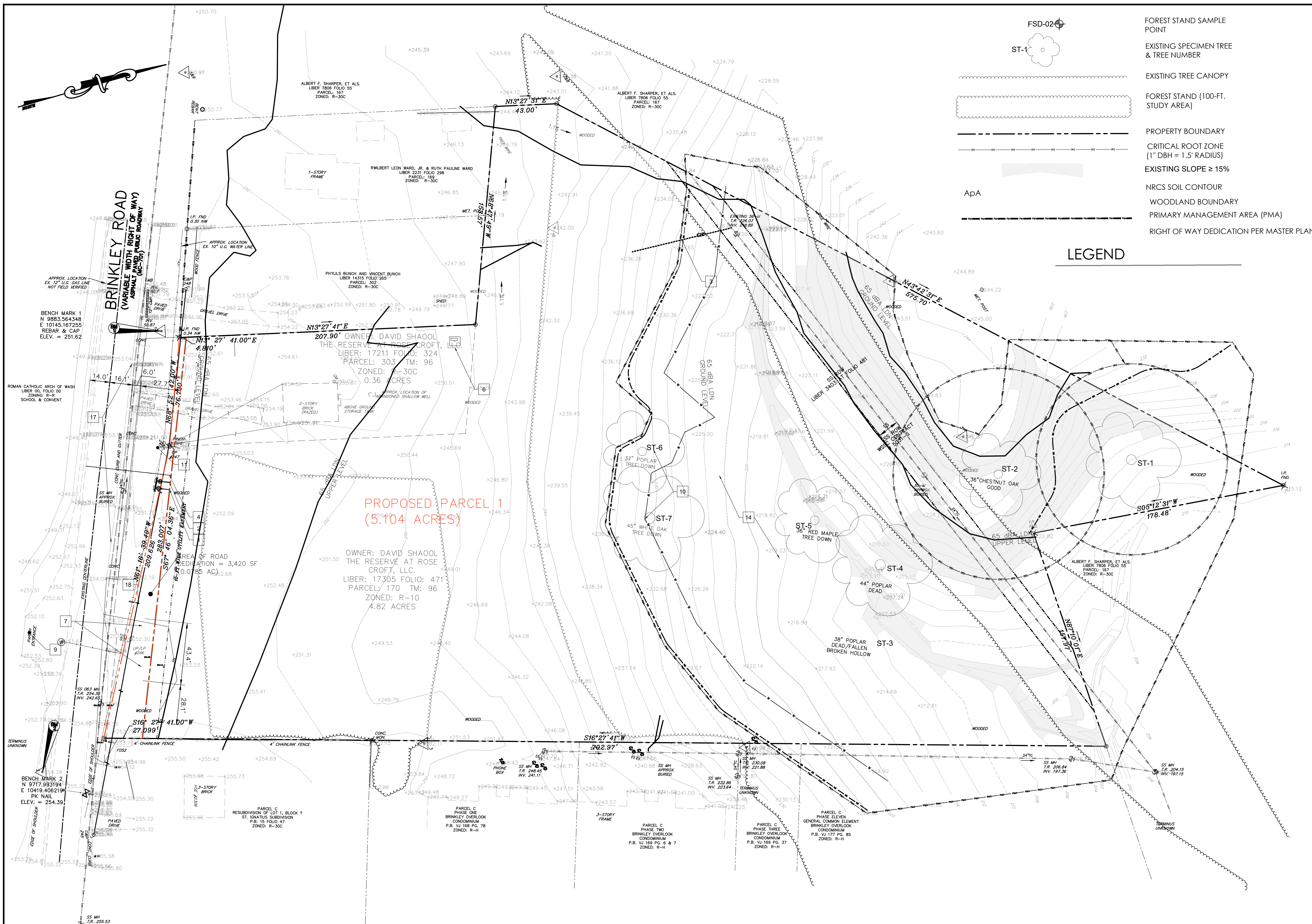
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SHEET TITLE:
COVER SHEET

SHEET SCALE.:

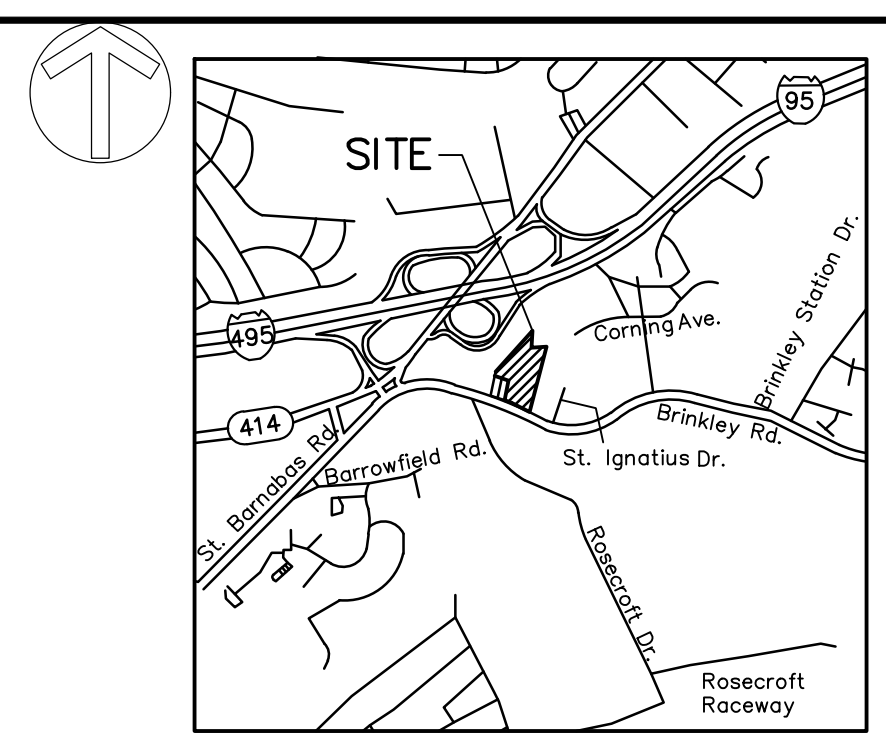
AS SHOWN





- FOREST STAND SAMPLE POINT
- EXISTING SPECIMEN TREE & TREE NUMBER
- EXISTING TREE CANOPY
- FOREST STAND (100-FT. STUDY AREA)
- PROPERTY BOUNDARY
- CRITICAL ROOT ZONE (1" DBH = 1.5' RADIUS)
- EXISTING SLOPE ≥ 15%
- NRCS SOIL CONTOUR
- WOODLAND BOUNDARY
- PRIMARY MANAGEMENT AREA (PMA)
- RIGHT OF WAY DEDICATION PER MASTER PLAN

LEGEND



- VICINITY MAP**
SCALE: 1"=200'
- SITE PLAN LEGEND**
- EXISTING
- PROPOSED
- LANDSCAPED AREA
- PERMEABLE PAVEMENT
- PAVED AREA/CONCRETE WALK
- BUILDING
- DOMESTIC WATER LINE
- WATER METER
- CURB STOP
- SANITARY CLEANOUT
- SANITARY SERVICE
- DOWNSPOUT
- CLEANOUT
- OBSERVATION WELL

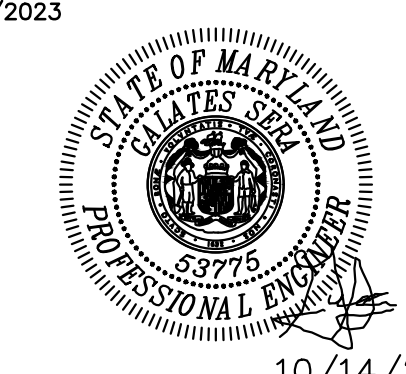
SITE PLAN KEYNOTES

1. 4" DIP DOMESTIC WATER SERVICE:
10"x6" DIP TEE W/ CONCRETE THRUST BLOCK (DC WATER STD. W-40.01)
(UTILIZE DIP SWIVEL TEE IF REQUIRED DUE TO SPACE CONSTRAINTS)
6" GATE VALVE & CASNG (DC WATER STD. W-20.01)
6"x4" DIP REDUCER
4" DIP LATERAL
4" DOMESTIC WATER METER & VAULT (DC WATER DG-23.01)
4" DIP LATERAL CONNECTION TO NEW BUILDING
2. 6" DIP FIRE WATER SERVICE:
10"x6" DIP TEE W/ CONCRETE THRUST BLOCK (DC WATER STD. W-40.01)
(UTILIZE DIP SWIVEL TEE IF REQUIRED DUE TO SPACE CONSTRAINTS)
6" GATE VALVE & CASNG (DC WATER STD. W-20.01)
6" DIP LATERAL
SEE PLUMBING PLANS FOR CONTINUATION INTO WATER ROOM
3. 6" SANITARY SEWER LATERAL:
6" SCH40 PVC LATERAL
6" CLEANOUT (DC WATER STD. S-80.02)
6" SCH40 PVC LATERAL
6" CONNECTION TO SEWER (DC WATER STD. S-80.01)
4. NATURAL GAS, BY OTHERS
6. ABOVE GROUND PEPCO ELECTRIC TRANSFORMER
7. VEHICLE ENTRANCE AND EXIT
8. HOME PREVIOUSLY RAZED, EXISTING WELL AND SEPTIC SYSTEM TO BE FIELD VERIFIED AND ABANDONED AS NEEDED
9. EXISTING DRIVEWAY FOR THE PARISH CHURCH
10. TREES PREVIOUSLY FALLEN PER NRI
11. AREA FOR ROAD DEDICATION, UP TO ROW
12. UNUSED
13. UNUSED
14. AREA TO NOT BE DISTURBED AND TO BE PROTECTED DURING CONSTRUCTION
15. UNUSED
16. UNUSED
17. EXISTING CURB, GUTTER AND SIDEWALK TO BE RELOCATED, TYP.
18. UTILITY POLE TO BE RELOCATED, COORDINATE RELOCATION WITH UTILITY COMPANY

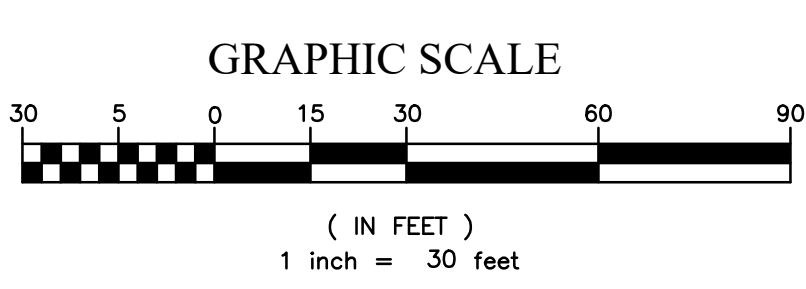
SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF THAT THE INFORMATION AND PROPERTY LINES SHOWN HEREON WERE TAKEN FROM A FIELD RUN BOUNDARY SURVEY OR AVAILABLE RECORDS.

Galates Sera
GALATES SERA
PROFESSIONAL ENGINEER
MD REG NO 53775
EXPIRATION 1/30/2023



10/14/2021



PROJECT NARRATIVE:

THIS PROJECT IS FOR THE CONSTRUCTION OF A NEW APARTMENT BUILDING TO HAVE 85 TO 105 UNITS. THERE ARE CURRENTLY TWO LOTS AND THERE IS ONE LOT TO BE SUBDIVIDED. THE EXISTING SITE IS CURRENTLY VACANT. AS A RESULT OF THE NEW DEVELOPMENT, THERE WILL BE AN EXTENSION OF ROAD, NEW DRIVEWAYS ENTRANCES, STORMWATER MANAGEMENT, GRADING AND UTILITY CONNECTION WITH VA COORDINATION WITH UTILITY COMPANIES.

FOR STORMWATER MANAGEMENT, THERE WILL BE TWO DIFFERENT CONTRIBUTING DRAINAGE AREAS WITHIN THE SITE. FOR THE FIRST, THE NEW PARKING LOT AND BUILDING WILL BE TREATED AND RETAINED USING PERMEABLE PAVEMENT AND INFILTRATION TRENCH. THE REMAINDER OF THE SITE IS MOSTLY PERVIOUS AND WILL DRAIN TO EXISTING STREAM IN MIDDLE OF SITE, THE AREA GOING INTO THIS STREAM HAS SIGNIFICANTLY REDUCED, AS A RESULT THERE SHOULD NOT BE AN ISSUE WITH THIS STREAM "HANDLING" THE REDUCED DRAINAGE AREA.

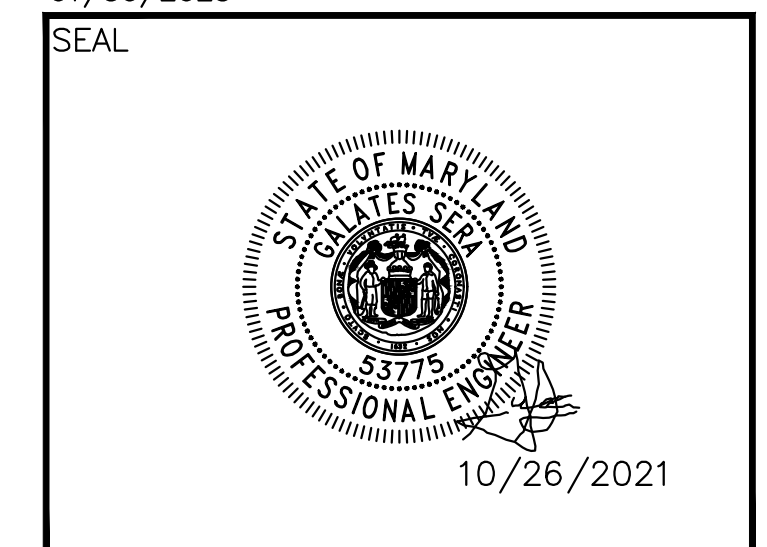
PRELIMINARY PLAN OF SUBDIVISION PPS 4-21023 FOR 2300 BRINKLEY RD APARTMENTS

APPLICANT: 95 FOREVER BAPAZ, LLC
1730 EDGEGWOOD HILL CIRCLE
SUITE 101
HAGERSTOWN, MD 21740
301-992-6122

CIVIL ENGINEER:
SERA ENGINEERED, LLC
14674-F SOUTHLAWN LN
ROCKVILLE, MD 20850
240-505-8154

GEOTECHNICAL ENGINEER:
GIT CORP
14674-F SOUTHLAWN LN
ROCKVILLE, MD 20850
240-505-8154

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REVISIONS			
No.	Date	Drawing Issue	By
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DATE: OCTOBER 14 2021
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PHASE:

SHEET NO.:
3

SHEET TITLE:
PRELIMINARY PLAN OF SUBDIVISION

SHEET SCALE:
AS SHOWN

