

CASE YERGAT

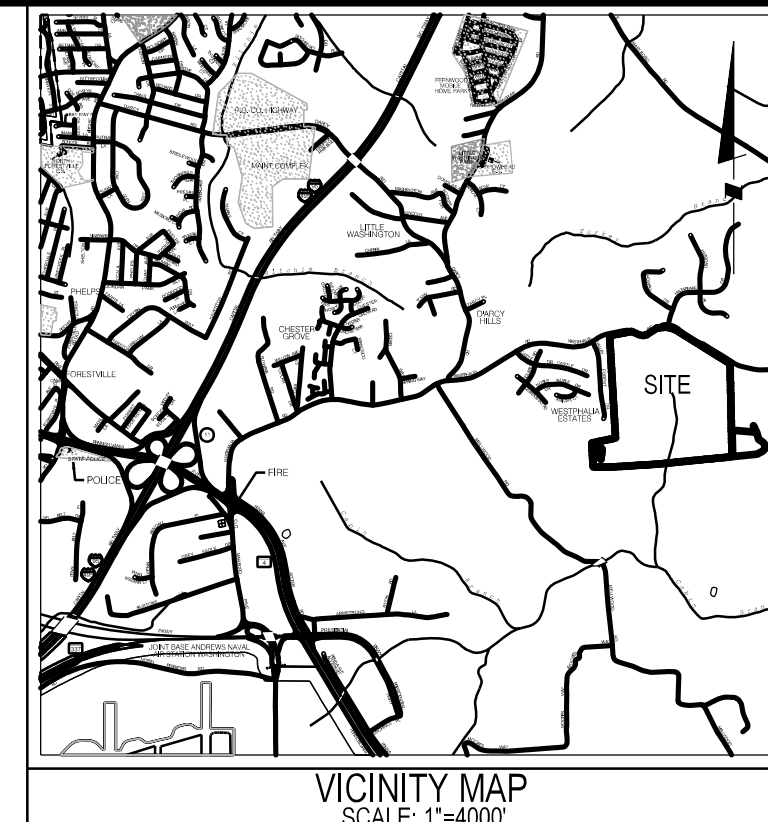
4-21049

PROFESSIONAL LAND SURVEYOR'S CERTIFICATION
I HEREBY CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF THAT THE INFORMATION AND PROPERTY LINES SHOWN HEREON WERE TAKEN FROM A FIELD RUN BOUNDARY SURVEY.

CHRISTOPHER J. VALLTOS
PROPERTY LAND SURVEYOR
MD REG. NO. #21886
EXPIRES: 09/29/22



DATE
5/13/2022



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Engineering
Planning
Environmental Sciences

Single-Family Detached Units

STANDARDS*	
Minimum Net Lot Area	4,000 square feet
Minimum Front Yard Setback	20 feet
Minimum Rear Yard Setback	20 feet**
Minimum Side Yard Setback (one side/combined)	4 feet/8 feet
Minimum Lot Width at Street Line	40 feet
Minimum Lot Width at Front BRL	40 feet
Minimum Lot Width at Street (cul-de-sac)	25 feet
Maximum Height	50 feet
Maximum Lot Coverage	60 percent
Minimum Rear Yard Area	900 square feet

Single-Family Attached (Townhouse) Units

STANDARDS*	
Minimum Net Lot Area	1,200 square feet
16-foot-wide	1,200 square feet
20-foot-wide	1,400 square feet
22-foot-wide	1,600 square feet
24-foot-wide	1,800 square feet
Minimum Front Yard Setback	10 feet
Minimum Lot Width at Street Line	16 feet**
Minimum Lot Width at Front BRL	16 feet**
Minimum Distance Between Buildings	15 feet
Minimum Gross Living Space	1,250 square feet
Maximum Height	50 feet
Minimum Rear Yard Area	300 square feet

- GENERAL NOTES:
- PARCEL 5: DEED REF: L-5419 F-393. PLAT: N/A
PARCEL 19: DEED REF: L-5539 F-532. PLAT: N/A
(THERE ARE TWO PARCEL 5s AND TWO PARCEL 19s WHICH COMPRISE THE SUBJECT PROPERTY. EACH PAR MAY BE FOUND UNDER ONE USERFOLIO)
 - TAX MAP & GRID: 82-F4 R3.44, 50-F1, 51-A1, 51-B1
 - WSSC 200 FT REF: 2045609, 2065609
 - PURPOSE OF SUBDIVISION: SINGLE FAMILY ATTACHED AND DETACHED SUBDIVISION
 - PRIOR APPROVALS: A-6971, A-6972-A1, A-6973-02, COP-0601, COP-0601-01
 - GROSS ACREAGE: 158.26 AC +/-
 - NET ACREAGE: 158.21 AC
 - NET DEVELOPABLE OUTSIDE OF PMA: 133.86 AC +/-
 - ENVIRONMENTAL REGULATED FEATURES: 24.25 AC +/-
 - 100 YEAR FLOODPLAIN: 2.07 AC +/-
 - ROAD DEDICATION: WESTHALIA RD: 0.80 AC
P-816: 1.89 AC
P-817: 0.46 AC
AC-331: 1.17 AC
ALL OTHER INTERNAL PUBLIC: 16.95 AC
ALL OTHER INTERNAL PRIVATE: 3.13 AC
 - EXISTING ZONING: R-M
 - PROPOSED USE: SINGLE FAMILY DETACHED AND ATTACHED
 - PROPOSED NUMBER OF LOTS: 610 LOTS
 - PROPOSED NUMBER OF PARCELS: 58 PARCELS
 - PROPOSED CHANGING UNIT BY TYPE: 493 SINGLE FAMILY DETACHED
117 SINGLE FAMILY ATTACHED
 - DENSITY ALLOWED: PER BASIC PLAN (3.6 S.F. DU/AC)
DENSITY PROPOSED: 610 DU/158.21 AC= 3.86 DU/AC
 - MINIMUM LOT SIZE REQUIRED: N/A
 - MINIMUM LOT WIDTH AT: FRONT BLDG LINE: N/A
FRONT STREET LINE: N/A
 - SUSTAINABLE GROWTH TIER: YES, TIER 1
 - MILITARY INSTALLATION OVERLAY ZONE: RIGHT RUNWAY (E)
 - CENTER OF CORRIDOR LOCATION: N/A
 - EXISTING GROSS FLOOR AREA TO REMAIN: 0 SF
 - STORMWATER MANAGEMENT CONCEPT #0802-2021-0
 - EXISTING WATERSEWER DESIGNATION: W-4 S-4
 - PROPOSED WATERSEWER DESIGNATION: W-4 S-4
 - AVIATION POLICY AREA: N/A
 - MANDATORY PARK DEDICATION: NO. ON-SITE PUBLIC FACILITIES ARE BEING PROPOSED IN LIEU OF DEDICATION
 - CEMETERIES ON OR CONTIGUOUS TO PROPERTY: YES
 - HISTORIC SITES ON OR IN THE VICINITY OF THE PROPERTY: YES
DUNBLANE SITE AND CEMETERY: ID # 7-1010
 - TYPE ONE CONSERVATION PLAN: YES, TOP-006-08
 - SITE IS NOT WITHIN CHESAPEAKE BAY CRITICAL AREA
 - WETLANDS PRESENT ON SITE: YES
 - STREAM PRESENT ON SITE: YES
 - SOLS: ADELPHI-HOLMDEL COMPLEX, CROOM-MARR COMPLEX, DODON FINE SANDY LOAM, EVERBROOK-DOWNER COMPLEX, ISSUE 3A1 LOAM, MARPOODON COMPLEX, WOODTOWN SANDY COMPLEX, WOODWATER AND ISSUE SOLS
 - THE SOURCE OF THE SOLS INFORMATION: USDA NRCS WEB SOIL SURVEY (WSS)
 - NOT ADJACENT TO AN EASEMENT HELD BY THE MARYLAND ENVIRONMENTAL TRUST, THE MARYLAND AGRICULTURAL LAND PRESERVATION FOUNDATION, OR ANY TRUST ORGANIZATION.

LEGEND	
PROPERTY BOUNDARY	
EXISTING 1" CONTOUR	
EXISTING 2" CONTOUR	
PROPOSED WATER	
PROPOSED SEWER	
EXISTING SEWER	
MASTER PLANNED RIGHT OF WAY	
PRIMARY MANAGEMENT AREA	
100 YEAR FLOODPLAIN	
REGULATED STREAM (CENTERLINE)	
REGULATED STREAM BUFFER	
EXISTING WOODLANDS	
SHRUBS	
NON-WOODLAND VEGETATION	
EASEMENT	
STEEP SLOPES 15%-25%	
STEEP SLOPES 25% OR GREATER	

#	Parcel	Acreage	Proposed Use	Disposition
1	A	0.0873	Open Space / SWM	HOA
2	B	0.4991	Open Space / SWM	HOA
3	C	0.1149	Open Space / SWM	HOA
4	D	1.8611	Open Space / SWM	HOA
5	E	1.3700	Open Space / SWM	HOA
6	F	0.1561	Open Space / SWM	HOA
7	G	1.1925	Open Space / SWM	HOA
8	H	0.1747	Open Space / SWM	HOA
9	I	0.2084	Open Space / SWM	HOA
10	J	1.8003	Open Space / SWM	HOA
11	K	0.8485	Open Space / SWM	HOA
12	L	0.0708	Open Space / SWM	HOA
13	M	0.2893	Open Space / SWM	HOA
14	N	1.2300	Open Space / SWM	HOA
15	O	2.8963	Open Space / SWM	HOA
16	P	0.0621	Open Space / SWM	HOA
17	Q	2.4474	Open Space / SWM	HOA
18	R	1.5187	Open Space / SWM	HOA
19	S	2.2902	Open Space / SWM	HOA
20	T	0.7172	Open Space / SWM	HOA
21	U	0.2517	Open Space / SWM	HOA
22	V	0.1826	Open Space / SWM	HOA
23	W	0.1818	Open Space / SWM	HOA
24	X	0.4915	Open Space / SWM	HOA
25	Y	0.7672	Open Space / SWM	HOA
26	Z	6.2281	Open Space / SWM	HOA
27	AA	1.8096	Open Space / SWM	HOA
28	BB	1.7938	Open Space / SWM	HOA
29	CC	2.8943	Open Space / SWM	HOA
30	DD	1.0082	Open Space / SWM / Historic	HOA
31	EE	0.2708	Open Space / SWM	HOA
32	FF	1.3770	Open Space / SWM	HOA
33	GG	0.8981	Open Space / SWM	HOA
34	HH	0.1520	Open Space / SWM	HOA
35	II	1.9182	Open Space / SWM	HOA
36	JJ	3.8514	Open Space / SWM	HOA
37	KK	0.7222	Open Space / SWM	HOA
38	LL	0.5559	Open Space / SWM	HOA
39	MM	0.5037	Open Space / SWM	HOA
40	NN	0.1948	Open Space / SWM	HOA
41	OO	0.0812	Open Space / SWM	HOA
42	PP	0.1732	Open Space / SWM	HOA
43	QQ	0.1660	Open Space / SWM	HOA
44	RR	0.1033	Open Space / SWM	HOA
45	SS	0.1033	Open Space / SWM	HOA
46	TT	0.1033	Open Space / SWM	HOA
47	UU	0.1033	Open Space / SWM	HOA
48	VV	0.1030	Open Space / SWM	HOA
49	WW	1.1214	Open Space / SWM	HOA
50	XX	0.2297	Open Space / SWM	HOA
51	YY	0.0962	Open Space / SWM	HOA
52	ZZ	0.4820	Open Space / SWM	HOA
53	AAA	1.1753	Open Space / SWM	HOA
54	BBB	0.0937	Open Space / SWM	HOA
55	CCC	0.1604	Open Space / SWM	HOA
56	DDD	0.5629	Open Space / SWM	HOA
57	EEE	2.3954	Open Space / SWM	HOA
58	FFF	3.1236	Private Road	HOA

PRELIMINARY PLAN OF SUBDIVISION. 4-21049
PRELIMINARY PLAN OF SUBDIVISION
CASE YERGAT
4-21049

TAX MAP 91.81	ZONING CATEGORY: R-M
WSSC 200 SHEET 2055609, 2055610	SITE DATUM HORIZONTAL: VERTICAL:
DATE: 5/13/2022 DESIGNED: GAM TECHNICAL: GAM CHECKED: D/B VERSION: V6/NCS	PROJECT NO. 4150-00-00