

**ITEM:**

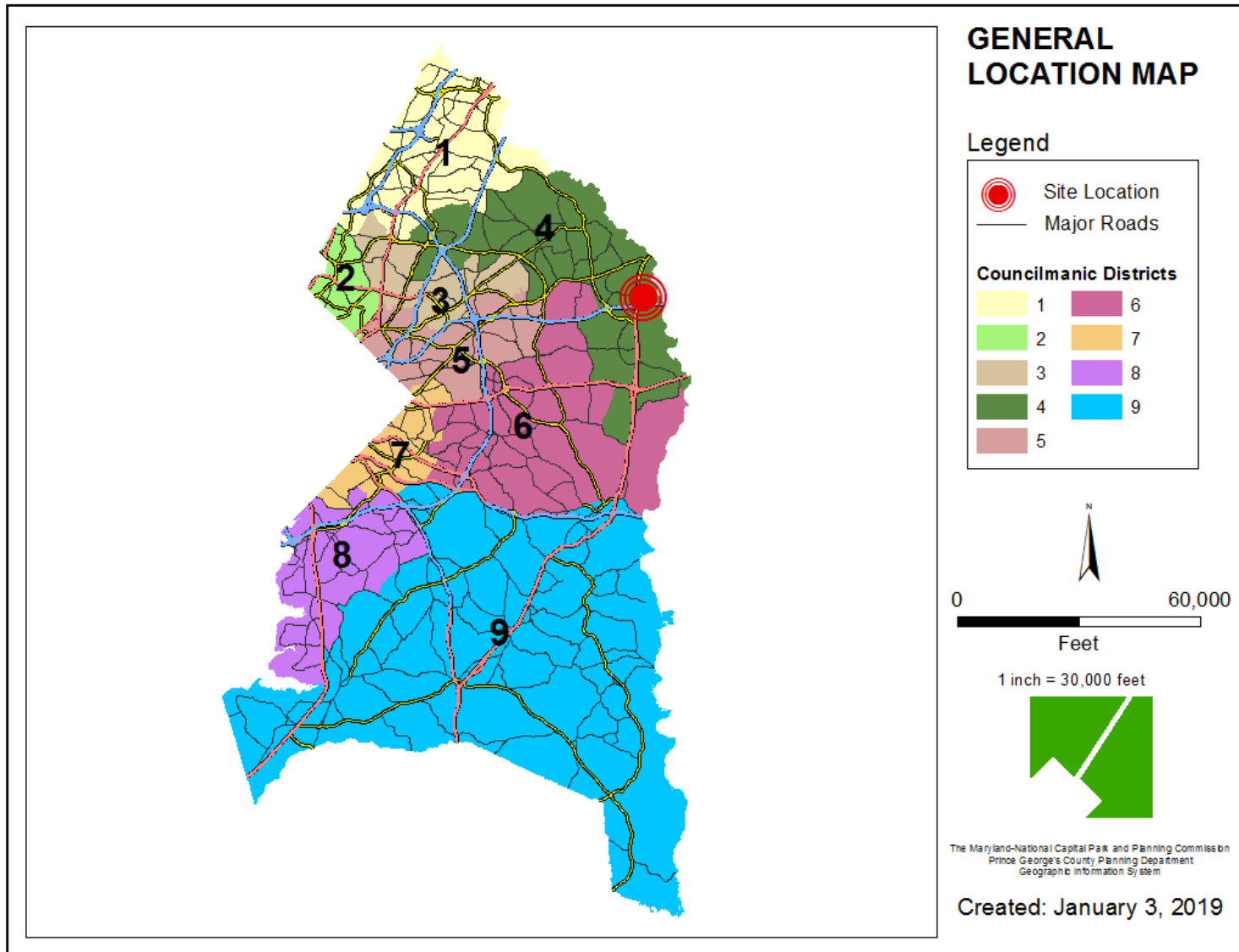
**CASE: DSP-18026**

# **RETAIL AT MELFORD TOWN CENTER**

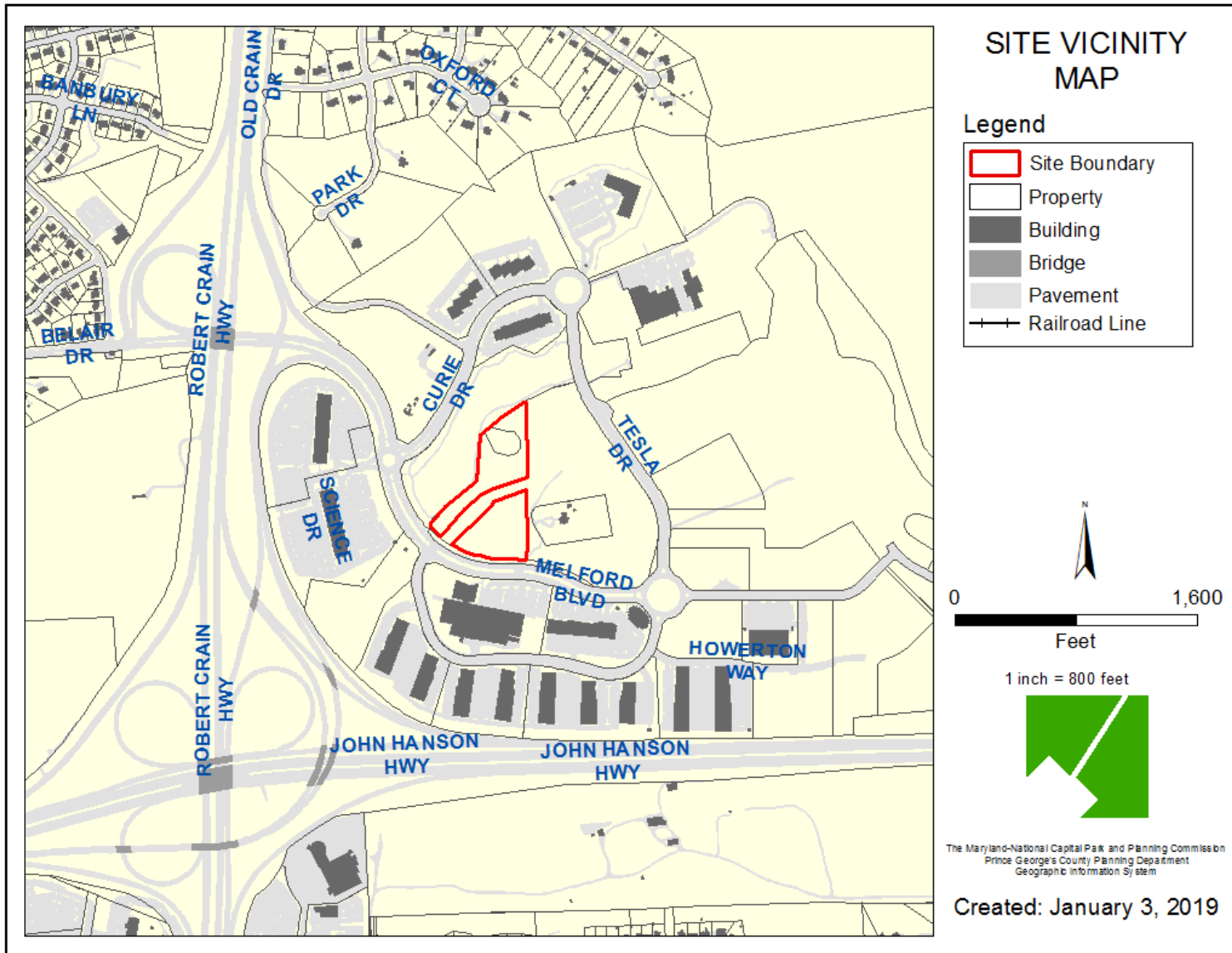
**THE PRINCE GEORGE'S COUNTY PLANNING DEPARTMENT**



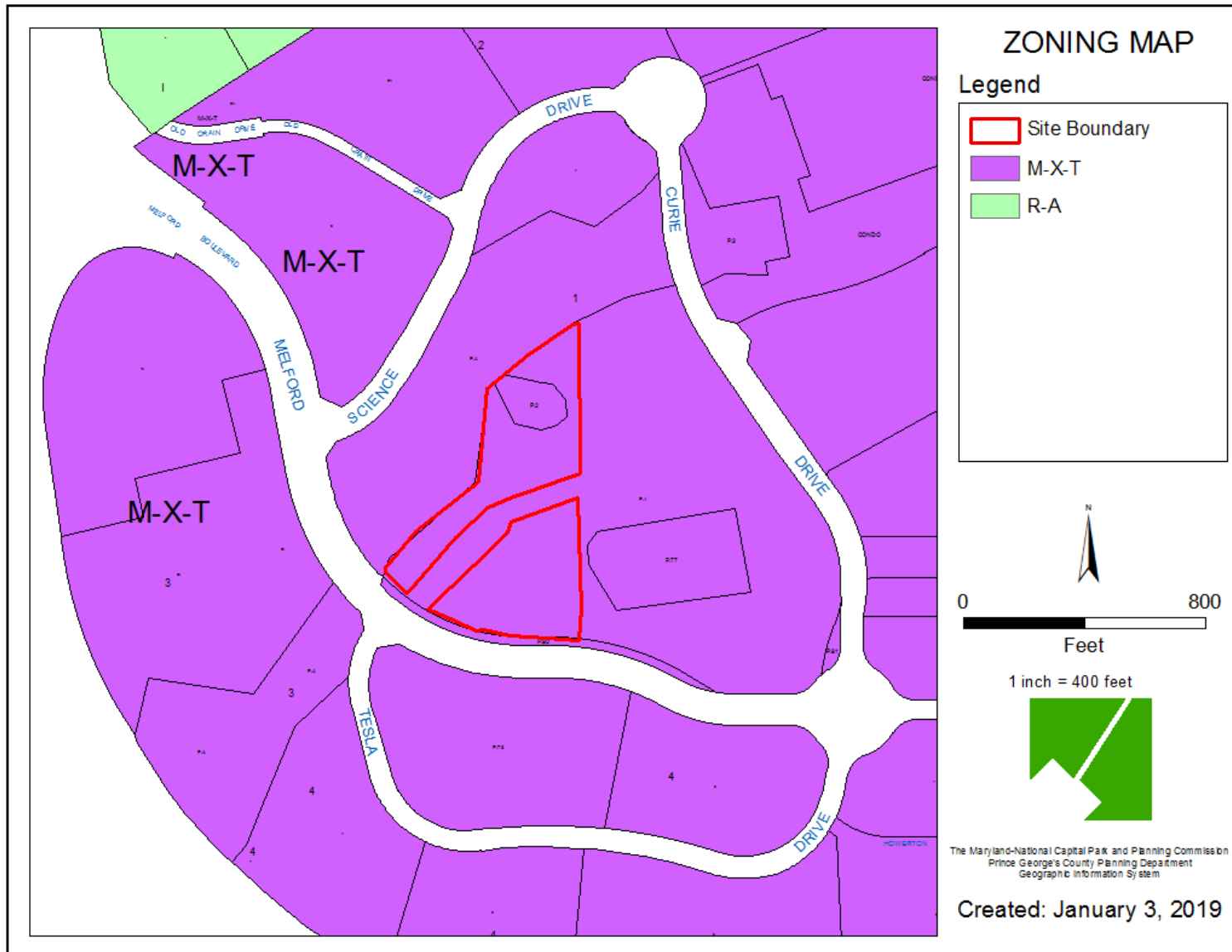
# GENERAL LOCATION MAP



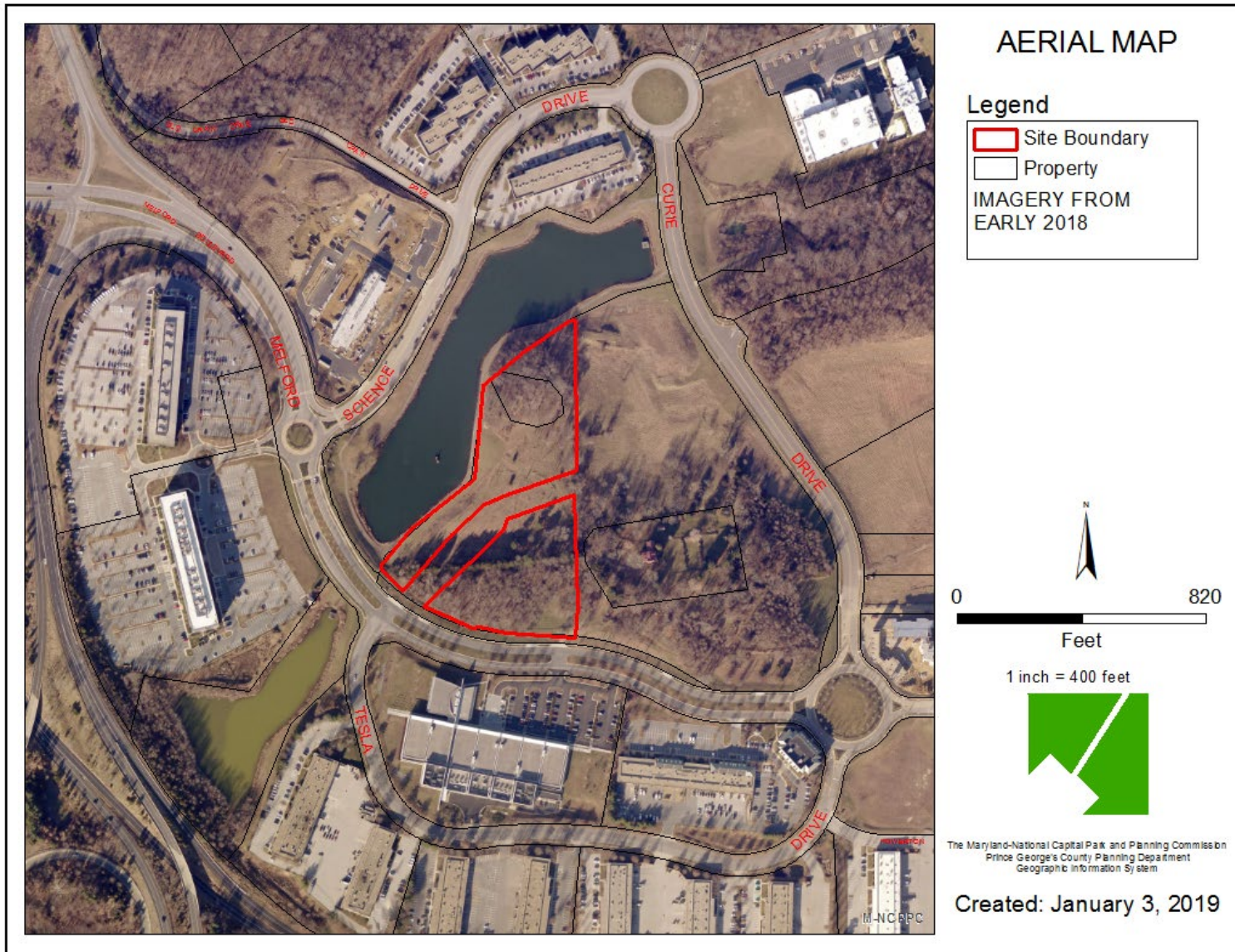
# SITE VICINITY



# ZONING MAP

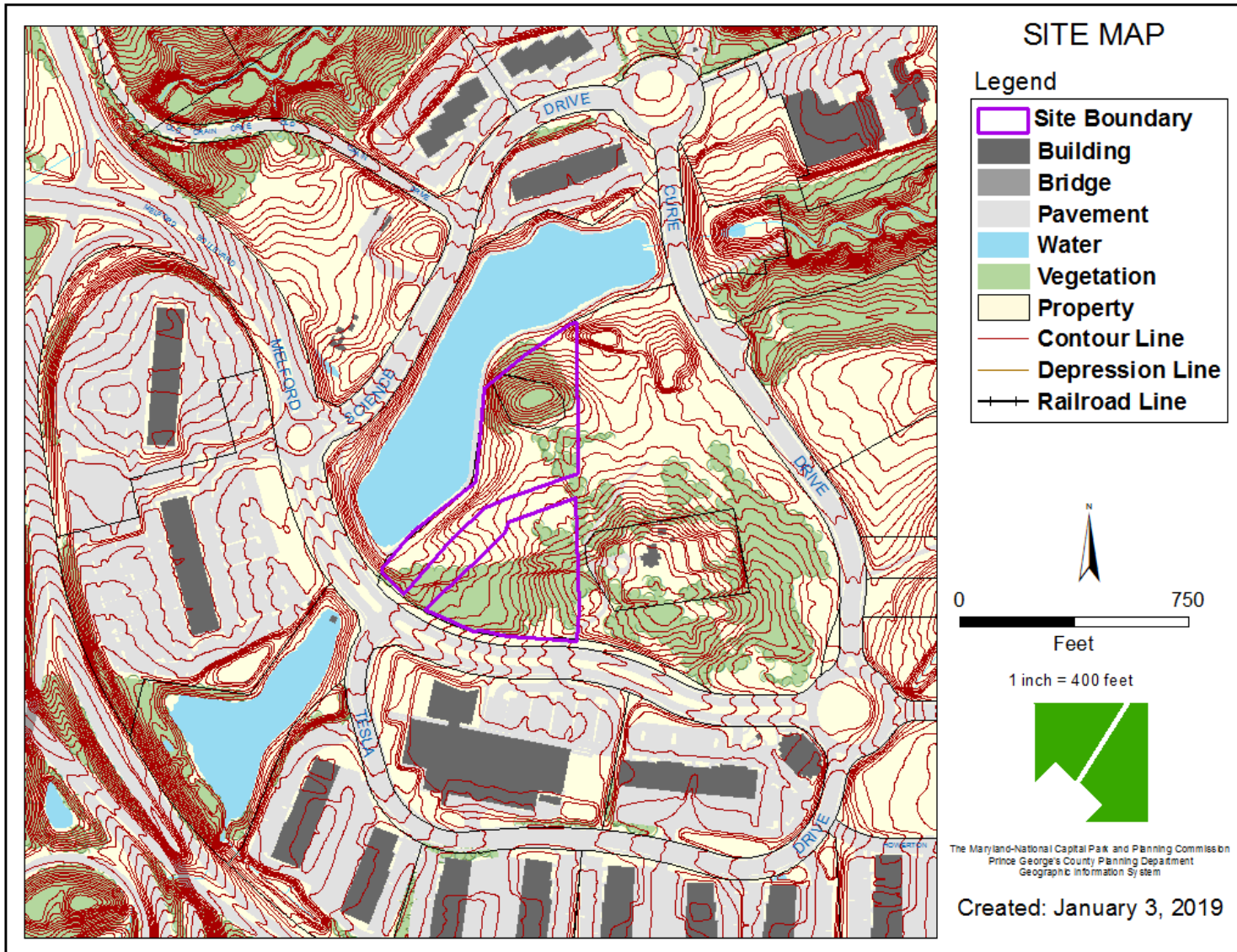


# AERIAL MAP

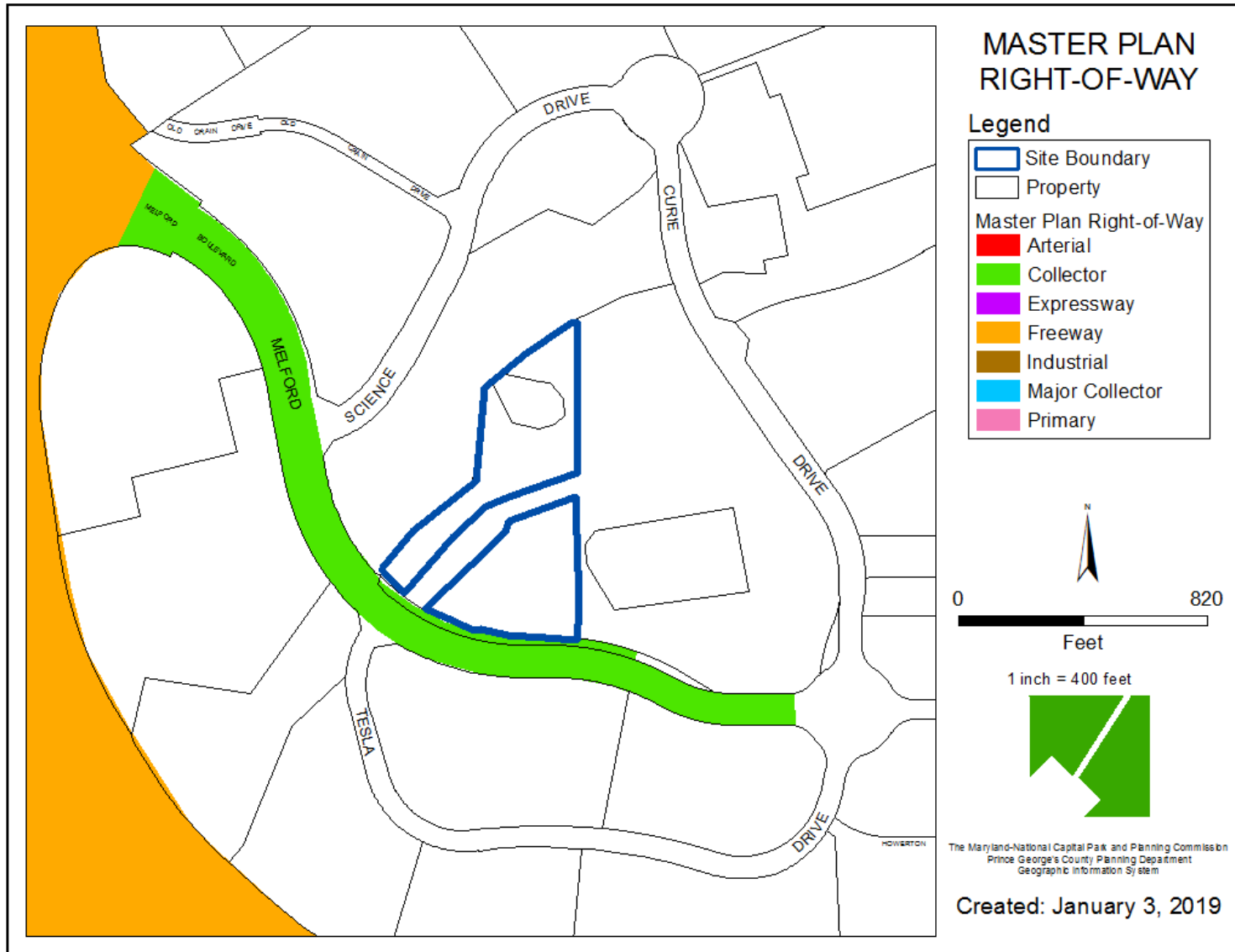




# SITE MAP



# MASTER PLAN RIGHT-OF-WAY MAP



# RENDERED SITE PLAN



Retail Village East  
Melford  
TOWN CENTER





# BUILDING ONE ELEVATIONS

THIS BLOCK IS FOR  
OFFICIAL USE ONLY

OR LABEL CERTIFIES THAT THIS PLAN  
MEETS CONDITIONS OF FINAL APPROVAL  
BY THE PLANNING BOARD, ITS DESIGNEE  
OR THE DISTRICT COUNCIL.

M-NCPPC  
APPROVAL

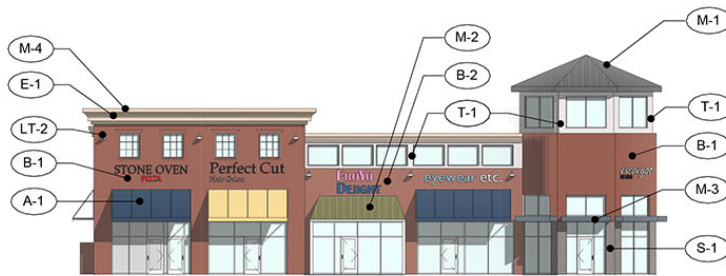
PROJECT NAME: THE RETAIL AT MELFORD TOWN CENTER

PROJECT NUMBER: DSP-18026

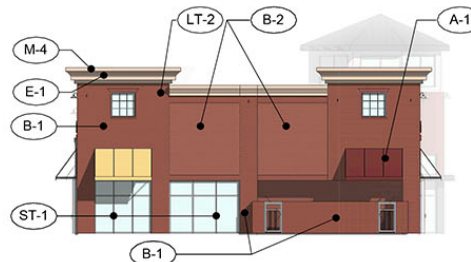
FOR CONDITIONS OF APPROVAL SEE SITE PLAN COVER SHEET OR APPROVAL SHEET  
REVISION NUMBERS MUST BE INCLUDED IN THE PROJECT NUMBER

## EXTERIOR MATERIALS LEGEND

- B-1 BRICK- SIM TO MELFORD HOUSE (RED)
- B-2 BRICK- SIM TO MELFORD HOUSE (ROSE)
- S-1 STONE- SIM TO MELFORD HOUSE
- E-1 EIFS TRIM/CORNICE (PARCHMENT)
- M-1 STANDING SEAM METAL ROOF (CHARCOAL)
- M-2 STANDING SEAM METAL ROOF (COPPER PATINA)
- M-3 METAL CANOPY (CHARCOAL)
- M-4 METAL COPING (TO MATCH E-1)
- SD-1 COMPOSITE SIDING (WHITE)
- T-1 COMPOSITE TRIM (WHITE)
- ST-1 ALUMINUM STOREFRONT (CLEAR ANODIZED)
- A-1 FABRIC AWNING (VARIOUS COLORS/PATTERNS)
- DS-1 DOWNSPOUT/CONDUCTOR HEAD (DK BRONZE)
- LT-1 WALL SCONCE LIGHT FIXTURE
- LT-2 "TIVOLI" LIGHTS



① BUILDING 1 NORTHWEST ELEVATION FACING EAST-WEST BLVD  
1" = 20'-0"



② BUILDING 1 NORTHEAST ELEVATION FACING BUILDING 2  
1" = 20'-0"



③ BUILDING 1 SOUTHEAST ELEVATION FACING PARKING LOT  
1" = 20'-0"



④ BUILDING 1 SOUTHWEST ELEVATION  
1" = 20'-0"



## MELFORD TOWN CENTER

BUILDING 1 COLOR ELEVATIONS CD-5

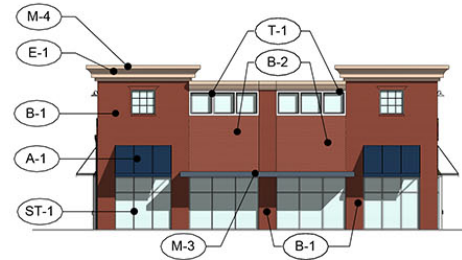
09/26/2018



# BUILDING TWO ELEVATIONS



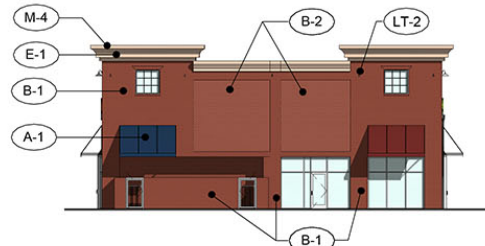
1 BUILDING 2 NORTHWEST ELEVATION FACING EAST-WEST BLVD  
1" = 20'-0"



2 BUILDING 2 NORTHEAST ELEVATION  
1" = 20'-0"



3 BUILDING 2 SOUTHEAST ELEVATION FACING PARKING LOT  
1" = 20'-0"



4 BUILDING 2 SOUTHWEST ELEVATION FACING BUILDING 1  
1" = 20'-0"

## EXTERIOR MATERIALS LEGEND

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- S-1 STONE- SIM TO MELFORD HOUSE
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- M-3 METAL CANOPY (CHARCOAL)
- M-4 METAL COPING (TO MATCH E-1)
- SD-1 COMPOSITE SIDING (WHITE)
- T-1 COMPOSITE TRIM (WHITE)
- ST-1 ALUMINUM STOREFRONT (CLEAR ANODIZED)
- A-1 FABRIC AWNING (VARIOUS COLORS/PATTERNS)
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- LT-2 "TIVOLI" LIGHTS

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M-NCPPC  
APPROVAL

PROJECT NAME: THE RETAIL AT MELFORD TOWN CENTER

PROJECT NUMBER: DSP-18026

FOR CONDITIONS OF APPROVAL SEE SITE PLAN COVER SHEET OR APPROVAL SHEET  
REVISION NUMBERS MUST BE INCLUDED IN THE PROJECT NUMBER



MELFORD TOWN CENTER  
BUILDING 2 COLOR ELEVATIONS CD-6 09/26/2018



# BUILDING THREE ELEVATIONS



① BUILDING 3 NORTH ELEVATION FACING EAST-WEST BLVD  
1" = 20'-0"



② BUILDING 3 EAST ELEVATION  
1" = 20'-0"



③ BUILDING 3 WEST ELEVATION  
1" = 20'-0"



④ BUILDING 3 SOUTH ELEVATION FACING PARKING LOT  
1" = 20'-0"

## EXTERIOR MATERIALS LEGEND

- B-1 BRICK- SIM TO MELFORD HOUSE (RED)
- B-2 BRICK- SIM TO MELFORD HOUSE (ROSE)
- S-1 STONE- SIM TO MELFORD HOUSE
- E-1 EIFS TRIM/CORNICE (PARCHMENT)
- M-1 STANDING SEAM METAL ROOF (CHARCOAL)
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- M-4 METAL COPING (TO MATCH E-1)
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- DS-1 DOWNSPOUT/CONDUCTOR HEAD (DK BRONZE)
- LT-1 WALL SCONCE LIGHT FIXTURE
- LT-2 "TIVOLI" LIGHTS

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M-NCPPC  
APPROVAL

PROJECT NAME: THE RETAIL AT MELFORD TOWN CENTER

PROJECT NUMBER: DSP-18026

FOR CONDITIONS OF APPROVAL SEE SITE PLAN COVER SHEET OR APPROVAL SHEET  
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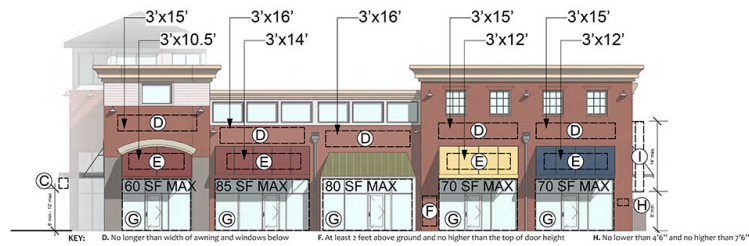


**MELFORD TOWN CENTER**  
BUILDING 3 COLOR ELEVATIONS- SCHEME "B" CD-7 09/26/2018





# SIDES AND FRONT ELEVATIONS BUILDINGS 1,2 AND 3



1 TYPICAL RETAIL BUILDING-1  
Scale: 1/8" = 1'-0"

FRONT (TYPICAL OF TWO)



SIDE (TYPICAL OF TWO)



2 TYPICAL RETAIL BUILDING-2  
Scale: 1/8" = 1'-0"

FRONT (TYPICAL OF TWO)



SIDE (TYPICAL OF TWO)

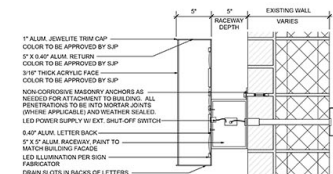


3 TYPICAL RETAIL BUILDING-3  
Scale: 1/8" = 1'-0"

FRONT (TYPICAL OF TWO)



SIDE (TYPICAL OF TWO)



4 ILLUMINATED CHANNEL LETTER  
Scale: 3/4" = 1'-0"

## GENERAL NOTES:

1. SIGN FABRICATOR SHALL SUBMIT SCALED ELEVATIONS (ARTWORK) AND SHOP DRAWINGS FROM A PROFESSIONAL SIGN FABRICATOR TO ST. JOHN PROPERTIES FOR APPROVAL.
2. ALL SIGNS SHALL BE FABRICATED AND INSTALLED IN COMPLIANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES AND SIGN & L LABELS.
3. SINGLE LINE SIGNS MUST HAVE A MINIMUM LETTER HEIGHT OF 1" AND A MAXIMUM LETTER HEIGHT OF 24".
4. DOUBLE LINE SIGNS CAN NOT EXCEED 30" HEIGHT WITH A MINIMUM OF 4" BETWEEN LINES.
5. BUILDING MOUNTED SIGN AREA TOTALS SHALL NOT EXCEED 80% OF FRONTAGE OR 24" WHICHEVER IS LESS.
6. TENANT IS RESPONSIBLE FOR PERMIT FOR ANY SIGN INSTALLED.
7. SIGN MUST CONFORM TO PRINCE GEORGES COUNTY CODE.
8. A FULL SIZE ONLY LINE TEMPLATE SHALL BE PROVIDED BY SIGN FABRICATOR. MECHANICAL FASTENING TO BRICK FACADES SHALL BE MADE THROUGH MORTAR JOINTS ONLY WITH NO DAMAGE TO BRICK FACE.
9. MOUNTING HARDWARE TO BE SUPPLIED BY SIGN INSTALLER.
10. NO SIGN SHALL BE ALLOWED TO OBSCURE OUTLINE OR OTHER ARCHITECTURAL FEATURES.
11. LANDSCAPE MAINTENANCE: THE SIGN TO HAVE TENANT REMOVE ALL EXISTING SIGNAGE AT TENANT'S EXPENSE AT END OF TENANT LEASE.
12. LOGO MAY EXCEED SIGN AREA WITH PERMISSION BY ST. JOHN PROPERTIES.

## Sign Construction

Every permitted sign must be constructed with durable materials, must conform to the requirements of the International Residential and/or the International Building Codes, and must be kept in good condition and repair. Any sign which is allowed to become dilapidated may be removed by the DMC at the expense of the owner or lessee of the property on which it is located.

## C. Projecting Signs

Projecting Signs are affixed to the face of a building or structure and project in a perpendicular manner projecting not more than 24" inches from the wall surface of the portion of the building or structure to which it is mounted. Projecting signs are strongly encouraged and should be carefully designed to reflect the character of each building and business as well as fitting comfortably with other adjacent signage. (Example C on diagram.)

## D. Retail Building Signs

Sign panel locations and dimensions will vary depending on each building's architecture. Signs on retail buildings are typically individual face illuminated channel letters, mounted to a roadway. See channel letter detail. Reverse channel, halo illuminated and push through illuminated letters to be permitted as approved by St John Properties (Example D on diagram.)

## E. Awning and Canopy Signs

Awning and Canopy Signs are signs that are printed on, painted on, or attached to an awning or canopy above a business door or window. They generally serve to bring color to the shopping environment and are oriented toward pedestrians from the opposite side of the street. (Example E on diagram.)

## F & G Restaurant Menu Signs

Restaurant Menu Signs are signs that incorporate a menu containing a listing of products and prices offered by the business. They assist the customer in locating a restaurant to patronize. Prominently displayed menus with prices and other important information can help the customer in making this decision. These signs must be comparable in both the scale and intent of these guidelines. (Example F & G on diagram.)

## F & H. Wall Signs

Wall Signs shall be mounted and fixed securely to the face of a building wall, and not extending sideways beyond the building face or above the highest line of the building to which it is attached. (Examples F & H on diagram.)

## I. Banner Signs

Banner Signs often help to add interest and color to blank facades and special buildings. They are to be vertically oriented, and compatible with the overall character and color of the building, and not intended to advertise a business. They are encouraged to be seasonal in nature. (Example I on diagram.)

## Miscellaneous Sign Notes

The maximum sign area for building-mounted tenant signs on a given building facade shall not exceed 15 percent of the area of that facade. For the purpose of this condition, door signs, window signs, plaque signs, restaurant menu signs, hanging signs and banner signs shall not count towards overall area of signage. Flags and banners shall be permitted in the retail area.



MELFORD VILLAGE  
PRINCE GEORGES COUNTY, BOWIE, MARYLAND

DATE: 02/05/2019  
PROJECT: NEW FORD VILLAGE  
DRAWING: 18026-01

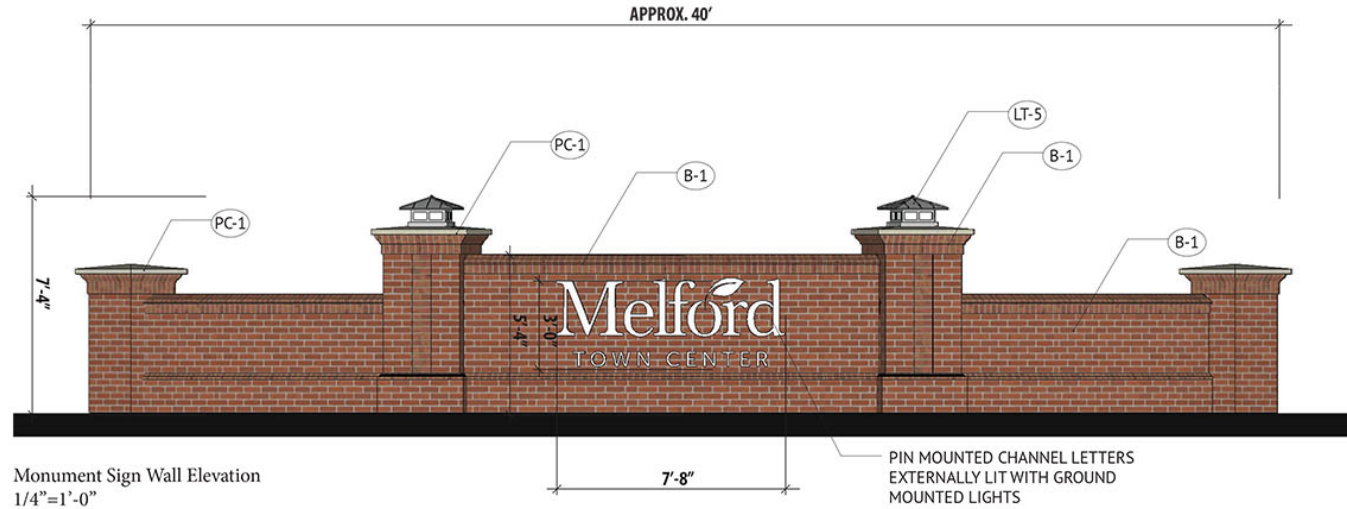
RETAIL BUILDING  
SIGNAGE PLAN

DSP-14





# MONUMENT SIGN



## MATERIALS LEGEND

B-1 BRICK-SIM TO MELFORD HOUSE (RED)  
PC-1 PRECAST WALL CAP  
LT-5 PIER MOUNT LIGHT - STEVEN HANDELMAN  
STUDIOS - "BRIAN PIER MOUNT"

