



The Maryland-National Capital Park and Planning Commission

PRINCE GEORGE'S COUNTY
Planning Department

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Detailed Site Plan

DSP-20003-02

Popeyes at Mill Branch Crossing

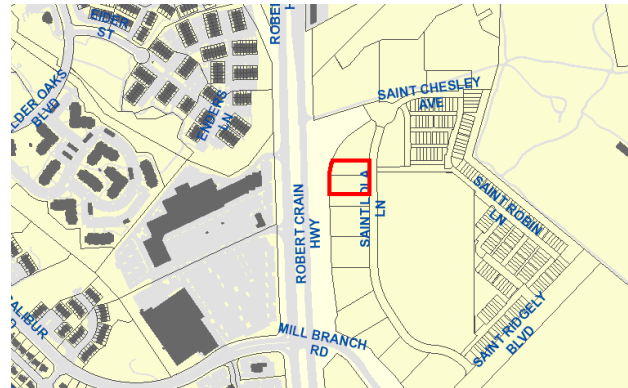
REQUEST	STAFF RECOMMENDATION
Development of a 3,046-square-foot eating and drinking establishment with drive-through service.	With the conditions recommended herein: <ul style="list-style-type: none">• APPROVAL of Detailed Site Plan DSP-20003-02

Location: On the east side of US 301 (Robert Crain Highway), approximately 875 feet north of its intersection with Mill Branch Road.

Gross Acreage:	1.05
Zone:	CGO
Prior Zone:	C-S-C
Reviewed per prior Zoning Ordinance:	Section 27-1703(c)
Dwelling Units:	0
Gross Floor Area:	3,046 sq. ft.
Planning Area:	71B
Council District:	04
Municipality:	City of Bowie

Applicant/Address:
Kuulipuq, LLC
12150 Tech Road
Silver Spring, MD 20904

Staff Reviewer: Dexter E. Cofield
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Planning Board Date:	01/09/2025
Planning Board Action Limit:	01/15/2025
Staff Report Date:	12/26/2024
Date Accepted:	10/22/2024
Informational Mailing:	06/19/2024
Acceptance Mailing:	08/29/2024
Sign Posting Deadline:	12/10/2024

The Planning Board encourages all interested persons to request to become a person of record for this application. Requests to become a person of record may be made online at

http://www.mncppcapps.org/planning/Person_of_Record/.

Please call 301-952-3530 for additional information.

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THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

PRINCE GEORGE'S COUNTY PLANNING BOARD

STAFF REPORT

SUBJECT: Detailed Site Plan DSP-20003-02
Popeyes at Mill Branch Crossing

The Urban Design Section has reviewed the detailed site plan for the subject property and recommends APPROVAL, with conditions, as described in the Recommendation section of this technical staff report.

EVALUATION CRITERIA

The subject property is located within the Commercial, General and Office (CGO) Zone. However, this application is being reviewed and evaluated in accordance with the prior Prince George's County Zoning Ordinance (effective prior to April 1, 2022), pursuant to Section 27-1703(c) of the Zoning Ordinance, which allows for subsequent revisions or amendments to an approved project to continue to be reviewed and decided under the Zoning Ordinance and Subdivision Regulations under which it was approved. Specifically, the applicant is amending Detailed Site Plan DSP-20003, which was approved by the Prince George's County Planning Board (PGCPB Resolution No. 2022-35) on April 7, 2022. The current Zoning Ordinance went into effect on April 1, 2022, but provides that "any development application [. . .] that is filed and accepted before April 1, 2022." (See Zoning Ordinance § 27-1703(a).) Accordingly, DSP-20003 was approved under the prior Zoning Ordinance. Following its approval, DSP-20003 may be amended under the prior Zoning Ordinance per Section 27-1703(c) of the Zoning Ordinance, which provides "until and unless the period of time under which the development approval or permit remains valid expires, the project may proceed to the next steps in the approval process [. . .] and continue to be reviewed and decided under the prior Zoning Ordinance and prior Subdivision Regulations." Under the prior Zoning Ordinance, the property is subject to the standards of the Commercial Shopping Center (C-S-C) Zone, which applied to this property prior to April 1, 2022. Staff considered the following in reviewing this DSP:

- a. The requirements of the prior Prince George's County Zoning Ordinance for the Commercial Shopping Center (C-S-C) Zone, and site design guidelines;
- b. The requirements of Preliminary Plan of Subdivision 4-19050;
- c. The requirements of Detailed Site Plan DSP-20003;
- d. The requirements of the 2010 *Prince George's County Landscape Manual*;

- e. The requirements of the Prince George's County Woodland and Wildlife Habitat Conservation Ordinance;
- f. The requirements of the Prince George's County Tree Canopy Coverage Ordinance;
- g. Referral comments; and
- h. Community feedback.

FINDINGS

Based upon the analysis of the subject application, the Urban Design staff recommend the following findings:

1. **Request:** This detailed site plan (DSP) is for the development of a 3,046-square-foot eating and drinking establishment with drive-through service on proposed Parcel 9 of the Mill Branch Crossing subdivision. The subject property (Parcel 9) is 1.05 acres and is part of the Mill Branch Crossing development, approved with DSP-20003, which comprises a total land area of approximately 70.11 acres.
2. **Development Data Summary:**

	EXISTING	EVALUATED
Zone (s)	CGO	C-S-C
Use(s)	Vacant	Proposed eating and drinking establishment with drive-through service
Gross tract acreage	1.05	1.05
Outlots	2* (Outlots 9 and 10)	-
Parcels	-	1** (Parcel 9)
Gross floor area (sq. ft.)	0	3,046

Notes: *Under the original DSP-20003, only infrastructure was approved and no final design for development of the commercial area was approved. Given final configuration of the commercial parcels was unknown at that time, since specific tenants and buildings were not part of that approval, the commercial area was platted as outlots to facilitate grading while indicating future DSP approval for the commercial development and final parcel configuration would still be needed. The property is currently comprised of part of existing Outlots 9 and 10, recorded in Plat Book ME 262 page 52 of the Prince George's County Land Records. However, Sheet DSP-1 reflects three (3) existing outlots (Outlots 8, 9, and 10) and proposes three (3) new parcels (Parcels 8, 9, and 10). Reference to Outlot 8 should be removed, and since at the time of the subject DSP, the adjacent outlots have yet to receive plat approval for final parcel configuration, the DSP should be revised to reflect the existing outlot designations. Conditions are included herein requiring the applicant to revise the coversheet and subsequent plan sheets to reflect the specific

subject property of this DSP (existing Outlots 9 and 10), proposed Parcel 9, and all other adjacent lots for future development as outlots with their current platted correlating number.

****Site Data Note 11 on Sheet DSP-1 reflects three existing outlots (Outlots 8, 9, and 10) and proposes three new parcels (Parcels 8, 9, and 10). The site plan, however, only proposes Parcel 9. A condition is included herein requiring the applicant to revise Site Data Note 11 to reflect Parcel 9 as the only proposed parcel area for this DSP.**



Figure 1: Boundary Plat of the Subject Property

Zoning Regulations (Per Section 27-462(a) of the prior Zoning Ordinance)

	REQUIRED	EVALUATED
Street setback – Saint Lola Lane (private road)	10 feet	102.49 feet
Side setback – North	12 feet	65.77 feet
Street setback – US 301	10 feet	68.65 feet
Side setback - South	12 feet	77.38 feet
Building height	N/A	25 feet

Parking Requirements (Per Section 27-568(a) of the prior Zoning Ordinance)

	Required	Provided
Eating and drinking establishment with drive-through service	41*	-
90-degree standard nonparallel (9.5 feet x 19 feet)		36
90-degree compact nonparallel (8 feet x 16.5 feet)		9
Handicap van-accessible		2
Total	41	47

Note: *Of which at least two shall be handicap-accessible, in accordance with Section 27-566(b) of the prior Zoning Ordinance. In addition, up to 16 (one third of the requirement) may be compact, in accordance with Section 27-559(a) of the prior Zoning Ordinance.

Loading Spaces (Per Section 27-582(a) of the prior Zoning Ordinance)

	Required	Provided
Loading spaces (12 feet x 33 feet)	1	1

Bicycle Spaces

This DSP includes two U-shaped bicycle racks, which are located at the building entrance, to support a multimodal system of service.

3. **Location:** The subject site is in Planning Area 71B and Council District 4. Geographically, it is located on the west side of Saint Lola Lane, south of its intersection with Saint Chelsey Avenue.

4. **Surrounding Uses:** The site is bounded to the north and south by lots that are part of the Mill Branch Crossing development, for future development, in the Commercial, General and Office (CGO) Zone (previously zoned Commercial Shopping Center (C-S-C)). To the east is Saint Lola Lane and beyond is residential development within Mill Branch Crossing in the CGO Zone (previously zoned C-S-C), approved with DSP-20003. To the west is US 301 (Robert Crain Highway) and, beyond, are an integrated shopping center, known as Collington Plaza Shopping Center, in the CGO Zone (previously zoned C-S-C) and a residential development in the Legacy Comprehensive Design (LCD) Zone (previously zoned Residential Urban Development).
5. **Previous Approvals:** The 2006 *Approved Master Plan for Bowie and Vicinity and Sectional Map Amendment for Planning Areas 71A, 71B, 74A, and 74B* reclassified the subject property from the prior Residential Agricultural (R-A) Zone to the prior C-S-C Zone. The 2022 *Approved Bowie-Mitchellville and Vicinity Master Plan* retained the property in the prior C-S-C Zone.

Preliminary Plan of Subdivision (PPS) 4-08052 was approved by the Prince George's County Planning Board on June 18, 2009 (PGCPB Resolution No. 09-85), to consolidate the site into one parcel (Parcel A) for construction of a commercial use and hotel. On March 30, 2017, the Planning Board approved a reconsideration of this PPS, with amended conditions and associated findings, and adopted an amended resolution (PGCPB Resolution No. 09-85(AC)).

Special Exception SE-4734 was approved by the Prince George's County District Council on June 22, 2015, for a portion of Parcel A, and proposed a department or variety store in combination with a food and beverage store. However, this development was never constructed.

Prince George's County Council Bill CB-45-2019 was adopted by the District Council on November 19, 2019, to amend Section 27-461, the Commercial Zone Table of Uses, of the Prince George's County Zoning Ordinance, for the purpose of permitting by right a gas station, food or beverage store in combination with a gas station, apartment housing for the elderly or physically handicapped, multifamily dwellings, and townhouse uses in the C-S-C Zone, under certain circumstances.

PPS 4-19050 superseded PPS 4-08052 and was approved by the Planning Board on April 8, 2021 (PGCPB Resolution No. 2021-42) for 190 lots and 39 parcels, to support development of 77,635 square feet of commercial development, a 150-room hotel, 190 single-family attached townhouse units and 408 multifamily units.

Detailed Site Plan DSP-20003 was approved by the Planning Board on April 7, 2022 (PGCPB Resolution No. 2022-35), for the development of 190 townhouses, and 408 multifamily dwelling units in 6 buildings and infrastructure improvements for the remainder of the site for future commercial development.

DSP-20003-01 was approved by the Planning Board on September 7, 2023 (PGCPB Resolution No. 2023-88), for development of Parcel 15 with a 4,809-square-foot food or beverage store. The subject property also includes a car wash, which was approved with SE-22006. This SE was approved by the Zoning Hearing Examiner on April 5, 2024.

6. **Design Features:** The proposed development of a 3,046-square-foot eating and drinking establishment, with drive-through service, will be located on Parcel 9. Subsequent to the subject DSP, if approved, Outlots 9 and 10 will be re-platted for the creation of Parcel 9, prior to approval of building permits.

The subject development is oriented towards Saint Lola Lane and has vehicular and pedestrian access from Saint Lola Lane. The building is one-story and is 25 feet in height. Two drive-through lanes start from the north of the building, with two separate menu display boards, and then merge into one lane before the pick-up window located on the south side of the building.

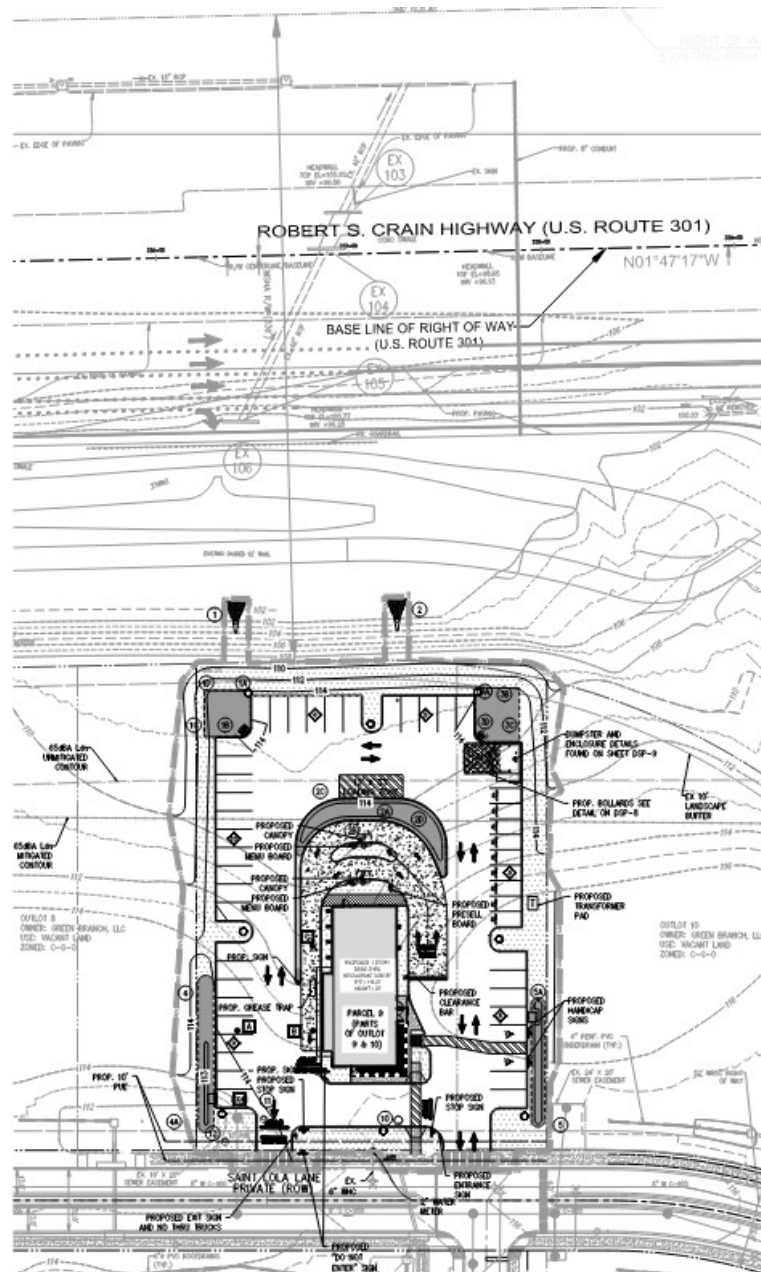


Figure 2: Detailed Site Plan

Architecture

The architectural design of the proposed building is contemporary with a flat roof. The building is finished with a mix of materials, including brick veneer, exterior insulation and finish systems, glass, aluminum tubes, and pre-finished metal cap. The materials are arranged in a geometric pattern.

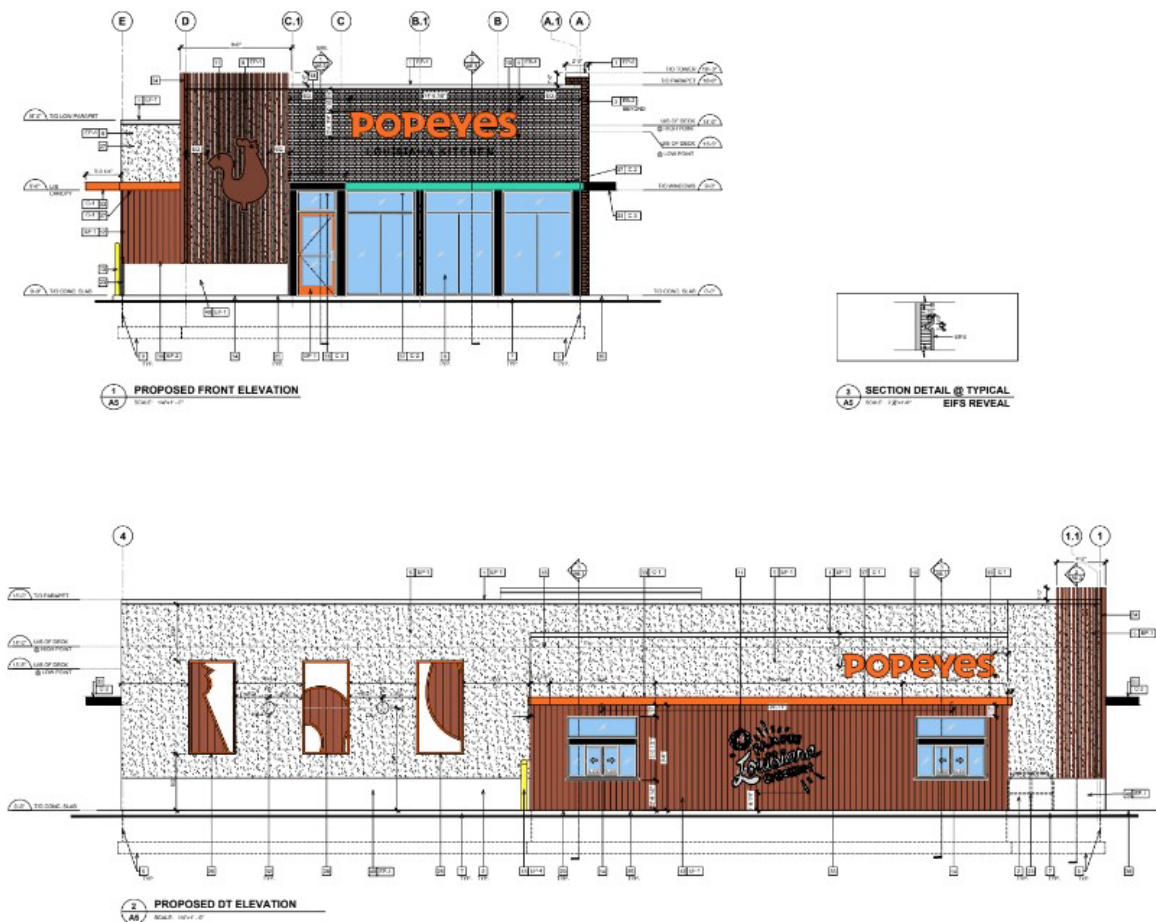


Figure 3: Proposed East (upper) and South (lower) Elevations

Signage

The subject DSP includes seven building mounted signs, in accordance with Section 27-107.01 of the prior Zoning Ordinance, which defines signs as, “[a]ny letter, word, numeral, figure, design, projected image, picture, illustration, emblem, symbol, trademark, banner, pennant, or other device, which is used to announce, direct attention to, identify, advertise, or otherwise make anything known. Signs do not include the flag or emblem of any nation; county; state; city; religious, fraternal, or civic organization; decorations or works of art which in no way identify a product or business.”

Among the seven signs, five are letter signs, and two are logo signs. Each of the elevations has two signs except the west elevation which has one. According to Section 27-613 of the prior Zoning Ordinance, the total area of all signs for the proposed one-story building must

not exceed 2 square feet for each linear foot of width along the building's principal entrance. The provided signage schedule indicates a maximum allowable building signage area of 167 square feet. The proposed signage totals 158 square feet, which complies with the allowable signage area. The submitted plans also include the details of the signs. No free-standing signs are included in this DSP.

Lighting

The subject DSP includes both building-mounted and pole-mounted lighting throughout the site, with details. Staff find that the submitted photometric plan shows adequate lighting for users on-site and is sufficient for illuminating drive aisles, building entryways, and walking paths.

Loading and Trashing Facilities

The subject DSP includes one loading space, located internally to the subject property. With the loading space being aligned directly behind the proposed building, the loading space will be screened from public view from Saint Lola Lane. The proposed landscaping of trees and bushes along the western property line also provides screening of the loading space from US 301. Per Section 4.4 of the 2010 *Prince George's County Landscape Manual* (Landscape Manual), all dumpsters, trash pads, and trash collection or storage areas, including recycling facilities are required to be screened from all outdoor recreation areas, retail parking areas, and entrance drives. The submitted plans also show the location of the proposed dumpster, with the details and dimensions of the dumpster enclosure that will wholly screen the dumpster from view.

COMPLIANCE WITH EVALUATION CRITERIA

7. **Prince George's County Zoning Ordinance:** The DSP application has been reviewed for compliance with the requirements of the C-S-C Zone and the site design guidelines of the prior Zoning Ordinance:
 - a. This application is subject to the requirements of Section 27-454, C-S-C Zone, of the prior Zoning Ordinance as follows:
 - (b) **Landscaping and screening.**
 - (1) **Landscaping and screening shall be provided in accordance with Section 27-450.**

In accordance with Section 27-450 of the Zoning Ordinance, "Landscaping, screening, and buffering of all development in the Commercial Zones shall be in accordance with the provisions of the Landscape Manual." Evaluation of the Landscape Manual has been addressed in Finding 11 below.
 - (c) **Uses**
 - (1) **The uses allowed in the C-S-C Zone are as provided for in Table of Uses I (Division 3 of this Part).**

The subject DSP proposes to develop an eating and drinking establishment, with drive-through service. Per Section 27-461(b), this use is permitted in the C-S-C Zone, subject to Footnote 24. That footnote requires that a DSP, in accordance with Part 3, Division 9, be approved. This DSP is filed in accordance with this requirement.

(d) Regulations.

- (1) Additional regulations concerning the location, size, and other provisions for all buildings and structures in the C-S-C Zone are as provided for in Divisions 1 and 5 of this Part, the Regulations Table (Division 4 of this Part), General (Part 2), Off-Street Parking and Loading (Part 11), Signs (Part 12), and the Landscape Manual.**

The subject DSP is in conformance with these regulations, specifically details have been discussed in Findings 2 and 6 above, and Finding 11 below.

- b. Section 27-274(a) of the prior Zoning Ordinance provides site design guidelines for a DSP. The applicable design guidelines are described as the following:

(2) Parking, loading, and circulation.

- (A) Surface parking lots should be located and designed to provide safe and efficient vehicular and pedestrian circulation within the site, while minimizing the visual impact of cars. Parking spaces should be located to provide convenient access to major destination points on the site. As a means of achieving these objectives, the following guidelines should be observed:**
- (i) Parking lots should generally be provided to the rear or sides of structures;**
 - (ii) Parking spaces should be located as near as possible to the uses they serve;**
 - (iii) Parking aisles should be oriented to minimize the number of parking lanes crossed by pedestrians;**
 - (iv) Large, uninterrupted expanses of pavement should be avoided or substantially mitigated by the location of green space and plant materials within the parking lot, in accordance with the Landscape Manual, particularly in parking areas serving townhouses; and**
 - (v) Special areas for van pool, car pool, and visitor parking should be located with convenient pedestrian access to buildings.**

The submitted plans include a sidewalk along the frontage of Saint Lola Lane and sidewalk and crosswalk connections within the subject site. Parking spaces are arranged along drive aisles to the sides of the proposed building for easy access and to avoid conflicts with pedestrian connectivity.

(B) Loading areas should be visually unobtrusive and located to minimize conflicts with vehicles or pedestrians. To fulfill this goal, the following guidelines should be observed:

- (i) Loading docks should be oriented toward service roads and away from major streets or public view; and**
- (ii) Loading areas should be clearly marked and should be separated from parking areas to the extent possible.**

One loading space is included in this DSP, which has been discussed in Finding 6 above. The loading space is located internal to the subject site and to the west of the proposed building. The loading space is also away from the on-site vehicular and pedestrian circulation. Accordingly, it is visually unobtrusive and has minimal conflicts with vehicles and pedestrians.

(C) Vehicular and pedestrian circulation on a site should be safe, efficient, and convenient for both pedestrians and drivers. To fulfill this goal, the following guidelines should be observed:

- (i) The location, number and design of driveway entrances to the site should minimize conflict with off-site traffic, should provide a safe transition into the parking lot, and should provide adequate acceleration and deceleration lanes, if necessary;**
- (ii) Entrance drives should provide adequate space for queuing;**
- (iii) Circulation patterns should be designed so that vehicular traffic may flow freely through the parking lot without encouraging higher speeds than can be safely accommodated;**
- (iv) Parking areas should be designed to discourage their use as through-access drives;**
- (v) Internal signs such as directional arrows, lane markings, and other roadway commands should be used to facilitate safe driving through the parking lot;**
- (vi) Drive-through establishments should be designed with adequate space for queuing lanes that do not conflict with circulation traffic patterns or pedestrian access;**

- (vii) Parcel pick-up areas should be coordinated with other on-site traffic flows;**
- (viii) Pedestrian access should be provided into the site and through parking lots to the major destinations on the site;**
- (ix) Pedestrian and vehicular circulation routes should generally be separated and clearly marked;**
- (x) Crosswalks for pedestrians that span vehicular lanes should be identified by the use of signs, stripes on the pavement, change of paving material, or similar techniques; and**
- (xi) Barrier-free pathways to accommodate the handicapped should be provided.**

The site is accessed via the vehicular entry/exit point located on Saint Lola Lane. A secondary vehicular exit point is also located on Saint Lola Lane. A crosswalk is proposed, crossing both driveways, connecting the Saint Lola Lane frontage to the subject development and adjacent property. The submitted plans show both vehicular and pedestrian circulation to be safe, efficient, and convenient for both pedestrians and drivers, because vehicular and pedestrian routes are separated. Where pedestrians must cross the vehicular entry and exits of the site, crosswalks are provided.

(3) Lighting.

- (A) For uses permitting nighttime activities, adequate illumination should be provided. Light fixtures should enhance the site's design character. To fulfill this goal, the following guidelines should be observed:**
 - (i) If the development is used at night, the luminosity, orientation, and location of exterior light fixtures should enhance user safety and minimize vehicular/pedestrian conflicts;**
 - (ii) Lighting should be used to illuminate important on-site elements such as entrances, pedestrian pathways, public spaces, and property addresses. Significant natural or built features may also be illuminated if appropriate to the site;**
 - (iii) The pattern of light pooling should be directed on-site;**

- (iv) **Light fixtures fulfilling similar functions should provide a consistent quality of light;**
- (v) **Light fixtures should be durable and compatible with the scale, architecture, and use of the site; and**
- (vi) **If a variety of lighting fixtures is needed to serve different purposes on a site, related fixtures should be selected. The design and layout of the fixtures should provide visual continuity throughout the site.**

Lighting for this DSP has been discussed in Finding 6 above, demonstrating adequate illumination for users and for the site in the evening.

(4) Views.

- (A) Site design techniques should be used to preserve, create, or emphasize scenic views from public areas.**

The varied landscaping proposed along the property's border, facing US 301, creates a scenic view for both drivers passing by and pedestrians using the adjacent trail.

(5) Green Area.

- (A) On-site green area should be designed to complement other site activity areas and should be appropriate in size, shape, location, and design to fulfill its intended use. To fulfill this goal, the following guidelines should be observed:**
 - (i) Green area should be easily accessible in order to maximize its utility and to simplify its maintenance;**
 - (ii) Green area should link major site destinations such as buildings and parking areas;**
 - (iii) Green area should be well-defined and appropriately scaled to meet its intended use;**
 - (iv) Green area designed for the use and enjoyment of pedestrians should be visible and accessible, and the location of seating should be protected from excessive sun, shade, wind, and noise;**
 - (v) Green area should be designed to define space, provide screening and privacy, and serve as a focal point;**

- (vi) Green area should incorporate significant on-site natural features and woodland conservation requirements that enhance the physical and visual character of the site; and**
- (vii) Green area should generally be accented by elements such as landscaping, pools, fountains, street furniture, and decorative paving.**

Strategically located green areas were determined with the overall DSP-20003 for Mill Branch and are unchanged by this DSP amendment for proposed Parcel 9. The green area is to be provided primarily on the perimeter of the overall site. The size, shape, location, and design of green area is appropriate to enhance landscape screening from residential areas located to the east of the subject site, and views along the street frontage of Saint Lola Lane and US 301.

- (B) The application shall demonstrate the preservation and/or restoration of the regulated environmental features in a natural state to the fullest extent possible in accordance with the requirement of Subtitle 24-130(b)(5).**

The requirement to preserve and/or restore the regulated environmental features (REF) in a natural state, as outlined in Subtitle 24-130(b)(5), was satisfied with the approval of the original DSP. The subject DSP does not impact the REF.

(6) Site and streetscape amenities.

- (A) Site and streetscape amenities should contribute to an attractive, coordinated development and should enhance the use and enjoyment of the site. To fulfill this goal, the following guidelines should be observed:**
 - (i) The design of light fixtures, benches, trash receptacles, bicycle racks and other street furniture should be coordinated in order to enhance the visual unity of the site;**
 - (ii) The design of amenities should take into consideration the color, pattern, texture, and scale of structures on the site, and when known, structures on adjacent sites, and pedestrian areas;**
 - (iii) Amenities should be clearly visible and accessible, and should not obstruct pedestrian circulation;**
 - (iv) Amenities should be functional and should be constructed of durable, low maintenance materials;**

- (v) Amenities should be protected from vehicular intrusion with design elements that are integrated into the overall streetscape design, such as landscaping, curbs, and bollards;
- (vi) Amenities such as kiosks, planters, fountains, and public art should be used as focal points on a site; and
- (vii) Amenities should be included which accommodate the handicapped and should be appropriately scaled for user comfort.

Crosswalks and handicap-accessible parking are provided and easily visible for patron use. Proposed street furniture including light fixtures, bike racks, and trash receptacles are adjacent to pedestrian and vehicular paths and finished to complement the establishment's color scheme and align with the overall building design.

(7) Grading.

- (A) Grading should be performed to minimize disruption to existing topography and other natural and cultural resources on the site and on adjacent sites. To the extent practicable, grading should minimize environmental impacts. To fulfill this goal, the following guidelines should be observed:
 - (i) Slopes and berms visible from streets and other public areas should appear as naturalistic forms. Slope ratios and the length of slopes should be varied if necessary to increase visual interest and relate manmade landforms to the shape of the natural terrain;
 - (ii) Excessive grading of hilltops and slopes should be avoided where there are reasonable alternatives that will preserve a site's natural landforms;
 - (iii) Grading and other methods should be considered to buffer incompatible land uses from each other;
 - (iv) Where steep slopes cannot be avoided, plant materials of varying forms and densities should be arranged to soften the appearance of the slope; and
 - (v) Drainage devices should be located and designed so as to minimize the view from public areas.

The evaluation of the topography and execution of grading was found acceptable and executed with the original DSP. The subject DSP does not propose any changes to grading completed with the original DSP.

(8) Service Areas.

(A) Service areas should be accessible, but unobtrusive. To fulfill this goal, the following guidelines should be observed:

- (i) Service areas should be located away from primary roads, when possible;**
- (ii) Service areas should be located conveniently to all buildings served;**
- (iii) Service areas should be effectively screened or enclosed with materials compatible with the primary structure; and**
- (iv) Multiple building developments should be designed to form service courtyards which are devoted to parking and loading uses and are not visible from public view.**

The submitted plans show that the location of the proposed dumpster and one loading space are accessible, but unobtrusive. While both are screened with landscaping, the dumpster is also enclosed.

(9) Public Spaces.

(A) A public space system should be provided to enhance a large-scale commercial, mixed-use, or multifamily development. To fulfill this goal, the following guidelines should be observed:

- (i) Buildings should be organized and designed to create public spaces such as plazas, squares, courtyards, pedestrian malls, or other defined spaces;**
- (ii) The scale, size, shape, and circulation patterns of the public spaces should be designed to accommodate various activities;**
- (iii) Public spaces should generally incorporate sitting areas, landscaping, access to the sun, and protection from the wind;**
- (iv) Public spaces should be readily accessible to potential users; and**

- (v) Pedestrian pathways should be provided to connect major uses and public spaces within the development and should be scaled for anticipated circulation.**

This requirement was satisfied with the original DSP for large-scale, mixed-use development and is not being altered with this subject DSP.

(10) Architecture.

- (A) When architectural considerations are referenced for review, the Conceptual Site Plan should include a statement as to how the architecture of the buildings will provide a variety of building forms, with a unified, harmonious use of materials and styles.**
- (B) The guidelines shall only be used in keeping with the character and purpose of the proposed type of development and the specific zone in which it is to be located.**
- (C) These guidelines may be modified in accordance with Section 27--277.**

A detailed discussion regarding architecture has been addressed in Finding 6 above.

(11) Townhouses and three-family dwellings.

- (A) Open space areas, particularly areas separating the rears of buildings containing townhouses, should retain, to the extent possible, single or small groups of mature trees. In areas where trees are not proposed to be retained, the applicant shall demonstrate to the satisfaction of the Planning Board or the District Council, as applicable, that specific site conditions warrant the clearing of the area. Preservation of individual trees should take into account the viability of the trees after the development of the site.**
- (B) Groups of townhouses should not be arranged on curving streets in long, linear strips. Where feasible, groups of townhouses should be at right angles to each other, and should facilitate a courtyard design. In a more urban environment, consideration should be given to fronting the units on roadways.**
- (C) Recreational facilities should be separated from dwelling units through techniques such as buffering, differences in grade, or preservation of existing trees. The rears of**

buildings, in particular, should be buffered from recreational facilities.

- (D) To convey the individuality of each unit, the design of abutting units should avoid the use of repetitive architectural elements and should employ a variety of architectural features and designs such as roofline, window and door treatments, projections, colors, and materials. In lieu of this individuality guideline, creative or innovative product design may be utilized.
- (E) To the extent feasible, the rears of townhouses should be buffered from public rights-of-way and parking lots. Each application shall include a visual mitigation plan that identifies effective buffers between the rears of townhouses abutting public rights-of-way and parking lots. Where there are no existing trees, or the retention of existing vegetation is not practicable, landscaping, berming, fencing, or a combination of these techniques may be used. Alternatively, the applicant may consider designing the rears of townhouse buildings such that they have similar features to the fronts, such as reverse gables, bay windows, shutters, or trim.
- (F) Attention should be given to the aesthetic appearance of the offsets of buildings.

This requirement is not applicable to this DSP because it does not include any townhouse or three-story units.

8. **Preliminary Plan of Subdivision PPS 4-19050:** PPS 4-19050 was approved by the Planning Board on April 8, 2021 (PGCPB Resolution No. 2021-42), subject to 24 conditions. The conditions relevant to the revision of this DSP are listed below, in **bold** text. Staff's analysis of the preliminary plan's conditions follows each one, in plain text:

3. **A substantial revision to the mix of uses on the subject property that affects Subtitle 24 adequacy findings, as set forth in this resolution of approval, shall require the approval of a new preliminary plan of subdivision, prior to approval of any building permits.**

The subject DSP does not propose a substantial revision to the mix of uses on the subject property, which were approved at the time of the PPS. The Subtitle 24 adequacy findings of the PPS are not affected.

4. **Development of this site shall be in conformance with the stormwater management concept plan for this project (01-0614-205NE14, once reapproved by the City of Bowie), and any subsequent revisions.**

The DSP proposed provides no change to the stormwater management (SWM) concept plan for this project. Therefore, the SWM concept plan remains valid and does not require a revision.

5. **Prior to approval of a final plat, in accordance with the approved preliminary plan of subdivision, the final plat shall include the dedication of public utility easements (PUEs) along all public and private rights-of-way, unless a variation from the PUE requirement is obtained.**

The property was previously platted as Outlots 9 and 10 in Plat Book ME 262 page 52. The plat shows public utility easements (PUEs) on the outlots consistent with PPS 4-19050, and the subject DSP shows PUEs consistent with both the PPS and the plat. When the property is re-platted as Parcel 9, the new plat will need to show the required PUE.

18. **Total development within the subject property shall be limited to uses which generate no more than 909 AM peak-hour trips and 1,231 PM peak-hour vehicle trips. Any development generating an impact greater than that identified herein above shall require a new preliminary plan of subdivision with a new determination of the adequacy of transportation facilities.**

The applicant submitted a trip generation memo dated December 5, 2024, with this DSP, stating that the approved development under DSP-20003, DSP-20003-01, and the subject DSP, would generate 758 a.m. and 764 p.m. trips. These trips are within the trip-cap established with PPS 4-19050.

20. **In conformance with the 2009 *Approved Countywide Master Plan of Transportation*, and the 2006 *Approved Master Plan for Bowie and Vicinity and Sectional Map Amendment for Planning Areas 71A, 71B, 74A, and 74B*, the applicant and the applicant's heirs, successors, and/or assignees shall provide the following improvements, and provide an exhibit that depicts the following improvements, prior to acceptance of any detailed site plan:**

- a. **Bikeway signage and shared lane markings (e.g., "sharrow"), within the right-of-way, along the subject site's frontage of Mill Branch Road, unless modified with written correspondence by the Prince George's County Department of Permitting, Inspections and Enforcement, and/or the Maryland State Highway Administration, as appropriate.**

The proposed development, which is the subject of this DSP, does not have frontage on Mill Branch Crossing Road. However, an exhibit was provided with the original DSP showing this improvement, in conformance with this condition.

- b. **Minimum 5-foot-wide sidewalks along both sides of all internal roadways, public or private, excluding alleyways.**

The development includes a 5-foot-wide sidewalk along Saint Lola Lane and around the proposed building, ending at the pedestrian entrances.

- c. **Minimum 5-foot-wide sidewalks along the full lengths of proposed Roads A, D, and F.**

The proposed development fronts Saint Lola Lane, previously referred to as Road A during PPS 4-19050. A 5-foot-wide sidewalk is proposed that extends the full length of the development's frontage on Saint Lola Lane.

- d. **A wide crosswalk with a pedestrian island crossing US 301 at Mill Branch Road, unless modified by the Maryland State Highway Administration, with written correspondence.**

The wide crosswalk with a pedestrian island crossing US 301 was installed, reviewed, and determined to be acceptable with DSP-20003.

- e. **Continental style crosswalk crossing all access points along Private Road A and Chesley Avenue.**

The proposed development includes two vehicular access points along Saint Lola Lane, each featuring continental-style crosswalks across the entry and exit areas.

- f. **Long- and short-term bicycle parking, consistent with the 2012 AASHTO *Guide for the Development of Bicycle Facilities*, to accommodate residents and visitors at the proposed multifamily building, hotel, and commercial spaces.**

The proposed subject of the DSP does not include the multifamily building or hotel. The commercial space that is the subject of this DSP provides two bicycle racks adjacent to the entrance of the proposed building.

- g. **Parallel or perpendicular ADA curb ramps at all intersections within the subject site.**

All intersections of the subject site contain Americans with Disabilities Act truncated dome patterned curb ramps.

- 9. **Detailed Site Plan DSP-20003:** DSP-20003 was approved by the Planning Board on April 7, 2022 (PGCPB Resolution No. 2022-35), subject to five conditions. None of the conditions are applicable to this DSP application.
- 10. **Detailed Site Plan DSP-20003-01:** DSP-20003-01 was approved by the Planning Board on September 7, 2023 (PGCPB Resolution No. 2023-88), subject to six conditions. None of the conditions are applicable to this DSP application.
- 11. **2010 Prince George's County Landscape Manual:** The application is subject to the requirements of Section 4.2, Landscape Strips Along Streets; Section 4.3, Parking Lot Requirements; Section 4.4, Screening Requirements; Section 4.7, Buffering Incompatible Uses; Section 4.9, Sustainable Landscaping Requirements; and, Section 4.10, Street Trees Along Private Streets, of the Landscape Manual. The submitted landscape plan demonstrates conformance to these requirements.

12. **Prince George's County Woodland and Wildlife Habitat Conservation Ordinance:** This site is subject to the grandfathering provisions of the 2024 Prince George's County Woodland Conservation Ordinance because the property had a tree conservation plan (TCP) that was accepted for review on or before June 30, 2024, and shall conform to the environmental regulations of the 2010 Prince George's County Woodland and Wildlife Habitat Conservation Ordinance (WCO). Specifically, this site is subject to approved Type 2 Tree Conservation Plan TCP2-044-2021-01. The prior TCP approval was implemented with a grading permit that was approved prior to July 1, 2024, and was partially developed. This application does not propose any changes to the implemented TCP2.

The woodland conservation threshold for this 70.11-acre property is 15 percent of the net tract area (60.16 acres), or 9.02 acres. The total woodland conservation requirement based on the amount of clearing proposed is 14.77 acres.

This requirement was satisfied through a combination of 3.61 acres of on-site woodland preservation, 5.14 acres of on-site reforestation/afforestation, and 6.03 acres of off-site woodland conservation, for a total of 14.78 acres.

13. **Prince George's County Tree Canopy Coverage Ordinance:** The subject site is located within the Mill Branch Crossing development, in the CGO Zone. DSP-20003 was approved for clearing, grading, and infrastructure for the entire Mill Branch Crossing site, including the subject property. The DSP included a landscape plan demonstrating conformance to the Prince George's County Tree Canopy Coverage Ordinance for the entire 70.11-acre Mill Branch Crossing site, through the provision of on-site woodland conservation and reforestation/afforestation. Therefore, per Section 25-127(a)(4), the current DSP-20003-02 is subject to the Tree Canopy Coverage Ordinance regulations in place at the time of the approval of DSP-20003, and not the regulations as updated by CB-21-2024. The tree canopy coverage (TCC) schedule reflecting conformance to the requirements for the entire Mill Branch Crossing site should be added to the landscape plan, along with a note relative to the TCC conformance having been met with the approval of DSP-20003. A condition is included herein requiring this update.

14. **Referral comments:** The subject application was referred to the concerned agencies and divisions. The referral comments are summarized as follows, and incorporated herein by reference:

- a. **Historic Preservation and Archeological Review**—In a memorandum dated December 9, 2024 (Stabler, Smith, and Chisholm to Cofield), the Historic Preservation Section offered the following comments:

The 2022 *Approved Bowie-Mitchellville and Vicinity Master Plan* (master plan) contains goals and policies related to historic preservation (pages 158–165). However, these are not specific to the subject site, or applicable to the proposed development. The underlying PPS (4-19050) covered 70 acres and included a Phase III archeological investigation, completed in June 2020 on Site 18PR857 – an eighteenth-century plantation house lot. No additional archeology was recommended.

- b. **Community Planning**—In a memorandum dated December 9, 2024 (Lester to Cofield), the Community Planning Division provided an evaluation of the application stating that, while master plan conformance is not a required finding for this DSP, the subject DSP does conform with the master plan’s recommended land use for the subject property.
- c. **Transportation Planning**—In a memorandum dated December 9, 2024 (Shaw to Cofield), the Transportation Planning Section offered the following comments:

Two vehicular access points are proposed along Saint Lola Lane. The northern access driveway is full movement, while the southern access is an egress only. Pedestrian movement through the site is marked and separated by sidewalks and crosswalks. A truck-turning exhibit was provided, to demonstrate larger vehicular movement through the site. The proposed development requires 41 parking spaces; of which 38 conventional spaces, 9 compact spaces, and 2 handicap-accessible spaces are provided on-site, exceeding the requirement. Designated space for bicycle parking is also proposed near the building entrance to accommodate four bicycles at a given time.

Master Plan Right of Way

This application was evaluated in accordance with the 2009 *Approved Countywide Master Plan of Transportation* (MPOT) and the 2022 *Approved Bowie-Mitchellville and Vicinity Master Plan and Sectional Map Amendment*. The subject property fronts US-301 (F-10), a freeway with a 450-foot right-of-way, along its western border, with no direct access. The site has direct access from within the development, along Saint Lola Lane, which is identified as a public road with a 52-foot right-of-way. The site plans accurately display all right-of-way requirements.

Master Plan Pedestrian and Bicycle Facilities

MPOT recommends the following master-planned facilities that are adjacent to the site:

- Planner Side Path: F-10 (US-301)
- Planned Bike Lane: P-310

The Complete Streets element of the MPOT reinforces the need for multimodal transportation and includes the following policies regarding the accommodation of pedestrians and bicyclists (MPOT, pages 9–10):

Policy 1: Provide standard sidewalks along both sides of all new road construction within the Developed and Developing Tiers.

Policy 2: All road frontage improvements and road capital improvement projects within the Developed and Developing Tiers shall be designed to accommodate all modes of transportation. Continuous sidewalks and on-road bicycle facilities should be included to the extent feasible and practical.

Policy 5: Evaluate new development proposals in the Developed and Developing Tiers for conformance with the complete streets principles.

The 2022 *Bowie-Mitchellville and Vicinity Master Plan* recommends the following facilities within or adjacent to the subject property:

TM 1.3: Streets constructed to serve new commercial, multifamily, or mixed-use developments should contain, at a minimum:

- **Six-foot-wide sidewalks on both sides.**
- **Crosswalks on all legs of an intersection.**

The site plan includes a 5-foot-wide sidewalk and associated crosswalks along the property frontage, to provide a continuous and new connection to the site and larger development. Although the master plan recommends a 6-foot-wide sidewalk, the planned 5-foot-wide sidewalk is consistent with the recommended width of the prior plan approval in 2019. There are no bicycle facilities recommended that impact the subject site. However, bicycle parking is proposed on-site. Transportation staff find the proposed facilities meet the intent of the master plan and MPOT.

- d. **Subdivision**—In a memorandum dated December 10, 2024 (Bartlett to Cofield), the Subdivision Section offered comments pertaining to the existing property description and the configuration of proposed Parcel 9, which have been incorporated into the conditions contained in this technical staff report.
- e. **Environmental Planning**—In a memorandum dated December 10, 2024 (Juba to Cofield), the Environmental Planning Section offered the following:

Natural Resources Inventory

The site has an approved Type2 Tree Conservation Plan (TCP2-044-2021-01) and the proposed work will not result in any significant changes to the limits of disturbance of the previously approved TCP2 or create additional impacts to any REF. The site has an approved Natural Resources Inventory (NRI-029-07-04) valid until June 5, 2025. An approved SWM Concept Plan and letter (01-0624-205NE14), which expires on June 26, 2027, was submitted with this application, from the City of Bowie. This plan shows that the proposed modifications to the site are within the previously approved limits of disturbance of the previous DSP approval. This site contains no specimen, historic, champion trees, or REF such as streams, wetlands, 100-year floodplain, associated buffers, or primary management area.

- f. **Permit Review Section**—In a memorandum dated December 9, 2024 (Jacobs to Cofield), the Permit Review Section stated they offer no comments on this application.
- g. **Prince George's County Department of Parks and Recreation (DPR)**—At the Subdivision and Development Review Committee conference held on November 8, 2024, DPR had no comments on this application.

- h. **Prince George's County Department of Permitting, Inspections and Enforcement (DPIE)**—In a memorandum dated December 3, 2024 (Deguzman to Cofield), DPIE indicated that the property is served by public water and sewer service and offered comments pertaining to SWM, which will be addressed through DPIE's separate permitting process.
 - i. **Price George's County Police Department**—At the time of the writing of this technical staff report, the Police Department did not offer comments on this application.
 - j. **Prince George's County Fire/EMS Department**—At the time of the writing of this technical staff report, the Fire/EMS Department did not offer comments on this application.
 - k. **Prince George's County Health Department**—In a memorandum dated October 24, 2024 (Adepoju to Cofield), the Health Department offered comments addressing construction activity impacts (noise and dust) extending onto adjacent properties during construction, and indicated that the applicant must apply for plan review to the Maryland Department of Health, Environmental Health Bureau, Food Protection and Food Licensing program, located at 6 St. Paul Street, Suite 1301, Baltimore, Maryland. 21202
 - l. **Washington Suburban Sanitary Commission (WSSC)**—WSSC offered utility related comments, dated November 6, 2024, that have been provided to the applicant and will have to be addressed before sewer and water connection. Specifically, WSSC noted that existing and/or proposed water/sewer mains and service connections, easement limits for all existing and/or proposed water sewer mains and service connections should clearly be shown and labeled on the plan. Any unused existing service connections need to be abandoned during the review of the Site Utility plans and any water/sewer pipelines 12-inch or smaller must have a greater of: a minimum of 15 feet horizontal separation from any building or dwelling or a 1:1 slope from the bottom of the foundation of the existing or proposed building to the bottom edge of the pipeline trench.
 - m. **Public Utilities**—At the time of the writing of this technical staff report, the public utility companies did not offer comments on this application.
 - n. **City of Bowie**—The subject property is located within the geographical boundary of the City of Bowie. The DSP application was referred to the municipality for review. The application was heard at the City Council meeting on December 2, 2024. The City Council recommended approval of this DSP, with two conditions relating to bicycle racks and lighting. However, two bike racks are shown on the plan so only the lighting related condition is included herein.
15. **Community feedback:** As of the writing of this technical staff report, staff did not receive any inquiries regarding the subject DSP from the community.

16. Based on the foregoing analysis, and as required by Section 27-285(b)(1) of the prior Zoning Ordinance, the DSP, if approved with the proposed conditions below, represents a most reasonable alternative for satisfying the site design guidelines of Subtitle 27, Part 3, Division 9, of the Prince George's County Code, without requiring unreasonable costs and without detracting substantially from the utility of the proposed development for its intended use.
17. Section 27-285(b)(2) of the prior Zoning Ordinance is not applicable because there is no conceptual site plan.
18. Section 27-285(b)(3) of the prior Zoning Ordinance does not apply to this DSP because it is not a DSP for infrastructure.
19. As required by Section 27-285(b)(4) of the prior Zoning Ordinance, the Planning Board may approve a DSP if it finds that the REF have been preserved and/or restored in a natural state to the fullest extent possible in accordance with the requirement of Subtitle 24-130(b)(5). There are no REF on the subject property.

RECOMMENDATION

Based upon the foregoing evaluation and analysis, the Urban Design staff recommend that the Prince George's County Planning Board adopt the findings of this report and APPROVE Detailed Site Plan DSP-20003-02, for Popeyes at Mill Branch Crossing, subject to the following condition:

1. Prior to certificate approval of this detailed site plan (DSP), the applicant shall:
 - a. Revise the cover sheet and plans to identify the subject property of this DSP as proposed Parcel 9, with the abutting lots retaining an outlot designation for future development.
 - b. Revise the Site Data Note 11 to reflect Parcel 9 as the only Proposed Parcel Area and remove reference to existing Outlot 8.
 - c. Revise the Minimum Building Setback on Sheet DSP-4 to accurately reflect the correct orientation and the required setback dimensions.
 - d. Revise General Note 19 to reflect the correct approval dates of the previously approved applications.
 - e. Provide notes on lighting details stating lighting fixtures will be full cut-off.
 - f. Revise Sheet DSP-3 to show the entire extent of existing Outlot 10.
 - g. On Sheet DSP-4, label the bearings and distances for the property lines of proposed Parcel 9.
 - h. Revise the tree canopy coverage schedule to reflect conformance to the requirements for the entire gross tract area of the Mill Branch Crossing site, through the provided on-site woodland conservation and reforestation/afforestation, along

with a note relative to the conformance having been met with the approval of DSP-20003.