

October 16, 2017

Mr. Thomas Barton, Facilities Manager
 Prince George's County
 Facilities Operation and Management Division
 14741 Governor Oden Bowie Drive
 Upper Marlboro, MD 20772

RE: 1301 McCormick Drive Improvements
Installation of Solar Arrays (MR-1705A)

Dear Mr. Barton:

The Prince George's County Planning Department appreciates the opportunity to review phase three improvements at 1301 McCormick Drive. This review is in accordance with the Land Use Article §20-301 through 305 of the Maryland Annotated Code and Section 27-294 of the Prince George's County Zoning Ordinance that requires the Planning Board to review public construction projects for all federal, state, County and municipal governments, and publicly and privately-owned utilities through the Mandatory Referral review process.

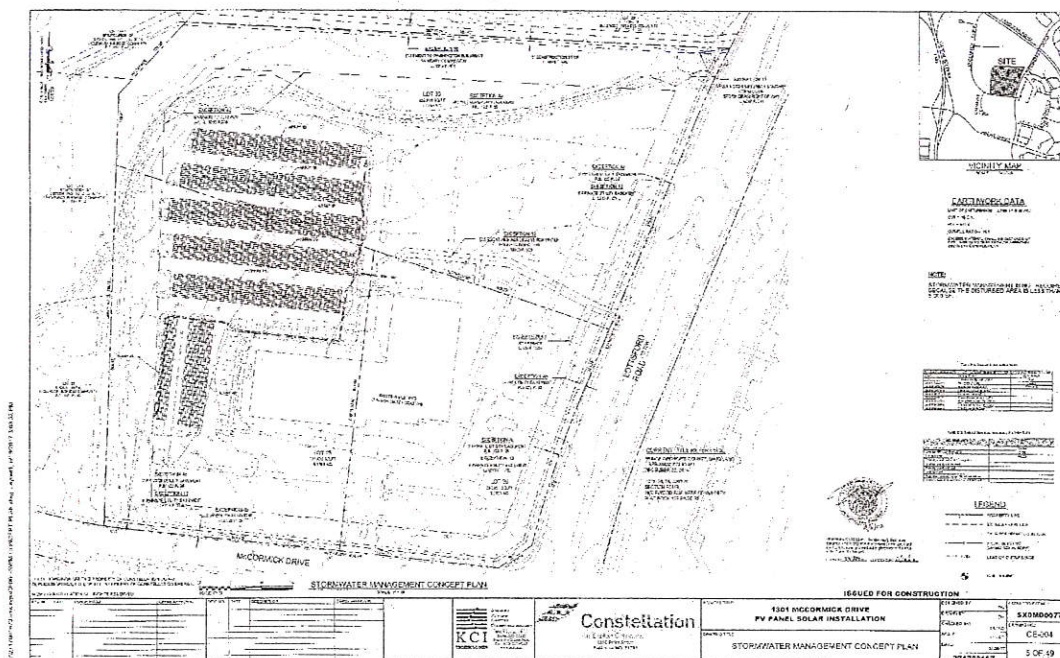


Figure 1: Site Plan

The proposal is for Constellation Energy to install seven solar arrays (consisting of 3,150 solar panels) within the existing parking lot, located at 1301 McCormick Road, to generate electricity to the County owned office building (See figure 1: Site Plan). The solar arrays will be installed above existing surface parking lot bays at the west and northwest areas of the 16.44-acre site. The panels will be comprised of fixed-tilt

roof-like structures, supported by columns constructed over the existing paved parking areas (See Figure 2: View of Photovoltaic Structures). According to the information provided by the applicant, the area of disturbance will be less than 5,000 square feet.

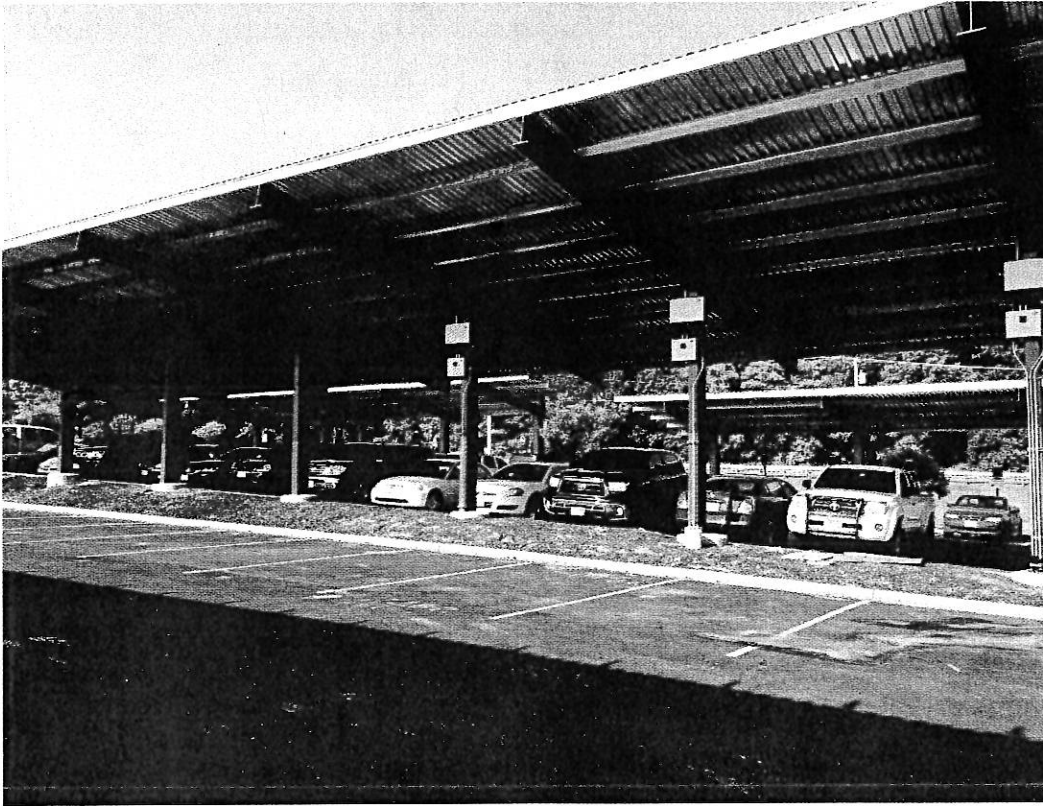


Figure 2: View of Photovoltaic Structures

Review and Approval Agencies: The project is subject to Prince George's County's Woodland and Wildlife Habitat Conservation Ordinance, local building and grading regulations. The following comments are provided for applicant's consideration.

Environmental Comments:

Natural Resources Inventory (NRI): The site has a valid Natural Resources Inventory Equivalency Letter, NRI-113-2017. It was issued because the site demonstrates no impact to existing woodlands and no on-site regulated environmental features will be impacted by the proposed activity. The NRI is required by the Prince George's Soil Conservation District (PGSCD) for the review of erosion and sediment control requirements, and by the Department of Permitting, Inspections, and Enforcement (DPIE), for the review of stormwater management requirements.

Woodland Conservation: A Numbered Woodland Conservation Letter of Exemption, E-092-07-02 was issued for the site because although there is more than 10,000 square feet of woodlands on the site; no woodlands will be disturbed for the proposed activity.

Noise and Vibration: Noise and vibration are not a concern during or after construction because of the commercial use of the site. The eastside of Lottsford Road is zoned Mixed-Use-Infill (MUI), which allows residential uses. The existing building will provide substantial mitigation of potential noise impacts between the project site and MUI zoning in the vicinity.

Lighting: The demolition plan indicates that numerous light poles will be removed for installation of the elevated arrays. Any replacement lighting proposed should be full-cut off optic and downward shielded to minimize sky glow, and be energy efficient. If existing fixtures are reused, retrofitting may allow for dark sky and energy efficiency objectives to be met.

Glare Analysis: The closest airport to the site is Joint Base Andrews, which is 5.8 miles away, and preliminary evaluation suggest that associated flight patterns should not be impacted by the glare from this small-scale facility, but a glare analysis may be required by other review agencies.

Vegetation and Landscaping: The demolition plan shows the removal of numerous trees from the parking lot for installation of the array. Planting new trees in the parking lot, while beneficial for stormwater, water and air quality purposes, could interfere with efficiency of the solar panels for their intended purpose, if they shade the elevated arrays. Alternative Compliance may be necessary to fulfill landscaping requirements.

Urban Design Comments:

The applicant is encouraged to provide vegetation at the ground level of native ornamental grasses, perennials and shrubs, where space allows. Shade or ornamental trees around and along the perimeter of the parking compound should be utilized, in order to provide visual enhancement of the parking facility to avoid conflicts with the solar arrays.

Enclosed are staff memoranda from the Environmental Planning Section, Urban Design Section, and Historic Preservation Section of Countywide Planning Division, and the Community Planning Division, that further discuss the proposed development site.

If you should have any questions or need additional information, please contact Christine A. Osei, Project Manager, at 301-952-3313 via email at Christine.Osei@ppd.mncppc.org.

Sincerely,


Andree Green Checkley
Planning Director

Enclosures

- c: Derick Berlage, Chief, Countywide Planning Division
Maria Ann Martin, Planning Supervisor, Special Projects Section, Countywide Planning Division
Christine A. Osei, Project Manager, Special Projects Section, Countywide Planning Division
Redis C. Floyd, Clerk of the Council, Prince George's County Council

STAFF COMMENTS

October 2, 2017

MEMORANDUM

TO: Christine Osei, Planner Coordinator
Special Projects Section, Countywide Planning

FROM: Susan Lareuse, Master Planner, Urban Design Section *SL*

SUBJECT: Mandatory Referral MR-1705A
1301 McCormick Drove
Photovoltaic Cell Project

The Urban Design Section has reviewed the information submitted in support of MR-1705A, for Constellation Energy to install seven (7) arrays of photovoltaic panels, within an existing parking lot at 1301 McCormick Road. This system will provide solar generated electricity to the existing building. The arrays will be installed along and above the parking lot bays at the west and northwest areas of the site. These systems will be comprised of fixed-tilt structures supported by columns constructed in the parking island areas. Subsurface conduit will be installed within the parking and adjacent areas.

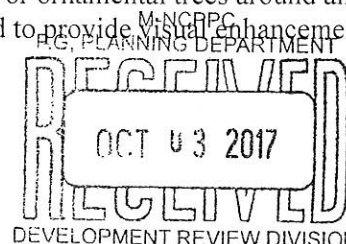
The plan proposes to construct the solar panel arrays as a roof-like structure over an existing paved parking area. The disturbance will be less than 5,000 square feet, according to the applicant. The implementation may remove existing asphalt and landscaping such as trees and shrubs because the footings of the proposed structures would conflict with the existing or proposed tree planting in the area. However, where possible, it seems reasonable to request that Constellation Energy provide for some parking lot enhancement, such as planting at the ground level of native ornamental grasses, perennials and shrubs, including evergreen plant materials plants with seasonal interest, where space allows.

Since the solar panels will act as shade structures within the parking compound, the planting of the same area with shade trees as would normally be requested, would cause conflicts with the structures. Therefore, where space permits, shade or ornamental tree planting in areas away from the solar panels and at the edges of the parking compound should be provided.

Conclusion

The Urban Design Section offers the following suggestion:

1. The applicant is encouraged to provide vegetation at the ground level of native ornamental grasses, perennials and shrubs, where space allows. Shade or ornamental trees around and along the perimeter of the parking compound should be provided to provide visual enhancement of the parking facility, avoiding conflicts with the solar arrays.





THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

**Prince George's County Planning Department
Historic Preservation Section**

**(301) 952-3680
www.mncppc.org**

October 2, 2017

MEMORANDUM

TO: Christine Osei, Planner Coordinator
Special Projects Section
Countywide Planning Division

FROM: Howard Berger, Supervisor *HB*
Robert Krause, Planner Coordinator *RK*
Jennifer Stabler, Archeology Planner Coordinator *JAS*
Tyler Smith, Principal Planning Technician *TAS*
Historic Preservation Section
Countywide Planning Division

SUBJECT: MR-1705A, 1301 McCormick Drive

The subject property comprises approximately 16.44 acres located at 1301 McCormick Drive in Upper Marlboro, Maryland. The applicant, Constellation Energy, proposes the construction of seven arrays (or 3,150 panels) of photovoltaic panels in an existing parking lot at a Prince George's County building. The arrays will be installed above the existing parking lots on the west and northwest portions of the site. The systems consist of fixed-tilt structures supported by columns placed in the parking island areas. Subsurface conduit will be installed in the parking lot and adjacent areas.

The land on which the solar panels are proposed has been disturbed by grading and construction activities. A search of current and historic photographs, topographic and historic maps, and locations of currently known archeological sites indicates the probability of archeological sites within the subject property is low. There are no historic sites or resources on or adjacent to the subject property. This proposal will not impact any historic sites, historic resources or known archeological sites.

I:\HISTORIC\Referrals\2017\Mandatory Referral\MR-1705A 1301 McCormick Drive_HPS 2 October 2017.docx

September 29, 2017

TO: Christine Osei, Planner Coordinator, Special Projects Section
VIA: Katina Shoulars, Supervisor, Environmental Planning Section
FROM: Kim Finch, Planner Coordinator, Environmental Planning Section
SUBJECT: MR-1705A 1301 McCormick Drive Solar Installation.

KIF-601 KS
KIF

The Environmental Planning Section has completed its review for MR-1705A, for the proposed installation of seven photovoltaic solar arrays the parking lot bays located on the west and northwest sides of a developed 16.44- acre property located at 1301 McCormick Drive.

This evaluation included a review of an existing conditions plan, a site/grading plan, and stormwater management plan prepared by KCI Technologies for Constellation Energy, dated July 5, 2017, a project narrative, and consultation with GIS layers on PGAtlas.com, in providing the following comments.

Background

EPS has previously reviewed the proposed site with development application for detailed site plans, DSP-87120 and DSP-90013, which have been fully implemented. The property is zoned Commercial, C-O and is used as county government offices.

Environmental Review

Natural Resources Inventory (NRI): The site has a valid Natural Resources Inventory Equivalency Letter, NRI-113-2017, which was issued because the site demonstrates no impact to existing woodlands and that no on-site regulated environmental features will be impacted by the proposed activity. The NRI is required by the Prince George's Soil Conservation District (PGSCD) for review of erosion and sediment control requirements, and by the Department of Permits, Inspections, and Enforcement (DPIE) for the review of stormwater management requirements.

Woodland Conservation: A Numbered Woodland Conservation Letter of Exemption, E-092-07-02 was issued for the site because although there is more than 10,000 square foot of woodlands on the site, no woodlands will be disturbed for the proposed activity.

Noise and Vibration: Noise and vibration are not a concern during construction and during operation post construction because of the commercial use of the site. The east-side of Lottsford Road is zoned Mixed-Use-Infill (MUI) and which includes residential uses, the existing building will provide substantial mitigation of potential noise impacts between the project site, and M-U-I zoning in the vicinity.

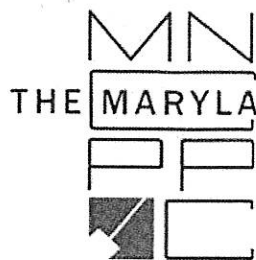
Lighting: Unlike a stand along solar array with security lighting, a commercial parking lot has specific lighting requirements. The demolition plan indicates that numerous light poles will be removed for

installation of the elevated arrays. Any replacement lighting proposed should be full-cut off optic and downward shielded to minimize sky glow, and be energy efficient. If existing fixtures are reuse, retrofitting may allow for dark sky and energy efficiency objectives to be met.

Glare Analysis: The closest airport to the site is Joint Base Andrews which is 5.8 miles away, and preliminary evaluation suggest that associated flight patterns should not be impacted by the glare from this small-scale facility, but a glare analysis may be required by other review agencies.

Vegetation and Landscaping: The demolition plan shows the removal of numerous trees from the parking lot for installation of the array. Planting new trees in the parking lot, while beneficial for stormwater, water and air quality purposes, could interfere with efficiency of the solar panels for their intended purpose if they shade the elevated arrays. Alternative Compliance may be necessary to fulfill landscaping requirements

Thank you for the opportunity to comment on the proposed 1301 McCormick Drive Solar Array Installation. If you have questions regarding these comments, please contact the Environmental Planning Section at 301-952-3650.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION


Prince George's County Planning Department
Community Planning Division


14741 Governor Oden Bowie Drive
Upper Marlboro, Maryland 20772
TTY: (301) 952-4366
www.mncppc.org/pgco
(301) 952-3972

October 12, 2017

MEMORANDUM

TO: Christine A. Osei, Planner Coordinator, Special Projects Section,
Countywide Planning Division

VIA: David A. Green, Supervisor, Community Planning Division 

FROM: Chidy Umeozulu, Planner Coordinator, Community Planning Division 

SUBJECT: **MR-1705A, 1301 McCormick Drive Photovoltaic Cell**

DETERMINATIONS

General Plan: The application is consistent with the 2014 *Plan Prince George's 2035 Approved General Plan* policy to encourage investment in energy infrastructure, renewable energy, and the use of smart grid technology to improve the efficiency, reliability, affordability, and sustainability of energy production and distribution. (Page 178).

Master Plan: This application supports the approved Mixed-Use: Predominately Office and Institutional land use designation of the 2013 Approved Largo Town Center Sector Plan.

BACKGROUND

Type: Mandatory Referral

Location: 1301 McCormick Drive

Size: 16.44 acres

Existing Use: Vacant office parking lot.

Proposal: Installation of solar panels at the existing surface parking lot

GENERAL PLAN, MASTER PLAN AND SMA

General Plan: 2014 *Plan Prince George's 2035 Approved General Plan* designates this area a Regional Transit District. The vision for the Regional Transit Center is a destination for regional workers and residents that contain a mix of office, retail, entertainment, public and quasi-public, flex, and medical uses. The center is walkable, bikeable and well connected to a regional transportation network via a range of transit options.

Master Plan: The 2013 Approved Largo Town Center

**Planning Area/
Community:** 73/Largo-Lottsford

Aviation/MIOZ: This application is not located within an Aviation Policy Area or the Military Installation Overlay Zone.

SMA/Zoning: The 2013 Largo Town Center Sectional Map Amendment (SMA) classifies the property in the Commercial Office (C-O) Zone outside the DDOZ boundary.

c: Scott Rowe, AICP, CNU-A, Acting Division Chief, Community Planning Division
Long-range Agenda Notebook