



The Maryland-National Capital Park and Planning Commission  
Prince George's County Planning Department  
Development Review Division  
301-952-3530

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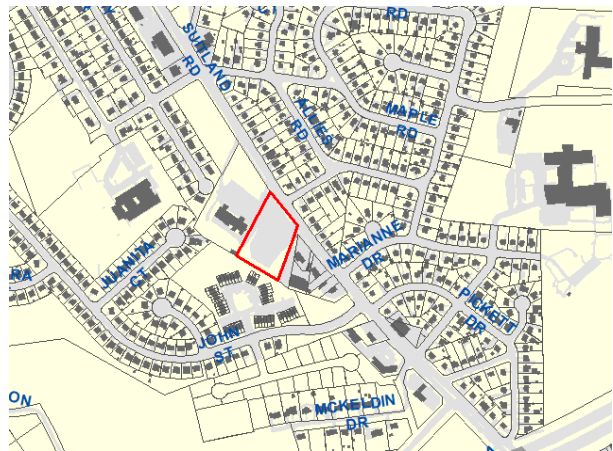
# Detailed Site Plan

## Suitland Carwash

# DSP-20041

REQUEST	STAFF RECOMMENDATION
Development of a 4,820-square-foot car wash	APPROVAL with conditions

<b>Location:</b> On the south side of Suitland Road, approximately 417 feet west of its intersection with Marianne Drive.	
Gross Acreage:	2.73
Zone:	C-M/D-D-O/M-I-O
Dwelling Units:	N/A
Gross Floor Area:	4,820 sq. ft.
Planning Area:	76A
Council District:	07
Election District:	06
Municipality:	Morningside
200-Scale Base Map:	206SE06
<b>Applicant/Address:</b> Andre Reveley 12535 Perrywood Lane Dunkirk, MD 20754	
<b>Staff Reviewer:</b> Tierre Butler <b>Phone Number:</b> 301-952-2548 <b>Email:</b> Tierre.Butler@ppd.mncppc.org	



Planning Board Date:	05/13/2021
Planning Board Action Limit:	05/13/2021
Staff Report Date:	04/28/2021
Date Accepted:	03/04/2021
Informational Mailing:	10/12/2020
Acceptance Mailing:	03/04/2021
Sign Posting Deadline:	04/13/2021

The Planning Board encourages all interested persons to request to become a person of record for this application. Requests to become a person of record may be made online at [http://www.mncppcapps.org/planning/Person\\_of\\_Record/](http://www.mncppcapps.org/planning/Person_of_Record/). Please call 301-952-3530 for additional information.



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THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION  
  
PRINCE GEORGE'S COUNTY PLANNING BOARD

STAFF REPORT

SUBJECT:       Detailed Site Plan DSP-20041  
                  Suitland Carwash

The Urban Design staff has reviewed the application for the subject property and presents the following evaluation and findings leading to a recommendation of APPROVAL with conditions of the detailed site plan, as described in the Recommendation section of this report.

**EVALUATION**

This detailed site plan was reviewed and evaluated for conformance with the following criteria:

- a.       The requirements of the 2014 *Approved Southern Green Line Station Area Sector Plan and Sectional Map Amendment*;
- b.       The requirements of the Prince George's County Zoning Ordinance for the Commercial Miscellaneous (C-M), Military Installation Overlay (M-I-O), and Development District Overlay (D-D-O) Zones;
- c.       The requirements of the 2010 *Prince George's County Landscape Manual*;
- d.       The requirements of the Prince George's County Woodland and Wildlife Habitat Conservation Ordinance;
- e.       The requirements of the Prince George's County Tree Canopy Coverage Ordinance; and
- f.       Referral comments.

**FINDINGS**

Based upon the evaluation and analysis of the subject detailed site plan, the Urban Design staff recommends the following findings:

1.       **Request:** The subject detailed site plan (DSP) requests approval for development of a 4,820-square-foot car wash.



2. **Development Data Summary:**

	EXISTING	PROPOSED
Zone	C-M/D-D-O	C-M/D-D-O
Use(s)	Vacant	Commercial
Gross Acreage	2.73	2.73
Number of Lots	1	1
Total Gross Floor Area	0 sq. ft.	4,820 sq. ft.

**PARKING DATA**

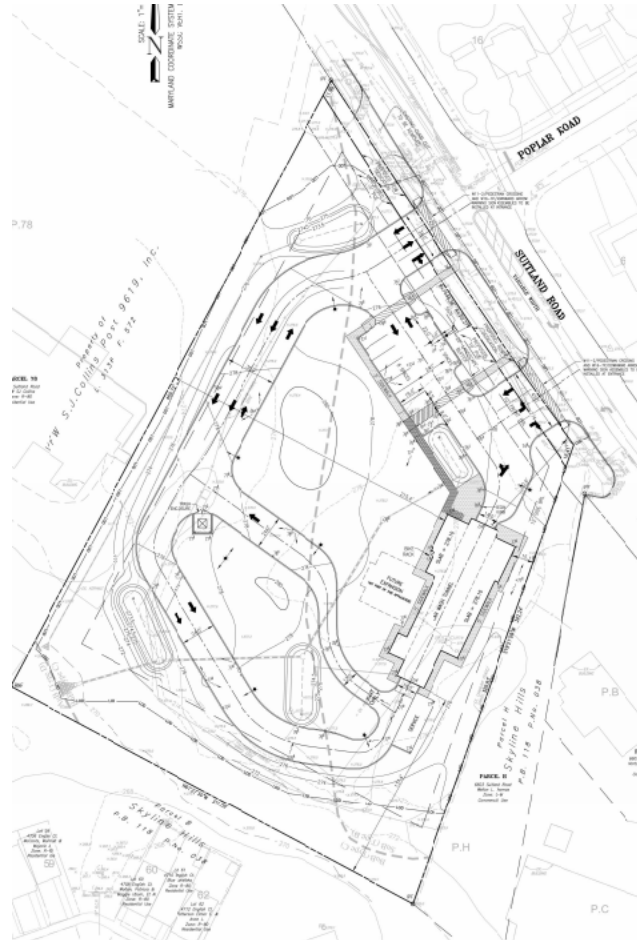
	REQUIRED	PROPOSED
Total Parking Spaces	10	10
Handicapped-Accessible Spaces	1	1

3. **Location:** The subject property is located on the west side of Suitland Road, approximately 417 feet west of its intersection with Marianne Drive. The project is also in Planning Area 76A and Council District 7.
4. **Surrounding Uses:** The subject property is zoned Commercial-Miscellaneous (C-M). The single-family attached Skyline Hills Subdivision is zoned One-Family Detached Residential (R-80) and located along the southern boundary of the property. The eastern boundary borders on Parcel H of the Skyline Hills Subdivision, zoned C-M. The Veterans of Foreign Wars property is located along the western border of the property. Located to the north of the site, beyond Suitland Road, is the single-family detached Upper Morningside Subdivision, zoned One-Family Detached Residential (R-55).
5. **Previous Approvals:** The subject property is a legal acreage parcel known as Parcel 79, shown on Tax Map 89 in Grid D-4, and recorded in Liber 42863, folio 351 of the Prince George's County Land Records. The development has an approved Stormwater Management (SWM) Concept Plan, 19205-2020-00, which was approved on February 25, 2021, and is valid until 2024.
6. **Design Features:** The subject application proposes to construct a 4,820-square-foot, 20-foot-high car wash. The site will be accessed from Suitland Road via two full access points at either side of the property. Two stacking lanes run along the western side of the site and the building is situated along the eastern side of the site, with the exit facing Suitland Road. The site will contain 10 parking spaces, including 1 handicapped-accessible space, along the front of the property. There will be a 5-foot-wide sidewalk around the building, connecting to the sidewalk within the right-of-way, and bicycle racks located adjacent to the building. An enclosed dumpster will also be located in the southwest corner of the site, and a single freestanding, masonry, 4.67-foot-high, monument sign will be located along the road frontage. The photometric plan indicates freestanding and building-mounted lighting throughout the site, with minimal spillover onto the adjacent residential properties.

Building materials include a combination of metal, masonry, cast stone, and composite cladding in shades of brown and gray. The northern and southern façades, which include the exit and entrances, respectively, feature a higher roofline and storefront windows, and a



building-mounted sign on the northern façade. However, no details or dimensions were provided for the sign indicating it was in conformance with the Prince George's County Zoning Ordinance. Therefore, a condition is included herein requiring this information be provided.



**Figure 1: Site Plan**



**Figure 2: Architectural Elevations**



## COMPLIANCE WITH EVALUATION CRITERIA

7. **2014 Approved Southern Green Line Station Area Sector Plan and Sectional Map Amendment:** The subject site is located within the D-D-O Zone of the 2014 *Approved Southern Green Line Station Area Sector Plan and Sectional Map Amendment* (Southern Green Line Station Sector Plan and SMA). DSP review is required for all projects proposed within the D-D-O Zone; however, the applicability of the D-D-O Zone development standards is limited to areas within close proximity to metro stations. The subject site is located approximately 1 mile east of the Branch Avenue Metro Station and outside of the area for which specific development standards apply. The subject DSP has been submitted, in accordance with the requirement of the sector plan, and no D-D-O Zone standards apply to the proposed project.
8. **Prince George's County Zoning Ordinance:** The subject application has been reviewed for compliance with the requirements of the C-M Zone, Part 10C, M-I-O Zone, and the site plan design guidelines of the Zoning Ordinance.
  - a. The subject application is in conformance with the requirements of the Table of Uses in the Southern Green Line Station Sector Plan and SMA, which governs uses in this D-D-O Zone. The proposed car wash is a permitted use in the C-M/D-D-O Zone, subject to Footnote 24, which requires a DSP.
  - b. The DSP shows a layout that is consistent with Section 27-462, regulations regarding building setbacks, of the Zoning Ordinance.
  - c. The DSP is in conformance with the applicable site design guidelines contained in Sections 27-283 and 27-274 of the Zoning Ordinance. For instance, pedestrian and vehicular traffic is separated, adequate illumination is provided for on-site elements, and service areas are located away from roadways and effectively screened.
  - d. The subject application is in the M-I-O Zone for height, associated with Joint Base Andrews, and is subject to Section 27-548.54, Requirements for Height, of the Zoning Ordinance. The M-I-O Zone limits height to approximately 400 feet for this property, and the proposed building has a maximum height of 24 feet.
  - e. Section 27-548.25(b) requires that the Prince George's County Planning Board find that the site plan meets the applicable development district standards to approve a DSP. As discussed in Finding 7, there are no specific development district standards that apply to this DSP.
9. **2010 Prince George's County Landscape Manual:** Development proposed by this DSP is subject to Section 4.2, Requirements for Landscape Strips along Streets; Section 4.4, Screening Requirements; Section 4.7, Buffering Incompatible Uses; and Section 4.9, Sustainable Landscape Requirements of the 2010 *Prince George's County Landscape Manual* (Landscape Manual). However, this site is also located in the D-D-O Zone, which specifies that the provisions of the Landscape Manual regarding alternative compliance and buffering incompatible uses do not apply within the development district. Staff finds the proposal



conforms with Landscape Manual, as shown on the plans, except a schedule is missing for Section 4.9 and has been conditioned herein to be provided.

10. **Prince George's County Woodland and Wildlife Habitat Conservation Ordinance:** The site has been issued a standard exemption from the Woodland and Wildlife Habitat Conservation Ordinance (S-074-2021) because the site contains less than 10,000 square feet of woodland and has no previous tree conservation plan approvals. A Natural Resources Inventory (NRI) Plan has been approved for the site (NRI-091-2020). The NRI showed no on-site woodland or regulated environmental features.
11. **Prince George's County Tree Canopy Coverage Ordinance:** The subject application is subject to the requirements of the Tree Canopy Coverage Ordinance requiring a minimum of 10 percent of the gross tract area for the C-M Zone, in conformance with the Tree Canopy Coverage Ordinance, Subtitle 25, Division 3. The site is 2.73 acres and provides the required 0.27 acre of tree canopy coverage, in conformance with the requirement.
12. **Referral Comments:** The subject application was referred to the concerned agencies and divisions. The referral comments are summarized, as follows, and are incorporated herein by reference:
  - a. **Community Planning**—In a memorandum dated March 16, 2021 (Lester to Butler), the Community Planning Division indicated that pursuant to Section 27-548.25(b), this DSP meets the applicable standards of the Southern Green Line D-D-O Zone.
  - b. **Subdivision**—In a memorandum dated April 14, 2021 (Diaz-Campbell to Butler), the Subdivision Section indicated that the development proposed on the property is exempt from filing a new preliminary plan of subdivision (PPS) under Section 24-107(c)(7)(B) of the Subdivision Regulations, because less than 5,000 square feet gross floor area (GFA) of new development is proposed. The plans do, however, indicate the location of a possible future expansion of the car wash. If and when this expansion is proposed, a PPS will be required if it causes the total GFA on the site to exceed 5,000 square feet. In addition, the applicant should file for a final plat following approval of the DSP, in order to dedicate the proposed public road right-of-way for Suitland Road and grant the proposed 10-foot public utility easement.
  - c. **Transportation Planning**—In a memorandum dated April 12, 2021 (Burton to Butler), the Transportation Planning Section stated that the subject application is proposing two full access points on Suitland Road, a master-planned arterial (A-41) road within a 120-foot right-of-way. The DSP is proposing sufficient right-of-way that will satisfy the minimum right-of way requirement for an arterial road. All other aspects of the site regarding access and circulation are deemed to be acceptable.
  - d. **Environmental Planning**—In an email dated March 31, 2021 (Schneider to Butler), the Environmental Planning staff indicated that the SWM concept plan was submitted and shows the use of two micro-bioretenment and two rain garden facilities for on-site SWM.



- e. **Historic Preservation**—In a memorandum dated March 8, 2021 (Berger to Butler), the Historic Preservation Section noted that the subject property does not contain, and is not adjacent to any designated Prince George’s County historic sites or resources. A search of current and historic photographs, topographic and historic maps, and locations of currently known archeological sites indicates the probability of archeological sites within the subject property is low.
  - f. **Permits**—In a memorandum dated April 14, 2021, (Bartlett to Butler), the Permits Section had additional comments that have been addressed through revisions to the plan or included as conditions herein.
13. As required by Section 27-285(b) of the Zoning Ordinance, the DSP, if revised as conditioned, represents a reasonable alternative for satisfying the site design guidelines of Subtitle 27, Part 3, Division 9, of the Prince George’s County Code, without requiring unreasonable cost and without detracting substantially from the utility of the proposed development for its intended use.
14. Section 27-285(b)(4) provides the following required finding for approval of a DSP:
- (4) The plan shall demonstrate the preservation and/or restoration of the regulated environmental features in a natural state to the fullest extent possible in accordance with the requirement of Subtitle 24-130 (b)(5).**
- No regulated environmental features such as streams, wetlands, 100-year floodplain, associated buffers, and PMAs are located on-site. Therefore, this finding does not apply.

## RECOMMENDATION

Based upon the foregoing evaluation and analysis, the Urban Design staff recommends that the Planning Board adopt the findings of this report and APPROVE Detailed Site Plan DSP-20041 for Suitland Carwash, subject to the following conditions:

1. Prior to certification, the detailed site plan (DSP) shall be revised, as follows:
  - a. Provide a schedule demonstrating conformance to Section 4.9, Sustainable Landscape Requirements, of the 2010 *Prince George’s County Landscape Manual*.
  - b. Revise the tree canopy coverage chart on the landscape plan to change TCP2# “Pending” to TCP2# “Exempt”.
  - c. Provide the square footage and height of the car wash tunnel building on Sheets 3 and 4 of the DSP.
  - d. Revise 3.b. under the Development Data notes to read “12 feet,” and 3.c. to “25 feet or the buffer required in Landscape Manual, whichever is greater.”



- e. Provide the details for the building-mounted sign and provide a signage table demonstrating conformance with Section 27-613 of the Prince George's County Zoning Ordinance.
- 2. Prior to approval of a grading permit, the applicant shall file for a final plat, in order to dedicate the proposed public road right-of-way for Suitland Road, and grant the proposed 10-foot-wide public utility easement.