

ITEM: 5

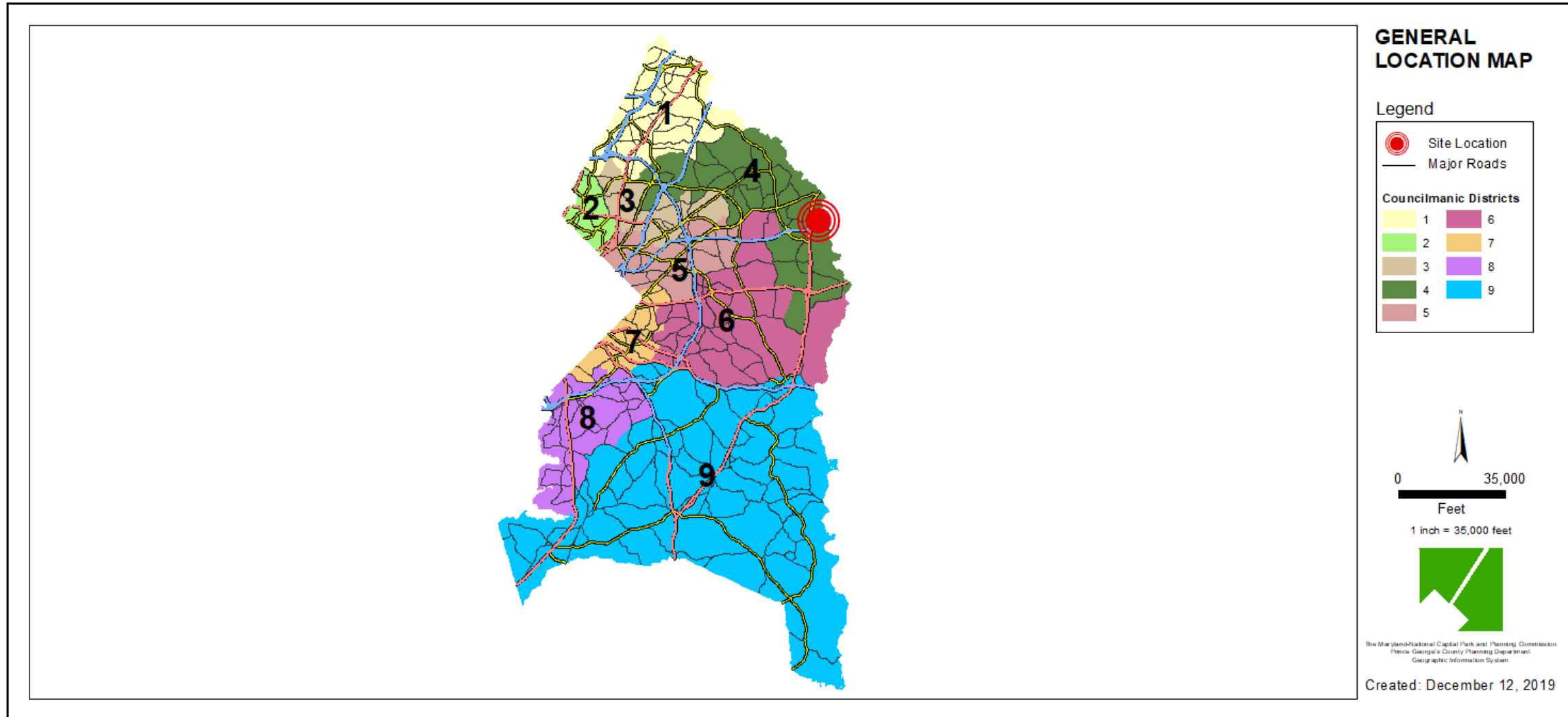
CASE: DSP-19052

THE MANSIONS AT MELFORD TOWN CENTER

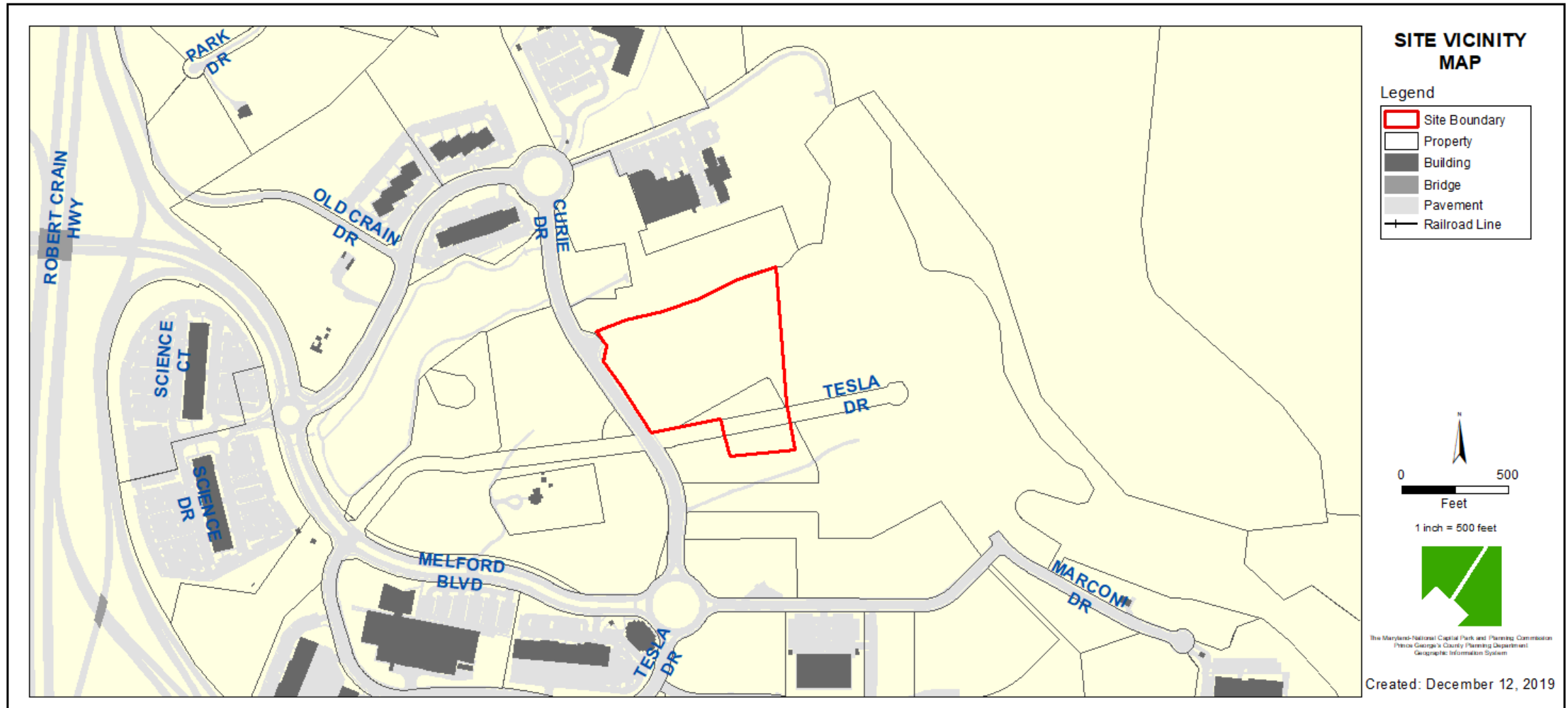
THE PRINCE GEORGE'S COUNTY PLANNING DEPARTMENT



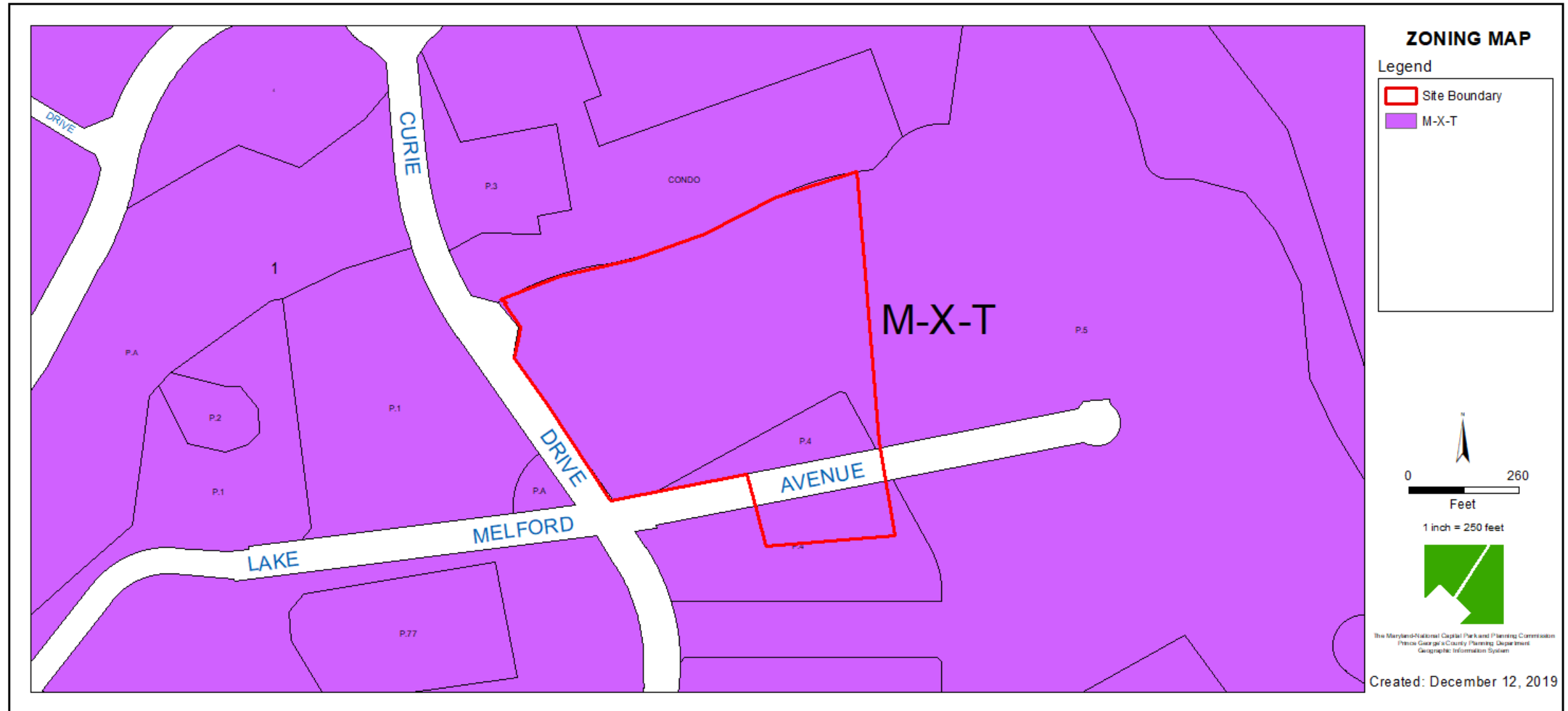
GENERAL LOCATION MAP



SITE VICINITY



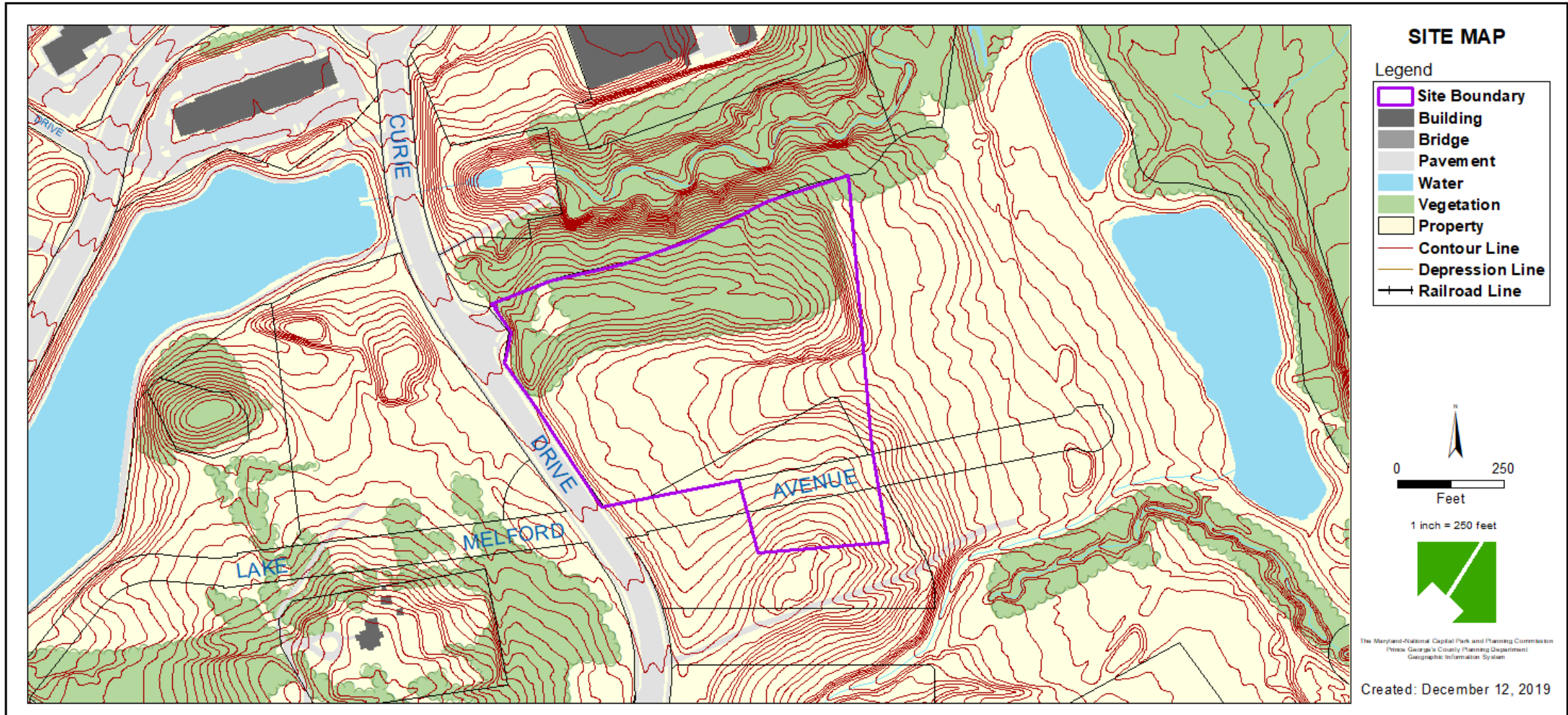
ZONING MAP



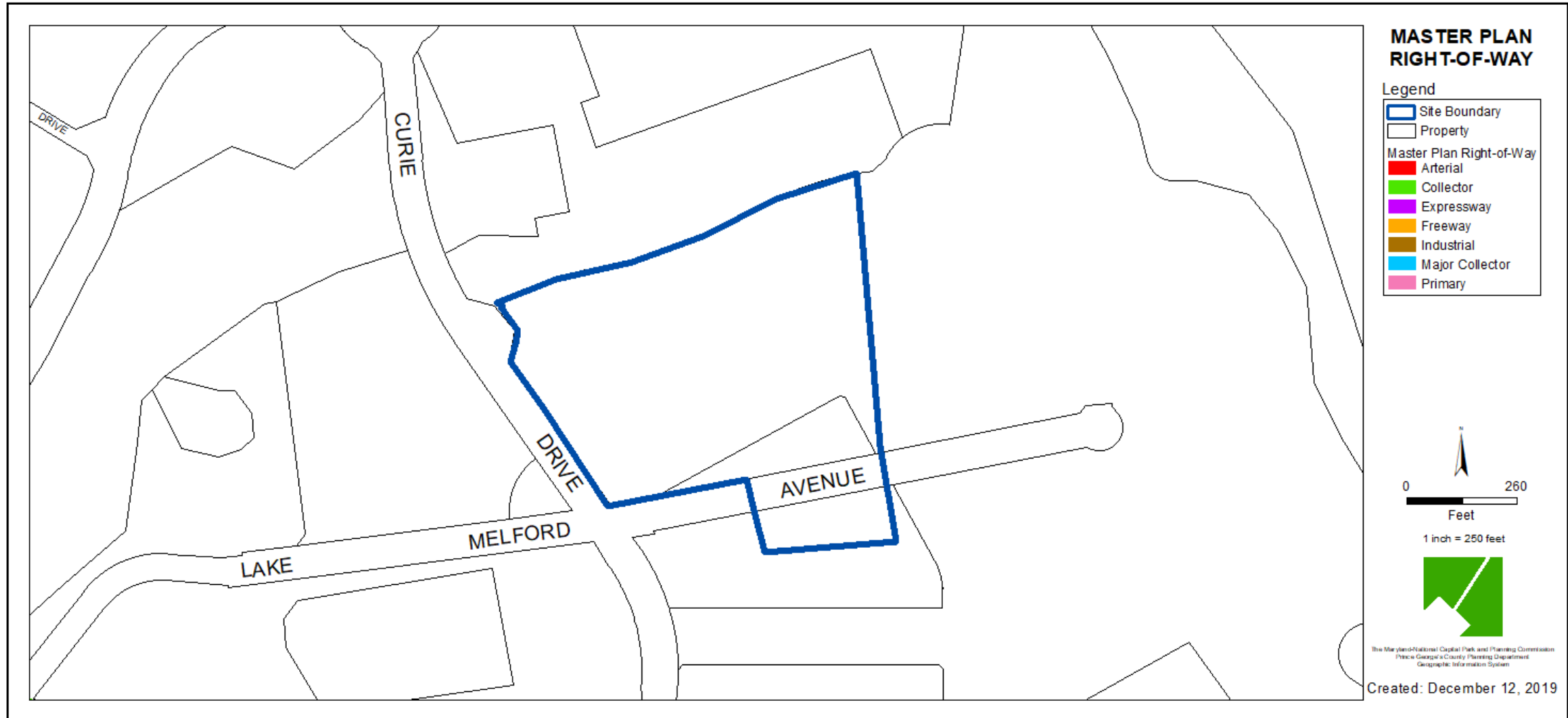
AERIAL MAP



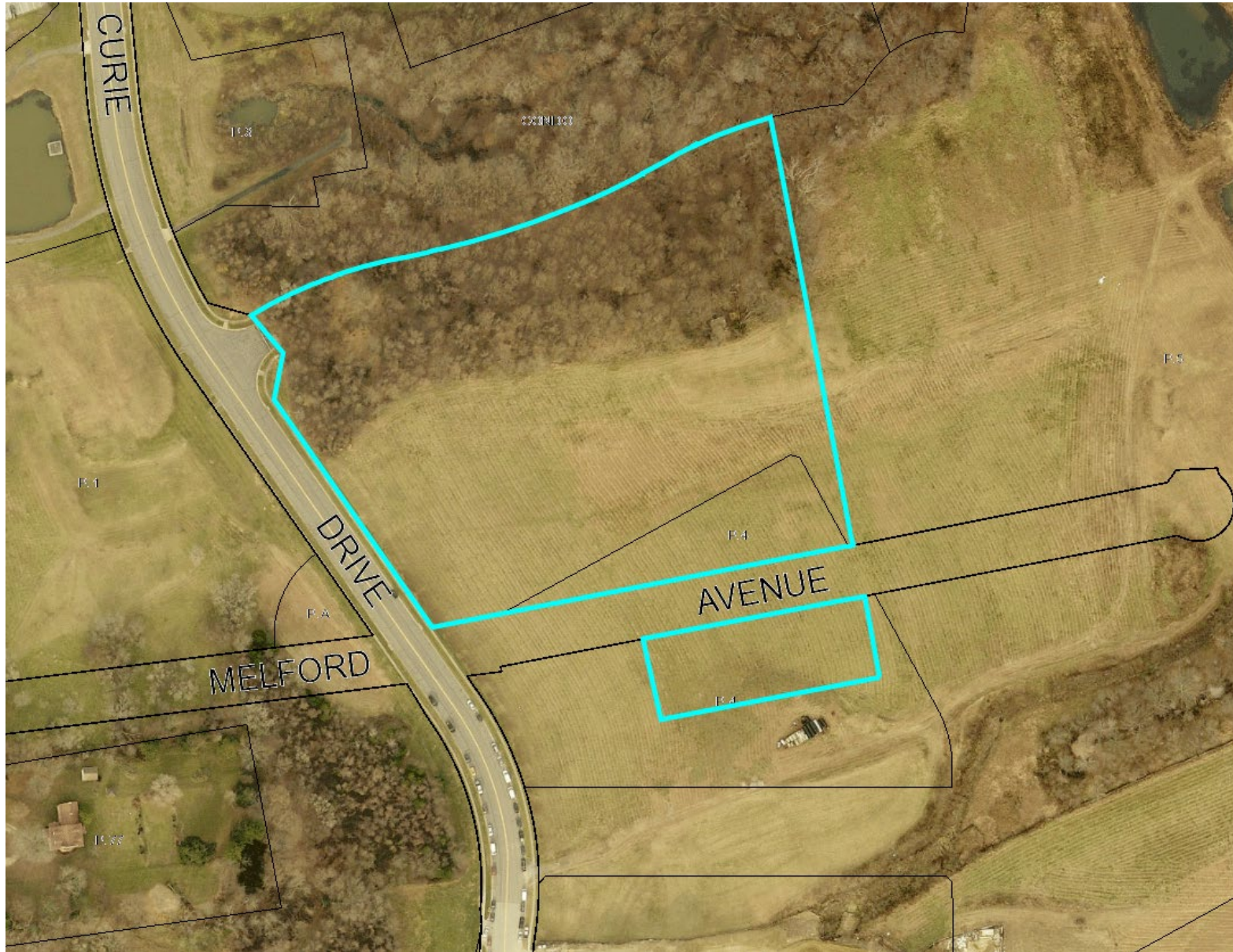
SITE MAP



MASTER PLAN RIGHT-OF-WAY MAP



BIRD'S-EYE VIEW WITH APPROXIMATE SITE BOUNDARY OUTLINED



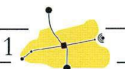
CONCEPTUAL SITE PLAN



This diagram is presented for illustrative purposes only and will be refined by subsequent development applications.

Illustrative Site Plan

11



DESIGN GUIDELINES - MULTIFAMILY VILLAS

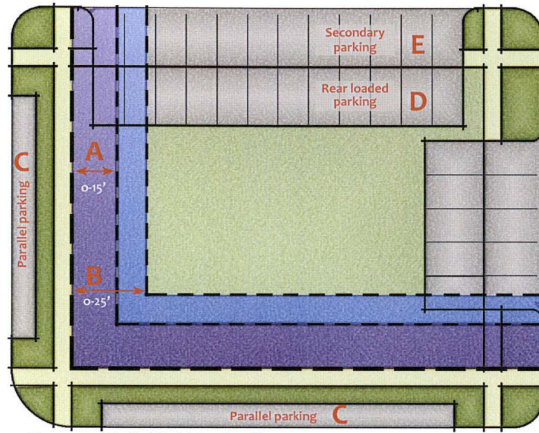
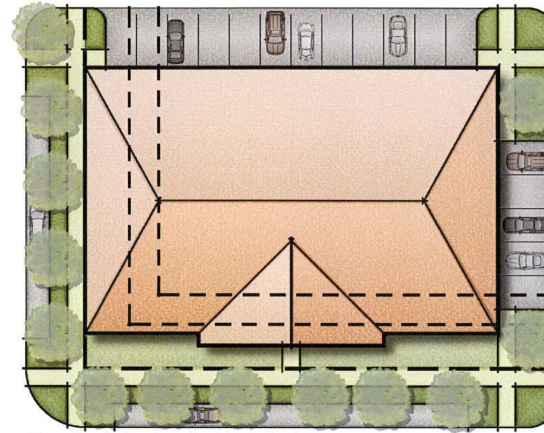


Diagram of Typical Multi-Family Villa Lot



Plan of Typical Preferred Multi-Family Placement on Lot



An artistic illustration depicting a Multi-Family Villa at Melford Village

Multi-Family Villas

The Multi-Family Villas at Melford Village represent a unique product type consisting of 3- or 4-story wood-frame flats over private garages. Each unit accesses a common hallway leading to the main lobby connecting to vertical circulation. The construction of this building type typically uses no steel framing, while decreasing construction costs and increasing density. Multi-Family Villas also have a smaller footprint allowing projects to be built and financed in smaller unit increments. The flexible footprint also creates more desirable corner units than a conventional multi-family building yielding better sales prices and rental rates. Multi-Family Villas give Melford Village smaller scale buildings, without loss of density, and add site flexibility. Boulevard Multi-Family Villas offer a superb opportunity to have retail line the street with dwelling units above and parking incorporated behind. Garage entries are not permitted along primary or secondary streets and are encouraged to be off of neighborhood alleys.

Site Requirements: For buildings fronting the East-West Boulevard, please see pages 37-38.

Setback:

- Generally, 80% of street-facing façades of the project shall be between 0 and 25 feet from the back of sidewalk.
- Buildings along boulevards are strongly encouraged to have street-facing façades between 0 and 15 feet from sidewalk or existing PUE where feasible.

Garages:

Private garages shall be incorporated into the first floor of the villa on sides not fronting a primary or secondary street condition. A minimum driveway depth of 18' but no more than 24' must lead to each garage permitting a second parking space for each dwelling unit.

Streetscape Zones: A parking zone allows parallel parking along most streets; a planter zone separates the pedestrian network from vehicular traffic; and a sidewalk zone creates a walkable community. These zones separate the building lot from the public right-of-way. See "Street Sections" on page 19 for further information.

Diagram:

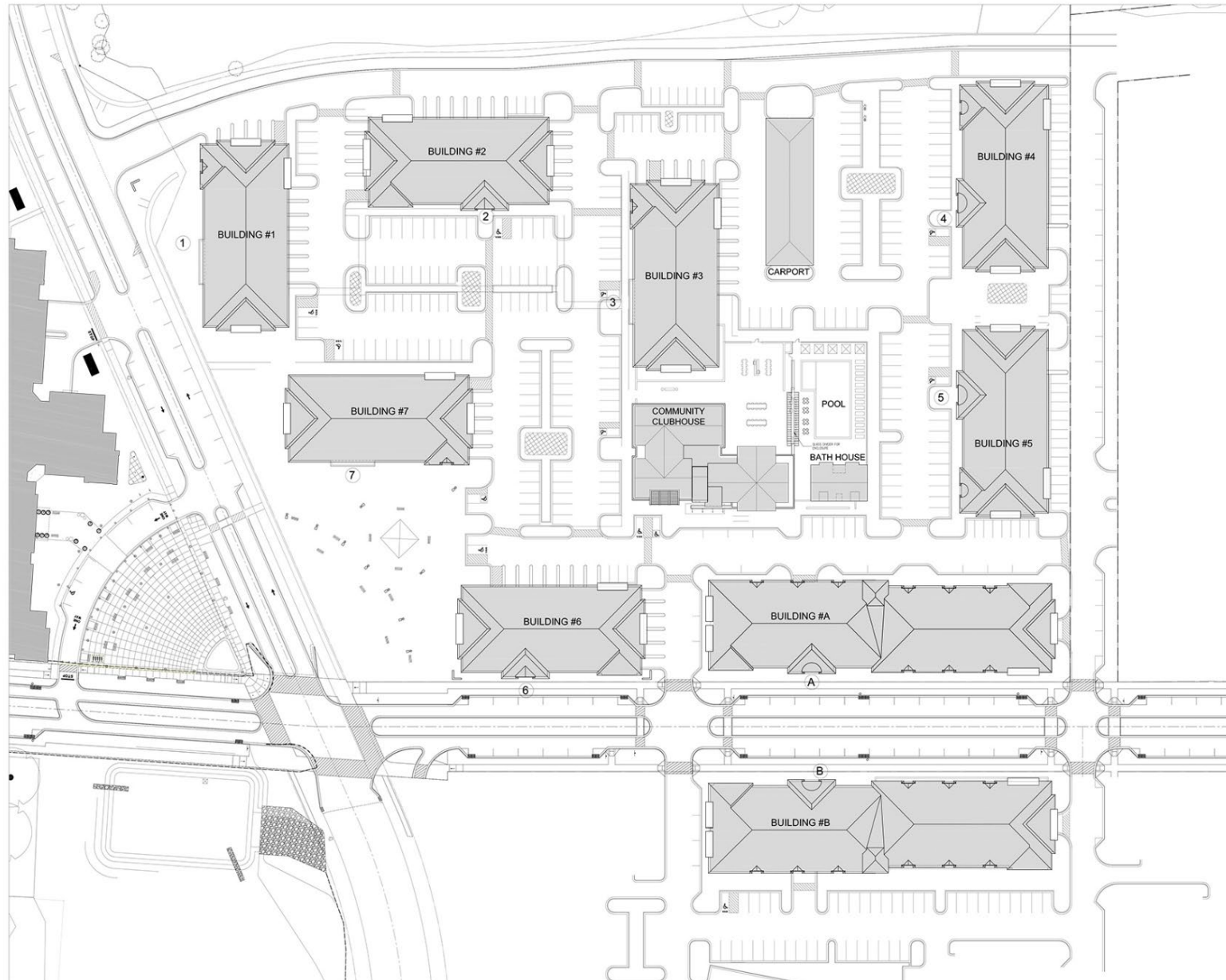
- A - Preferred setback 0-15 feet from back of sidewalk.
- B - Allowable setback 0-25 feet from back of sidewalk.
- C - Parallel parking along Primary and Secondary Routes.
- D - Rear loaded parking along Tertiary Routes.
- E - Driveway for secondary parking spot.



DETAILED SITE PLAN



BUILDING LAYOUT



BUILDING 1 ELEVATIONS



1. BUILDING 1 - LEFT ELEVATION



2. BUILDING 1 - REAR ELEVATION



3. BUILDING 1 - RIGHT ELEVATION



4. BUILDING 1 - FRONT ELEVATION

Scale: 3/32"=1'-0"

SCALE 3/32"=1'-0"



N

BUILDING 2 ELEVATIONS



1. BUILDING 2 - LEFT ELEVATION



2. BUILDING 2 - REAR ELEVATION



3. BUILDING 2 - RIGHT ELEVATION



4. BUILDING 2 - FRONT ELEVATION

Scale: 3/32"=1'-0"

SCALE 3/32"=1'-0"
0' 5' 10' 21.3'

BUILDING 3 ELEVATIONS



1. BUILDING 3 - LEFT ELEVATION



2. BUILDING 3 - REAR ELEVATION



3. BUILDING 3 - RIGHT ELEVATION



4. BUILDING 3 - FRONT ELEVATION

Scale: 3/32"=1'-0"

SCALE 3/32"=1'-0"

0' 5.3' 10.6' 21.3'



2

BUILDING 4 ELEVATIONS



1. BUILDING 4 - LEFT ELEVATION



2. BUILDING 4 - REAR ELEVATION



3. BUILDING 4 - RIGHT ELEVATION



4. BUILDING 4 - FRONT ELEVATION

Scale: 3/32"=1'-0"

SCALE 3/32"=1'-0"
0 5.3 10.6 21.3AGE
E
OW

BUILDING 5 ELEVATIONS



1. BUILDING 5 - LEFT ELEVATION



2. BUILDING 5 - REAR ELEVATION



3. BUILDING 5 - RIGHT ELEVATION



4. BUILDING 5 - FRONT ELEVATION

Scale: 3/32"=1'-0"

SCALE 3/32"=1'-0"



BUILDING 6 ELEVATIONS



1. BUILDING 6 - LEFT ELEVATION



2. BUILDING 6 - REAR ELEVATION



3. BUILDING 6 - RIGHT ELEVATION



4. BUILDING 6 - FRONT ELEVATION

Scale: 3/32"=1'-0"



BUILDING 7 ELEVATIONS



1. BUILDING 7 - LEFT ELEVATION



2. BUILDING 7 - REAR ELEVATION

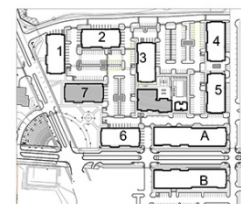


3. BUILDING 7 - RIGHT ELEVATION

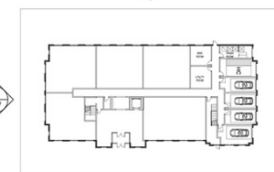


4. BUILDING 7 - FRONT ELEVATION

Scale: $\frac{3}{32}'' = 1'-0''$



KEY PLAN



BUILDING 7 - KEY PLAN



PROFESSIONAL SEAL

THE MELFORD MANSIONS
MELFORD TOWN CENTER,

[illegible]

Sheet Title:

**BUILDING
ELEVATION**

A307

BUILDING A ELEVATIONS



1. BUILDING A - FRONT ELEVATION



2. BUILDING A - LEFT ELEVATION

Scale: 3/32"=1'-0"

SCALE 3/32"=1'-0"

0' 5' 10' 20'

BUILDING A ELEVATIONS



1. BUILDING A - REAR ELEVATION



2. BUILDING A - RIGHT ELEVATION

Scale: 3/32"=1'-0"

SCALE 3/32"=1'-0"



BUILDING B ELEVATIONS



1. BUILDING B - FRONT ELEVATION



2. BUILDING B - LEFT ELEVATION

Scale: 3/32"=1'-0"

SCALE 3/32"=1'-0"

0' 5' 10' 20'



BUILDING B ELEVATIONS



1. BUILDING B - REAR ELEVATION



2. BUILDING B - RIGHT ELEVATION

Scale: 3/32"=1'-0"

SCALE 3/32"=1'-0"
0' 5.3' 10.6' 21.2'



CLUB HOUSE FRONT AND LEFT ELEVATIONS



1. CLUB HOUSE - FRONT ELEVATION



2. CLUB HOUSE - LEFT ELEVATION

Scale: 1/8"=1'-0"



CLUB HOUSE REAR AND RIGHT ELEVATIONS



1. CLUB HOUSE - REAR ELEVATION



2. CLUB HOUSE - RIGHT ELEVATION

Scale: 1/8"=1'-0"

SCALE 1/8"=1'-0"



3. CARPORT EAST ELEVATION

Scale: 1/8"=1'-0"

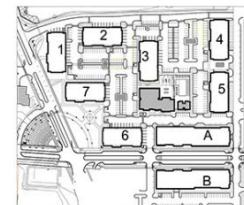
SCALE 1/8"=1'-0"



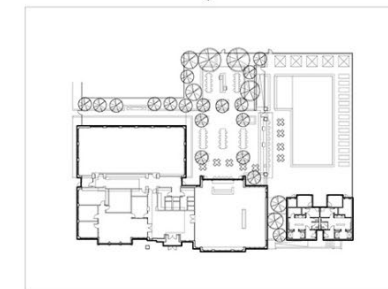
4. CARPORT NORTH ELEVATION

Scale: 1/8"=1'-0"

SCALE 1/8"=1'-0"

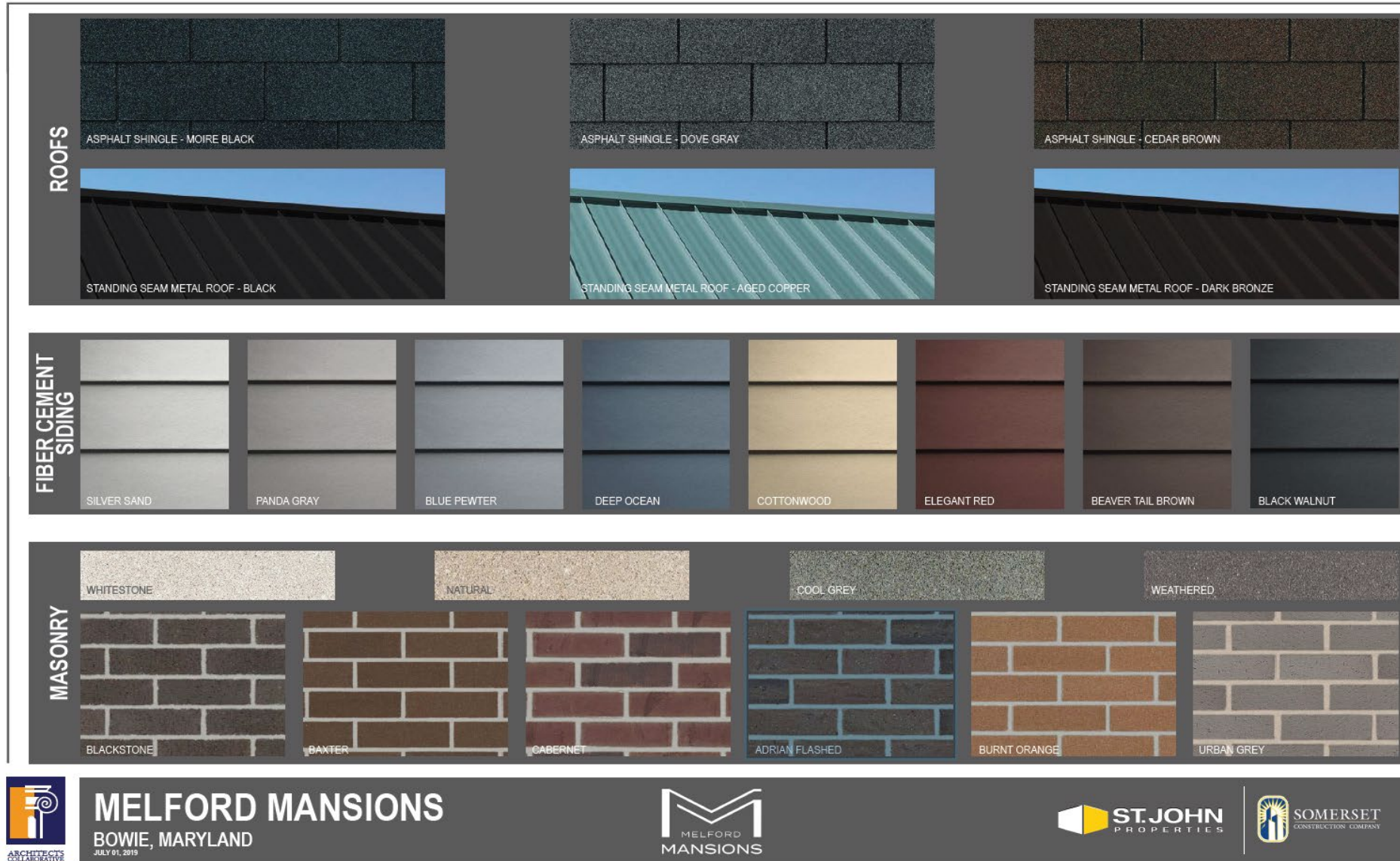


KEY PLAN



CLUB HOUSE - KEY PLAN

BUILDING MATERIALS



PERSPECTIVE VIEW - BUILDING 2



PERSPECTIVE VIEW - BUILDING 5



PERSPECTIVE VIEW - BUILDING 7



PERSPECTIVE VIEW - BUILDING A



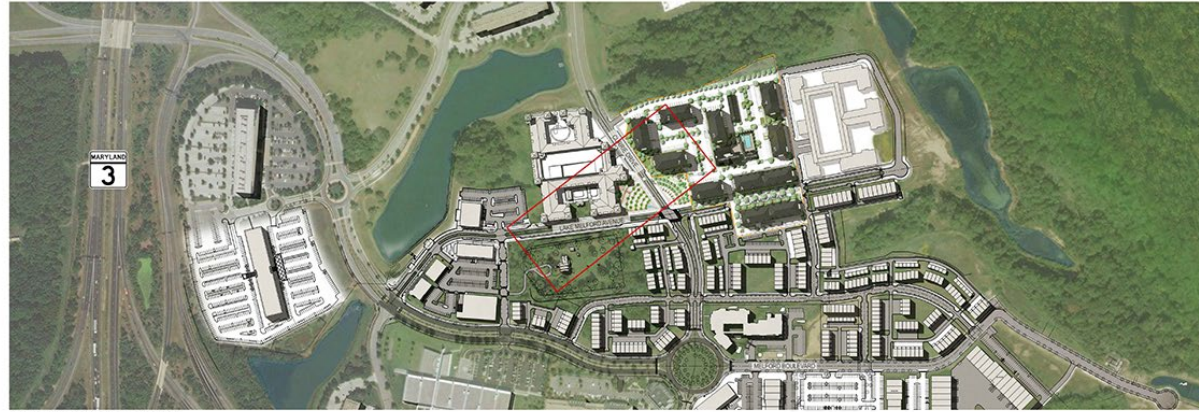
PERSPECTIVE VIEW- CLUBHOUSE



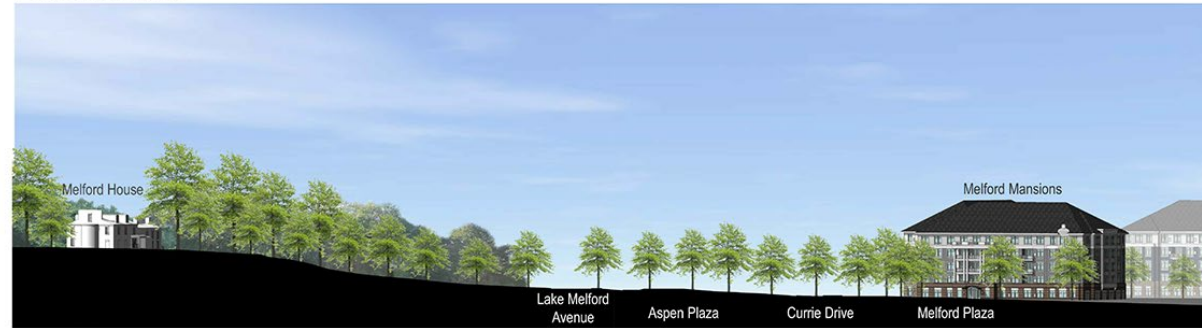
PERSPECTIVE VIEW- CLUBHOUSE AMENITIES



SITE SECTION



OVERALL SITE PLAN



SITE CROSS SECTION



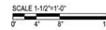
SECTION LOCATION

SIGNAGE

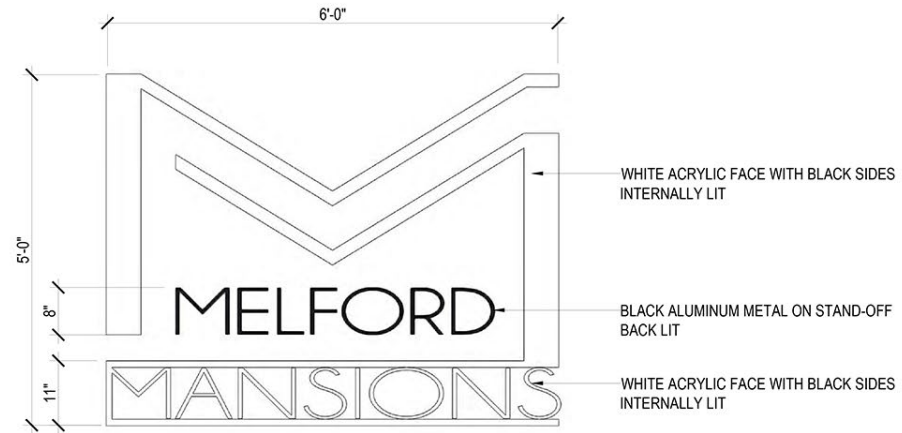


COMMUNITY CENTER BUILDING ADDRESS

Scale: 1 1/2"=1'-0"



COMMUNITY CENTER ENTRANCE AT DAY



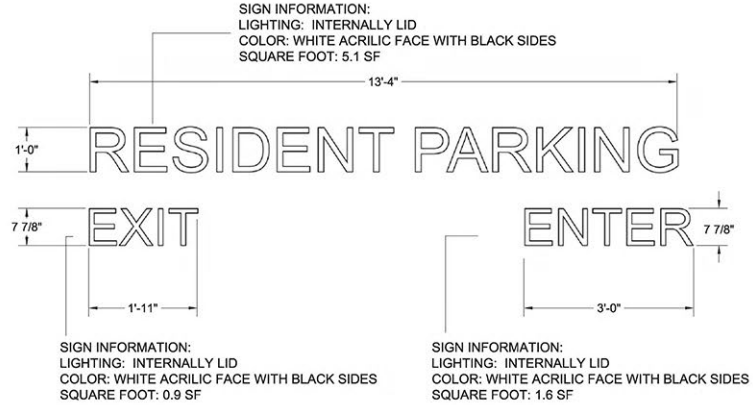
COMMUNITY CENTER SIGN ELEVATION

Scale: 1 1/2"=1'-0"



COMMUNITY CENTER ENTRANCE AT NIGHT

SIGNAGE



TYPICAL SIGN AT GARAGE ENTRANCES



TYPICAL ADDRESS SIGN AT ENTRANCES

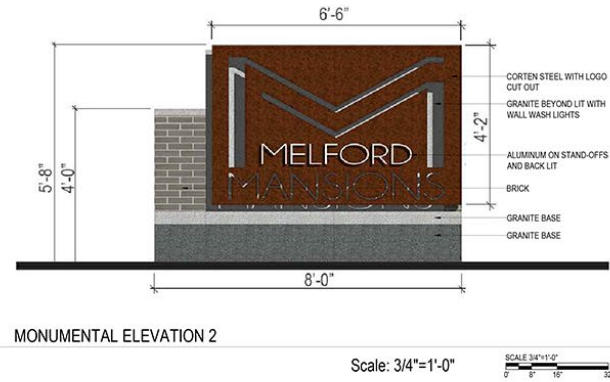


MONUMENTAL SIGN AT DAY



MONUMENTAL SIGN AT NIGHT

SIGNAGE



GAZEBO AND SCREEN WALL



GAZEBO AND SCREEN WALL



CENTRAL PLAZA



CENTRAL PLAZA - SCREEN WALL

