



The Maryland-National Capital Park and Planning Commission



PRINCE GEORGE'S COUNTY
Planning Department

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Note: Staff reports can be accessed at <https://www.mncppc.org/883/Watch-Meetings>

Detailed Site Plan

DSP-25007

Walker Mill Business Park Lot 15 Block B

REQUEST	STAFF RECOMMENDATION
Development of approximately 17,725 square feet of industrial uses for a contractor's office with outdoor storage and contractor's storage yard.	With the conditions recommended herein: <ul style="list-style-type: none">• APPROVAL of Detailed Site Plan DSP-25007• APPROVAL of Type 2 Tree Conservation Plan TCP2-014-2025

Location: In the southwest quadrant of the intersection of Rochell Avenue and Hazelwood Drive.

Gross Acreage: 1.73

Zone: IE

Prior Zone: I-1

Reviewed per prior Zoning Ordinance: Section 27-1704(b)

Gross Floor Area: 17,725 sq. ft.

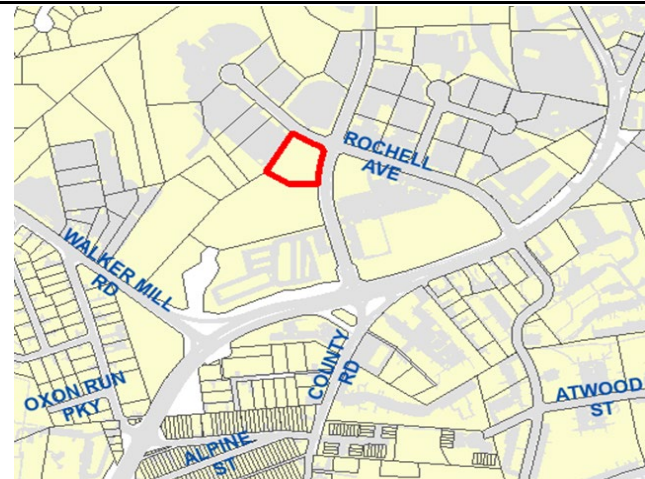
Planning Area: 75B

Council District: 07

Municipality: Capitol Heights

Applicant/Address:
A & A Rochell, LLC
10610 Rhode Island Avenue
Beltsville, MD 20705

Staff Reviewer: David Myerholtz
Phone Number: 301-780-3411
Email: David.Myerholtz@ppd.mncppc.org



Planning Board Date:	06/12/2025
Planning Board Action Limit:	07/24/2025
Staff Report Date:	05/28/2025
Date Accepted:	03/31/2025
Informational Mailing:	03/25/2025
Acceptance Mailing:	03/25/2025
Sign Posting Deadline:	05/13/2025

The Planning Board encourages all interested persons to request to become a person of record for this application. Requests to become a person of record may be made online at

http://www.mncppcapps.org/planning/Person_of_Record/.

Please call 301-952-3530 for additional information.

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THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

PRINCE GEORGE'S COUNTY PLANNING BOARD

STAFF REPORT

SUBJECT: Detailed Site Plan DSP-25007
Type 2 Tree Conservation Plan TCP2-014-2025
Walker Mill Business Park Lot 15 Block B

The Urban Design staff have reviewed the detailed site plan for the subject property and present the following evaluation and findings leading to a recommendation of APPROVAL, with conditions, as described in the Recommendation section of this technical staff report.

EVALUATION CRITERIA

The subject property is located within the Industrial, Employment (IE) Zone. However, this application is being evaluated in accordance with the Prince George's County Zoning Ordinance effective prior to April 1, 2022 (prior Zoning Ordinance). Pursuant to Section 27-1704(b) of the current Zoning Ordinance, a development project approved and remaining valid pursuant to the prior Zoning Ordinance and prior Subdivision Regulations may proceed to the next steps in the approval process and continue to be reviewed and decided under the prior Zoning Ordinance. The site has a Preliminary Plan of Subdivision, 4-01056, approved by the Prince George's County Planning Board on September 27, 2001 (PGCPB Resolution No. 01-198), which remains valid, and therefore, this application may proceed to the next steps in the approval, and continue to be reviewed and decided under the prior Zoning Ordinance. This detailed site plan (DSP) represents the next step in the approval process for this site. Under the prior Zoning Ordinance, the property is subject to the standards of the Light Industrial (I-1) Zone, which applied to this property prior to April 1, 2022. Therefore, staff considered the following in reviewing this DSP application:

- a. The requirements of the prior Prince George's County Zoning Ordinance in the Light Industrial (I-1) Zone, and the site design guidelines;
- b. The requirements of Preliminary Plan of Subdivision 4-01056;
- c. The requirements of the 2010 *Prince George's County Landscape Manual*;
- d. The requirements of the Prince George's County Woodland and Wildlife Habitat Conservation Ordinance;
- e. The requirements of the Prince George's County Tree Canopy Coverage Ordinance;
- f. Referral comments; and
- g. Community Feedback.

FINDINGS

Based upon the analysis of the subject application, the Urban Design staff recommend the following findings:

1. **Request:** The subject detailed site plan (DSP) proposes to construct approximately 17,725 square feet of industrial uses for a contractor's office with outdoor storage and contractor's storage yard.

More specifically, the applicant requests two phases of development. Phase 1 will include construction of a contractor's storage yard, including a landscape buffer along Hazelwood Drive and Rochell Avenue. Phase 2 will include three contractor office buildings with outdoor storage.

2. **Development Data Summary:**

	EXISTING	EVALUATED Phase 1	EVALUATED Phase 2
Zone	IE	I-1	I-1
Use	Vacant	Contractor's Storage Yard	Contractor's Office with Outdoor Storage
Total Acreage	1.73	1.73	1.73
Total Gross Floor Area (square feet)	0	0	17,725

Parking and Loading - Phase 1		
Use	Number of Spaces Required (1 space per 1,000 sq. ft. for first 10,000 sq. ft. +1 space per additional 10,000 sq. ft.)	Number of Spaces Provided*
Contractor's Storage Yard		
Standard (9.5 x 19 feet)	14	0
Handicap-Accessible (16 x 19 feet)	1	0
Total	14	0

Note: *No parking spaces are shown in Phase 1 of the submitted plans, although there is room within the storage area for the required spaces. A condition has been included herein requiring the applicant to show the required parking for Phase 1 prior to certification of the DSP. There is no loading space requirement for contractor storage yards.

Parking and Loading – Phase 2		
Use	Number of Spaces Required (17,725/500=36)*	Number of Spaces Provided
Contractor's Office with Outdoor Storage (1 space per 500 sq. ft.)		
Standard (9.5 x 19 feet)*	36	35
Handicap-Accessible (16 x 19 feet)	1	0
Handicap Van-Accessible (8 x 19 feet with 8-foot access)	1	2
Total	36	37
Loading Spaces	Industrial, wholesale, and storage uses (45x12 feet), All other uses (33x12 feet)	
1 space for 2,000 - 10,000 sq. ft.		
Building A (7,875 sq. ft.) (45x12 feet)	1	1
Building B (1,975 sq. ft.)	0	0
Building C (7,875 sq. ft.) (33x12 feet)	1	1
Total	2	2

Note: *Of which, one must be handicap-accessible and at least one must be handicap van-accessible.

3. **Location:** The subject property is in Planning Area 75B and Council District 7, and is described as Lot 15, Block B, as shown on Tax Map 81 in Grid C-1. More specifically, the site is located in the southwest quadrant of the intersection of Rochell Avenue and Hazelwood Drive.
4. **Surrounding Uses:** All adjacent properties are located in the Industrial, Employment (IE) Zone (previously Light Industrial (I-1) Zone). More specifically, the subject property is flanked to the west by a contractor's storage yard, and to the south by existing woodlands on a vacant parcel. Across Hazelwood Drive to the east is a place of worship. To the north, across Rochell Avenue, is a contractor's storage yard. Industrial warehouses are located diagonally from the subject site, across the intersection of Hazelwood Drive and Rochell Avenue.
5. **Previous Approvals:** The subject property is part of a larger development known as the Walker Mill Business Park, which was retained in the I-1 Zone, with the approval of the 2010 *Approved Subregion 4 Master Plan and Sectional Map Amendment*, which recommended employment and light industrial uses on the property. The 2019 *Countywide Map Amendment* reclassified the site from the prior I-1 Zone to the IE Zone.

On September 27, 2001, the Prince George's County Planning Board approved Preliminary Plan of Subdivision (PPS) 4-01056 (PGCPB Resolution No. 01-198) for the property, subject to 10 conditions.

On September 30, 2004, the Planning Board approved DSP-03085 for a contractor's storage yard with three buildings in the I-1 Zone, subject to one condition. The Prince George's

County District Council elected to review the DSP and issued a decision of approval, with conditions, on June 13, 2005. The approval of this DSP expired on June 13, 2008, pursuant to Section 27-287 of the prior Prince George's County Zoning Ordinance.

On January 13, 2011, the Planning Board approved DSP-03085-01 for a contractor's storage yard with three buildings in the I-1 Zone, subject to five conditions. Subsequently, the validity period for this DSP was legislatively extended to December 31, 2021. The approval of this DSP expired on December 31, 2021, as no construction ever occurred.

The site is also the subject of Stormwater Management (SWM) Concept Plan 5930-2004-03, which was approved by the Prince George's County Department of Permitting, Inspections and Enforcement (DPIE) on October 7, 2024, and is valid until September 26, 2027.

6. **Design Features:** The design for the site includes three buildings with two vehicular access points from public rights-of-way (ROWs), one from Rochell Avenue and one from Hazelwood Drive. Phase 1 of the development will include using the majority of the site as a contractor's storage yard. A 25-foot-wide landscape strip is provided along both the Rochell Avenue and Hazelwood Drive frontages of the subject property. A proposed 6-foot-high vinyl fence surrounds the property. A 5-foot-wide sidewalk is provided along both the Rochell Avenue and Hazelwood Drive frontages.

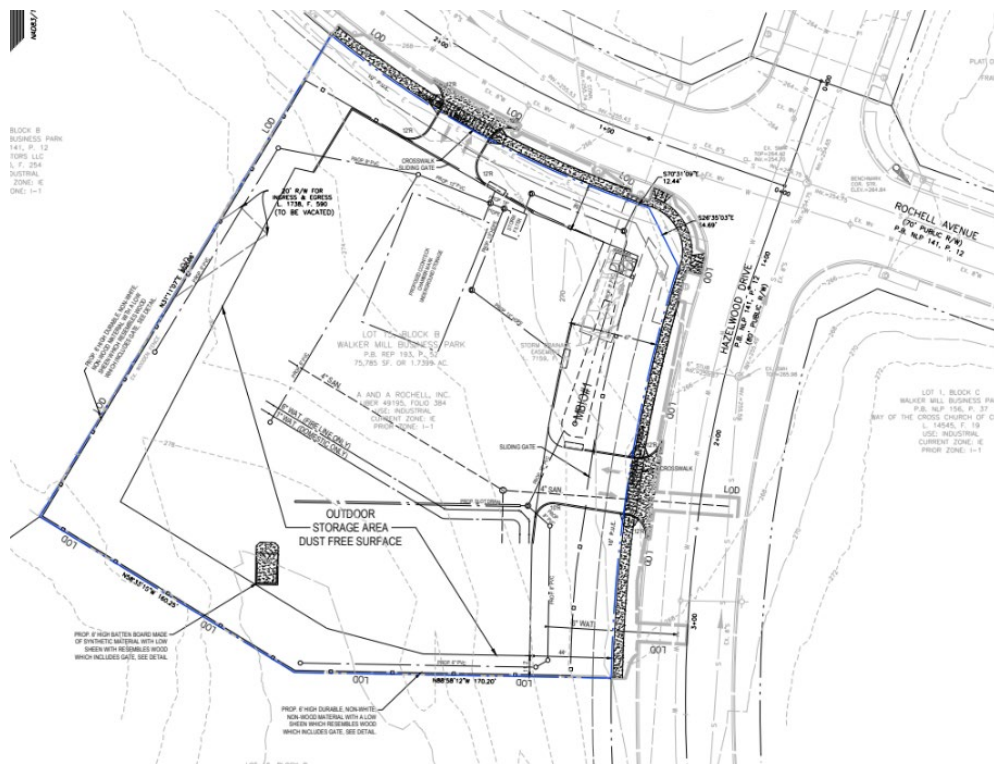


Figure 1: Detailed Site Plan - Phase 1

Phase 2 of the development will include the construction of three contractor's office buildings. Proposed Building A, a 20-foot-tall, 7,875-square-foot building, is located along the southernmost boundary of the site. Proposed Building B, which measures 1,975 square feet and 20 feet high, sits near the northeast corner of the subject property. Proposed Building C, a 7,875-square-foot building also 20 feet tall, is located along the site's western

[illegible]

Architecture

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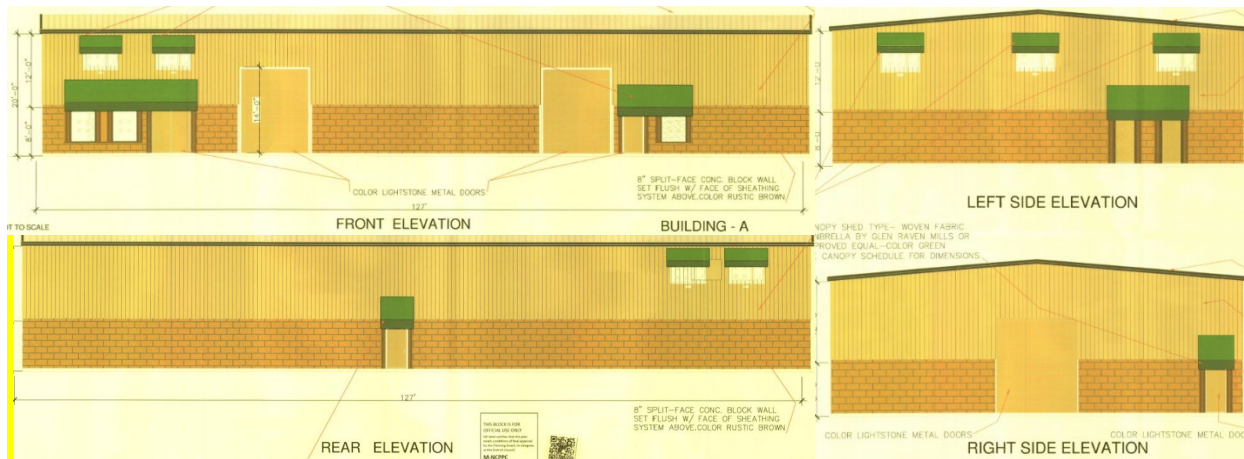


Figure 3: Proposed Architectural Elevations for Building A. Similar architecture is proposed for Buildings B and C.

Signage

No signage is proposed with this application.

Loading and Trash Facilities

In Phase 1, the subject DSP includes one concrete dumpster pad in the central/southern portion of the site, which will be screened by an enclosure to be constructed of a synthetic material resembling wood.

Phase 2 of the subject DSP includes two loading spaces located internally to the property, near the southwest corner of the site. The proposed landscaping of trees and bushes along the eastern and northern property lines provides screening of the loading spaces from Hazelwood Road and Rochell Avenue. A proposed concrete dumpster pad, in the central/southern portion of the site, is screened by an enclosure to be constructed of a synthetic material resembling wood.

COMPLIANCE WITH EVALUATION CRITERIA

7. **Prince George's County Zoning Ordinance:** The subject application has been reviewed for compliance with the requirements of the I-1 Zone and the site plan design guidelines of the prior Zoning Ordinance.
 - a. This application is subject to the requirements of Section 27-469, I-1 Zone (Light Industrial), of the prior Zoning Ordinance as follows:
 - (b) **Landscaping, screening, and buffering of development in the I-1 Zone shall be provided in accordance with the provisions of the Landscape Manual, in addition, the following applies:**
 - (1) **At least ten percent of the net lot area shall be maintained as green area.**

- (2) Any landscaped strip adjacent to a public right-of-way required pursuant to the provisions of the Landscape Manual shall not be considered part of the required green area.**

The site has a green area requirement of 7,597 square feet. The total green area provided, excluding the required landscape strip adjacent to the public ROWs, is 22,950 square feet. The requirements of this section are met.

- (3) A vehicle towing station permitted in the I-1 Zone shall be screened by a wall or fence at least six (6) feet high, or by an evergreen screen, unless the adjoining property is used for a vehicle towing station or a vehicle salvage yard.**

The proposed use is not a vehicle towing station. Therefore, this regulation does not apply.

(c) Outdoor Storage

- (1) Outdoor storage shall not be visible from a street.**

The applicant included an outdoor storage cross section exhibit which demonstrates conformance with this regulation. A 6-foot-high fence and 25-foot-wide landscape buffer provide screening of the outdoor storage area, from Rochell Avenue and Hazelwood Drive, in Phase 2. However, the cross sections provided do not show the full scope of the storage area included in Phase 1. A condition is included herein which requires that a cross section exhibit demonstrating conformance with this regulation for Phase 1 be submitted, prior to certification, subject to review by the Urban Design Section of the Development Review Division, as a designee of the Planning Board.

(d) Uses

- (1) The uses allowed in the I-1 Zone are as provided for in Table of Uses I (Division 3 of this Part).**

The subject DSP proposes to develop a contractor's storage yard in Phase 1, and a contractor's office with outdoor storage in Phase 2. Per Section 27-473(b) of the prior Zoning Ordinance, the uses proposed for both phases are permitted in the I-1 Zone.

(e) Regulations.

- (1) Additional regulations concerning the location, size, and other provisions for all buildings and structures in the I-1 Zone are as provided for in Divisions 1 and 5 of this Part, the Regulations Table (Division 4 of this Part), General (Part 2), Off-Street Parking and Loading (Part 11), Signs (Part 12), and the Landscape Manual.**

The subject DSP is in conformance with these regulations. Specific details have been discussed in Findings 2 and 6 above, and Finding 9 below.

- b. Section 27-474 of the prior Zoning Ordinance provides additional regulations for development in industrial zones, including requirements for setbacks, net lot area, lot frontage, building coverage, and green area. The subject DSP meets all of these requirements, as shown on the submitted plans.
- c. **Site Design Guidelines:** Section 27-274(a) of the prior Zoning Ordinance provides site design guidelines for a DSP. The applicable design guidelines are described as follows:

(2) Parking, loading, and circulation

- (A) Surface parking lots should be located and designed to provide safe and efficient vehicular and pedestrian circulation within the site, while minimizing the visual impact of cars. Parking spaces should be located to provide convenient access to major destination points on the site.**

Access to the subject site will be provided by two driveways, one along Rochell Avenue, and another along Hazelwood Drive. Phase 1 includes an approximately 46,982-square-foot contractor's storage yard, which requires 14 parking spaces, including one Americans with Disabilities Act (ADA) accessible space. A condition is included herein requiring the applicant to show these required spaces on the site plan prior to certification. The development in Phase 2 requires 36 parking spaces, of which 37 are provided to include 35 standard and two ADA-accessible parking spaces. The proposed parking meets the requirements and allows for adequate circulation through the site.

- (B) Loading areas should be visually unobtrusive and located to minimize conflicts with vehicles or pedestrians.**

No loading areas are included in Phase 1. The proposed development includes two loading spaces in Phase 2 and does not feature any loading docks. The loading area is clearly marked and located to minimize conflict with vehicles and pedestrians. The loading circulation exhibit demonstrates that the movements will be accommodated through the site. One loading space is adjacent to 90-degree parking. A condition is included herein requiring that any parking adjacent to a loading space include a wheel stop, to ensure adequate separation.

- (C) Vehicular and pedestrian circulation on a site should be safe, efficient, and convenient for both pedestrians and drivers.**

The site has a 5-foot-wide, ADA-compliant sidewalk along the frontage of the site, and crosswalks across vehicle access points. The site plan also includes directional arrows for efficient vehicular circulation. Access to the site will be controlled by swing gates. Staff find circulation to be sufficient.

(3) Lighting.

- (A) For uses permitting nighttime activities, adequate illumination should be provided. Light fixtures should enhance the design character.**

There are no nighttime activities or light fixtures proposed with this application. Any future lighting for the site will require a DSP amendment.

(4) Views.

- (A) Site design techniques should be used to preserve, create, or emphasize scenic views from public areas.**

The DSP is designed to preserve, create, or emphasize views from public roads and adjoining properties. The proposed 6-foot-high vinyl fence has been designed to provide a modern and clean presence and is set back 25 feet from the roadways to not block views. A 25-foot-wide landscape strip is provided along the road frontages.

(5) Green Area.

- (A) On-site green area should be designed to complement other site activity areas and should be appropriate in size, shape, location, and design to fulfill its intended use.**

This DSP complies with the design guidelines outlined above. The required green area for this project is 10 percent, and the application proposes approximately 32 percent. The green area is provided primarily on the perimeter of the overall site, enhancing the view from adjacent ROWs and nearby properties.

(6) Site and streetscape amenities.

- (A) Site and streetscape amenities should contribute to an attractive, coordinated development and should enhance the use and enjoyment of the site.**

The applicant is not proposing site or streetscape amenities as part of this DSP. However, as previously discussed, the DSP proposes a landscape strip and sidewalk along the road frontages, contributes to

an attractive development pattern, and enhances the streetscape in the area.

(7) Grading.

- (A) Grading should be performed to minimize disruption to existing topography and other natural and cultural resources on the site and on adjacent sites. To the extent practicable, grading should minimize environmental impacts.**

Minimal grading is required for the current proposed development, as the property was previously cleared and graded pursuant to prior approvals. There are no regulated environmental features (REF) located on-site.

(8) Service Areas.

- (A) Service areas should be accessible, but unobtrusive.**

Phase 1 of the DSP includes one concrete dumpster pad in the central/southern portion of the site, which will be screened by an enclosure to be constructed of a synthetic material resembling wood. This area is accessible and unobtrusive. Phase 2 of the DSP proposes two dedicated loading spaces which are accessible and unobtrusive to the use of the site. A condition is included herein to ensure that wheel stops are installed wherever parking spaces abut loading spaces. The storage areas proposed are accessible, unobtrusive, and appropriately screened from public ROWs.

(9) Public Spaces.

- (A) A public space system should be provided to enhance a large-scale commercial, mixed-use, or multifamily development. To fulfill this goal, the following guidelines should be observed:**

This DSP is not a large-scale commercial, mixed-use, or multifamily development, and therefore, public space is not included for this site.

(10) Architecture.

- (A) When architectural considerations are references for review, the Conceptual Site Plan should include a statement as to how the architecture of the buildings will provide a variety of building forms, with unified, harmonious use of materials and styles.**
- (B) The guidelines shall only be used in keeping with the character and purpose of the proposed type of development and the specific zone in which it is to be located.**

(C) These guidelines may be modified in accordance with Section 27-277.

A detailed discussion regarding architecture has been provided in Finding 6 above.

- 8. Preliminary Plan of Subdivision 4-01056:** PPS 4-01056 for Walker Mill Business Park, which includes the subject site, was approved by the Planning Board on September 27, 2001 (PGCPB Resolution No. 01-198), subject to 10 conditions. The following conditions apply to the review of this DSP:

- 1. Total development within proposed Lots 15, 16, 17, and 18 of Walker Mill Business Park shall be limited to permitted uses which generate no more than 183 AM and 183 PM peak-hour vehicle trips. Any development generating impact greater than that identified herein shall require a new Preliminary Plan of Subdivision with a new determination of the adequacy of transportation facilities**

This condition defines a trip cap for Lots 15, 16, 17, and 18 of Block B, for development which would generate no more than 183 AM and 183 PM peak-hour vehicle trips. In reviewing DSP-02002 for Lot 17, it was determined that the approved development would generate 13 AM and 23 PM peak-hour vehicle trips. In reviewing DSP-18049 for Lot 18, which included a 160-square-foot contractor's office with outdoor storage, it was determined that the approved development was within the trip cap established by this condition.

In an analysis completed with DSP-03085-01 for Lot 15, which included development that was similar to this application, it was estimated that the subject proposal would generate 35 AM and 33 PM peak hour trips. That approval has since expired. No further development has been proposed within the limits of PPS 4-01056.

The development proposed with the subject DSP is consistent with the approved PPS, and does not exceed the established trip cap.

- 3. Detailed site plan review shall be required prior to the issuance of building permits pursuant to CR-147-1985. The following shall be included in the review or the specified information shall be supplied:**

- a. The Planning Board shall review the development to assure its compliance with the following design guidelines:**

- (1) An effective visual buffer created by substantial berms and landscaping shall be provided along Walker Mill Road, Rollins Avenue, and Addison Road and along abutting areas which are planned or developed for residential purposes in order to maintain the residential character of surrounding properties.**

The subject project is not located on Walker Mill Road, Rollins Avenue, or Addison Road, nor is it located along abutting areas that are planned or developed for residential purposes. Therefore, the above design guideline does not apply.

(2) The internal organization of the site shall address the following:

- A. Provide a continuous six-foot high sight-tight wood fence with swinging or sliding gates along property lines which have frontage on any vehicular right-of-way within the subdivision. Metal security fencing, including chain link, may be located behind and adjacent to the required wood fence if it is not visible from the street.**

A 6-foot-high, non-white, vinyl fence is proposed along the perimeter of the subject property. The proposed fence has a low sheen which resembles wood. Staff find that the proposed fence material will achieve the appearance intended by this condition, while being constructed of a more durable material that will maintain its appearance with less need for maintenance than natural wood.

- B. Provide 12 feet of commercial/industrial landscaped strip along property lines which have frontage on any vehicular right-of-way. Plant materials provided within the landscaped strip shall be evergreen trees planted 10 feet on center, or other acceptable planting arrangement utilizing the same quantity of trees which is approved by the Planning Board or the Urban Design staff as designee of the Planning Board. White pine trees shall contribute no more than 20 percent of the trees in this landscaped strip.**

A 25-foot-wide landscape strip is proposed along the frontages of both Hazelwood Drive and Rochell Avenue, with a mix of shade, ornamental, and evergreen trees in accordance with this condition, including less than 20 percent white pines trees.

- C. Provide cross-sections through the subject site to demonstrate that any area of outdoor storage visible from any adjacent right-of-way shall have the solid wood fence specified in condition 1. a.**

The cross-section exhibit submitted with the DSP demonstrates that the outdoor storage area will be sufficiently screened from the public ROW for Phase 2. A condition is included herein requiring a similar exhibit be submitted prior to certification for Phase 1, in accordance with this condition.

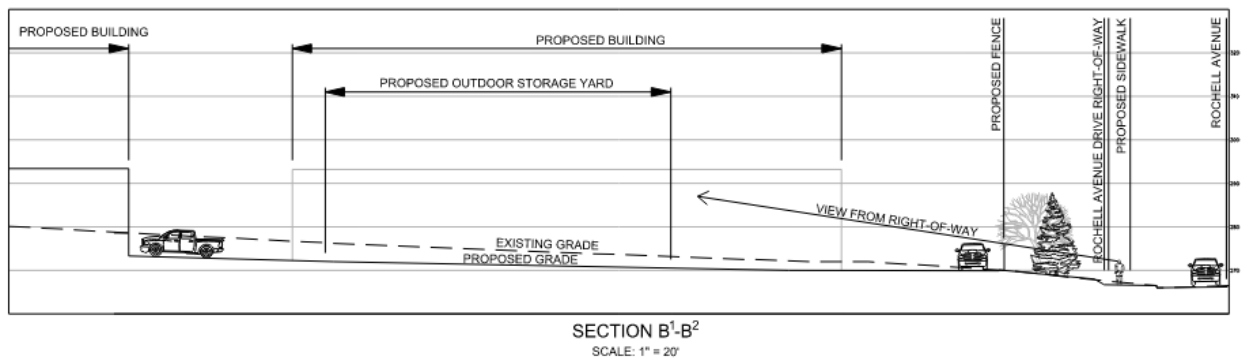


Figure 4: Cross Section of Proposed Storage Yard

9. **2010 Prince George's County Landscape Manual:** The application is subject to the requirements of the 2010 *Prince George's County Landscape Manual* (Landscape Manual), for Section 4.2, Requirements for Landscape Strips along Streets; Section 4.3, Parking Lot Requirements; Section 4.4, Screening Requirements; and Section 4.9, Sustainable Landscaping Requirements. Staff note that the required plantings and schedules are provided in conformance with the Landscape Manual.

10. **2010 Prince George's County Woodland and Wildlife Habitat Conservation Ordinance:** This property is subject to the grandfathering provisions of the 2024 Prince George's County Woodland and Wildlife Habitat Conservation Ordinance (WCO) because the property had a tree conservation plan that was implemented before June 30, 2024, and shall conform to the environmental regulations of the 1990 WCO. A Type 2 Tree Conservation Plan (TCP2-014-2025) was submitted with the current application.

This site is subject to Type I Tree Conservation Plan TCPI-020-01, which was for a greater assemblage of lots. The TCPI shows that no clearing is required on proposed Lot 15, and thus, no mitigation is required. This TCPI is considered valid as both Lots 17 and 18 have proceeded through development applications. Based on the submitted TCP2, the overall site contains no net tract woodlands and no wooded floodplain. The plan proposes no clearing of woodlands. Technical revisions are required on the TCP2 and are included in the conditions herein.

11. **Prince George's County Tree Canopy Coverage Ordinance:** Section 25-128 of the Prince George's County Code requires a minimum percentage of tree canopy coverage (TCC) on projects that propose more than 2,500 square feet of disturbance. The Tree Canopy Coverage Ordinance is not subject to the current Zoning Ordinance grandfathering provisions and does not contain any grandfathering provision for prior zoning, except for specified legacy zones, or developments that had a previously approved and valid landscape plan demonstrating conformance to TCC. Therefore, this application was reviewed for conformance with the TCC requirement for the current property zone, which is IE.

The TCC requirement in the IE Zone is 15 percent of the net tract area, or 0.26 acre. The subject DSP includes the required schedule demonstrating conformance by providing 0.26 acre of TCC through new plantings on the subject property.

12. Referral comments: The subject application was referred to the concerned agencies and divisions and their referral comments are summarized, as follows:

- a. **Historic Preservation and Archeological Review**—In a memorandum dated April 10, 2025 (Stabler, Smith, and Chisholm to Myerholtz), incorporated herein by reference, the Historic Preservation Section stated that a search of current and historic photographs, topographic and historic maps, and locations of currently known archeological sites indicates that the probability of archeological sites within the subject property is low. This proposal will not impact any historic sites, historic resources, or known archeological sites.
- b. **Community Planning**—In a memorandum dated April 14, 2025 (Skibinski to Myerholtz), incorporated herein by reference, the Community Planning Division noted that the 2010 *Approved Subregion 4 Master Plan* recommends industrial land use on the subject property. Although master plan conformance is not required in accordance with Part 3, Division 9, Subdivision 3 of the prior Zoning Ordinance, the proposed use of the site, as a contractor's office and outdoor storage yard, does conform with the recommended land use.
- c. **Transportation Planning**—In a memorandum dated May 2, 2025 (Udeh to Myerholtz), incorporated herein by reference, the Transportation Planning Section offered an analysis of the site design and a discussion of the application which have been incorporated into findings above. It is determined that the vehicular, pedestrian, and bicycle access and circulation for this plan are acceptable, consistent with the site design guidelines pursuant to Section 27-274, and meet the findings for pedestrian and bicycle transportation purposes.
- d. **Permits**—In a memorandum dated May 1, 2025 (Greenwell to Myerholtz), the Permit Review Section offered no comments on the subject application.
- e. **Environmental Planning**—In a memorandum dated May 2, 2025 (Kirchhof to Myerholtz), incorporated herein by reference, the Environmental Planning Section provided the following summarized discussion:

Natural Resources Inventory/Environmental Features

The application has an approved Natural Resources Inventory Equivalency Letter (NRI-092-2024). The TCP2 and DSP show all the required information correctly, in conformance with the NRI. No specimen trees or REF are located on-site. No unsafe soils containing Marlboro or Christiana clays are located on-site.

Stormwater Management

The applicant has submitted an approved SWM Concept Plan (5930-2004-02), which was approved by DPIE on September 26, 2018, and an approved SWM Concept Letter (5930-2004-03), which was approved on October 7, 2004, and is valid until September 26, 2027. This plan proposes one type of best management practice, a micro-bioretenion pond, which (in association with underground storage) will treat stormwater before connecting to a public storm drain.

Soils

The predominant soils found to occur on-site, according to the United States Department of Agriculture, Natural Resource Conservation Service, Web Soil Survey, include the Udorthents-Urban land complex. No unsafe soils containing Marlboro or Christiana clays are located on-site. This information is provided for the applicant's benefit, and no further information is needed regarding soils at this time.

- f. **Prince George's County Fire/EMS Department**—In a memorandum dated March 31, 2025 (Reilly to Myerholtz), the Fire/EMS department requested a condition regarding marking of the outdoor storage area, which has been incorporated herein.
 - g. **Prince George's County Department of Permitting, Inspections and Enforcement (DPIE)**—At the time of the writing of this technical staff report, staff did not receive comments regarding the subject project from DPIE.
 - h. **Prince George's County Police Department**—At the time of the writing of this technical staff report, staff did not receive comments regarding the subject project from the Police Department.
 - i. **Prince George's County Health Department**—At the time of the writing of this technical staff report, staff did not receive comments regarding the subject project from the Health Department.
 - j. **Maryland State Highway Administration (SHA)**—At the time of the writing of this technical staff report, staff did not receive comments regarding the subject project from SHA.
 - k. **Washington Suburban Sanitary Commission (WSSC)**—At the time of the writing of this technical staff report, staff did not receive comments regarding the subject project from WSSC.
 - l. **Town of Capitol Heights**—At the time of the writing of this technical staff report, staff did not receive comments regarding the subject project from the Town of Capitol Heights.
 - m. **Town of District Heights**—At the time of the writing of this technical staff report, staff did not receive comments regarding the subject project from the Town of District Heights.
13. **Community feedback:** As of the writing of this technical staff report, staff did not receive any inquiries from the community regarding the subject DSP.
14. As required by Section 27-285(b)(1) of the prior Zoning Ordinance, the DSP, if revised as conditioned, represents a reasonable alternative for satisfying the site design guidelines of prior Subtitle 27, Part 3, Division 9, of the County Code without requiring unreasonable costs and without detracting substantially from the utility of the proposed development for its intended use.

15. Section 27-285(b)(2) of the prior Zoning Ordinance is not applicable because there is no conceptual site plan.
16. Section 27-285(b)(3) of the prior Zoning Ordinance does not apply to this DSP because it is not a DSP for infrastructure.
17. As required by Section 27-285(b)(4) of the prior Zoning Ordinance, the Planning Board may approve a DSP if it finds that the REF have been preserved and/or restored in a natural state, to the fullest extent possible, in accordance with the requirement of Section 24-130(b)(5) of the prior Prince George's County Subdivision Regulations. This requirement is not applicable as there are no REF on the subject property.

RECOMMENDATION

Based upon the foregoing evaluation and analysis, the Urban Design staff recommend that the Planning Board adopt the findings of this report and APPROVE Detailed Site Plan DSP-25007, and Type 2 Tree Conservation Plan TCP2-014-2025, for Walker Mill Business Park Lot 15, Block B, subject to the following conditions:

1. Prior to certification of the detailed site plan, the following revisions shall be made to the plans:
 - a. Add a general note to demonstrate what type of materials or equipment will be stored in the outdoor storage area.
 - b. Add a general note to state that outdoor storage shall not be visible from the street, in accordance with Section 27-469(c)(1) of the prior Prince George's County Zoning Ordinance, and provide an exhibit demonstrating conformance to this Section for Phase 1.
 - c. Identify plan sheet A72058 as Phase 2 of development.
 - d. Add wheel stops to any parking spaces abutting loading spaces.
 - e. Show the required parking spaces, including any Americans with Disabilities Act accessible spaces, on the Phase 1 site plan.
 - f. Correct General Note 7 to identify the use as a contractor's office and state a total of 34 standard parking spaces and 2 handicap van-accessible spaces, as shown on the plans for Phase 2.
 - g. Clearly mark the limits of the outdoor storage area on-site in Phase 2, to prevent storage from encroaching into the required 22-foot-wide drive aisles.
 - h. Submit the revised approved stormwater management concept plan.
2. Prior to certification of the detailed site plan, the Type 2 tree conservation plan shall be revised as follows, in accordance with the 2018 Environmental Technical Manual (ETM):

- a. The general note for the utilization of off-site woodland conservation credit shall be revised to be reflective of standards as shown in the ETM.
- b. The property owner's awareness block shall be signed and dated.
- c. Revise General Note 10 to read as follows:

"In conformance with the grandfathering provisions of the 2024 Prince George's County Woodland and Wildlife Habitat Conservation Ordinance (Section 25-199(g) of the Prince George's County Code), and Preliminary Plan of Subdivision 4-01056, with companion Type I Tree Conservation Plan TCPI-020-01, the geographic area of Lot 15, Block B requires no mitigation as the requirement is designated on other parts of the subdivision, specifically on Lots 15, 16, and 17, Block B."