

GENERAL NOTES

- OWNER FAIRWOODS I: FAIRWOODS OFFICE PARK, LLC.
OWNER FAIRWOODS II: RIDGELY OFFICE PARK, LLC.
APPLICANT FAIRWOODS I: FAIRWOODS OFFICE PARK, LLC.
APPLICANT FAIRWOODS II: RIDGELY OFFICE PARK, LLC.
- BOUNDARY AND TOPOGRAPHY BY THE TECH GROUP, INC., DATED AUGUST 2005.
- THERE ARE NO KNOWN CEMETERIES OR OR ADJACENT TO THIS PROPERTY.
- SOILS INFORMATION SHOWN WAS OBTAINED FROM THE PRINCE GEORGE'S COUNTY SOIL SURVEY. SOILS: CMB2, CMB2, ADA, CMB2.
- FOREST STAND DELINEATION BY THE TECH GROUP, INC.
- THIS PROJECT IS SUBJECT TO A TYPE-II TREE CONSERVATION PLAN, (TCP/35/07 & TCP-1/1/06).
- EXISTING AND PROPOSED WATER: PUBLIC 3; SEWER: PUBLIC 3 FOR FAIRWOODS I. EXISTING WATER: PUBLIC 4; SEWER: PUBLIC 3 FOR FAIRWOODS II.
- PROPOSED WATER: PUBLIC 3; SEWER: PUBLIC 3 FOR FAIRWOODS II.
- STORMWATER MANAGEMENT IS PROPOSED ON SITE. STORMWATER MANAGEMENT CONCEPT PLAN APPROVAL # 32875-2007-01 APPROVED 05/27/08, EXPIRES 05/28/2011.
- 200 SCALE MAP REFERENCE: WSSC 207 NE10 & NE11.
- TAX MAP 45, GRID E3, PARCEL 74 & TAX MAP 45, GRID F3, PARCEL 138.
- MASTER PLAN SUBREGION: 3 PA 70.
- NEAREST POLICE STATION: 5.05 MILES.
- NEAREST FIRE STATION: 0.83 MILES.
- EXISTING STRUCTURES, SIDEWALKS AND DRIVEWAYS ON SITE WILL BE REMOVED.
- THE MAGRUDER-BRANNON HOUSE HAS BEEN RELOCATED AS PART OF HAWP 18-06/01 (HISTORIC AREA WORK PERMIT).
- PRELIMINARY PLAN TO REMOVE THE HISTORIC SETTING 4-05/44.
- PREDETERMINATION OF ENVIRONMENTAL SETTING 70-030.
- THE BOUNDARY SURVEY SHOWN HEREON WAS PREPARED IN ACCORDANCE WITH A TITLE REPORT PREPARED BY BELTWAY TITLE AND ABSTRACT, INC., COMMITMENT NO. BTA06-99-15108 WITH AN EFFECTIVE DATE OF MAY 7, 2007.
- GRID AND BEARINGS SHOWN HEREON ARE BASED ON THE MARYLAND STATE GRID MORGAN M.D. 83 NORTH AS PROJECTED FROM PRINCE GEORGE'S COUNTY CONTROL MONUMENTS 1988 and 1988S.
- ELEVATIONS SHOWN HEREON ARE NGVD 1929 DATUM AS PROJECTED FROM PRINCE GEORGE'S COUNTY MONUMENT 1988.
- A RAZE PERMIT IS REQUIRED PRIOR TO THE REMOVAL OF ANY STRUCTURES ON SITE. THE WELL AND SEPTIC SYSTEMS MUST BE PROPERLY ABANDONED BEFORE THE RELEASE OF THE GRADING PERMIT.
- THE SITE IS LOCATED IN THE LOTTSFORD BRANCH WATERSHED OF THE PATENT RIVER BASIN AND THE DEVELOPING TIER AT THE 2002 PRINCE GEORGE'S COUNTY APPROVED GENERAL PLAN.
- POND IS DESIGNATED AS SEDIMENT BASIN DURING CONSTRUCTION.
- THE SITE IS NOT LOCATED WITHIN THE CHESAPEAKE BAY CRITICAL AREA.
- THIS PLAN IS SUBJECT TO AN APPROVED NR/07/06/01 REVISION APPROVED DATED 11/03/2007, FAIRWOODS OFFICE PARK I AND APPROVED NR/150/05, FAIRWOODS OFFICE PARK II.
- THERE ARE WETLANDS ON SITE. MDE AUTHORIZATION 07-NR-0317/2007/63948 APPROVED JUNE 11, 2010 EXPIRES JUNE 11, 2013, ARMY CORP OF ENGINEERS CENAB-OP-RMS 2009-00728-M13.
- THE SITE IS NOT WITHIN AN AVIATION POLICY AREA.
- PRIOR TO APPROVAL OF ANY PERMIT FOR THIS SITE, THE DSP SHALL BE REVISED TO SHOW THE FINAL DESIGN OF THE ENVIRONMENTAL SITE DESIGN (ESD) INTERPRETIVE SIGN. THE DIMENSION OF THE (ESD) INTERPRETIVE SIGN SHALL BE NO LESS THAN FOUR FEET BY SIX FEET. PRIOR TO APPROVAL OF THE BUILDING PERMIT FOR THE MEDICAL BUILDING ON THIS SITE, THE PROPOSED GREEN BUILDING INTERPRETIVE SIGN SHALL BE SUBMITTED TO AND APPROVED BY THE URBAN DESIGN SECTION. THIS SIGN SHALL BE NO LESS THAN TWO FEET BY FOUR FEET.
- REQUIREMENTS FOR REPLANTING OF THE NORTHERN BUFFERYARD.
(1) THE TREES SHALL BE REPLANTED IN THE SPRING OR FALL WITHIN ONE YEAR OF THE TIME THE TREES WERE REMOVED.
(2) THE TREES SHALL BE WATERED, FERTILIZED AND STAKED AS NECESSARY FOR FIVE YEARS, ANY TREES THAT DIE SHALL BE REPLACED.
(3) THE MINIMUM SIZE OF TREES SHALL BE STATED ON THE PLANS AND BE LARGER THAN THE COUNTY-REQUIRED MINIMUM. SUCH MINIMUM SIZE SHALL BE 3-1/2 INCH-CALIPER AND 14-18 FEET HIGH AT TIME OF PLANTING UNLESS THEY HAVE ALREADY BEEN PLANTED. IN ADDITION, THE APPLICANT SHALL ADD 18- 8- 10 FEET CREPE MYRTLES AND 10- 10- 12 FEET AMERICAN HOLLY TO THE PLANTING SCHEDULE FOR THE BUFFER BETWEEN THE FAIRWOODS OFFICE AND THE BELL STATION PROPERTIES.
- THE DISTRICT COUNCIL MAY APPROVE ADDITIONAL BUILDING SIGNAGE FOR THE DEVELOPMENT IN ACCORDANCE WITH THE SIGN REGULATIONS IN PART 12 OF THE ZONING ORDINANCE. DESIGN OF SIGNAGE SHALL BE IN ACCORDANCE WITH THE GUIDANCE OF THE 1983 APPROVED MASTER PLAN AND SECTIONAL MAP AMENDMENT FOR GLENN DALE-SEABROOK-LANHAM AND MONTY (PLANNING AREA 70) AND FINAL PLANS FOR SUCH DETAILS SHALL BE APPROVED BY THE DISTRICT COUNCIL.
- THERE SHALL BE NO SIGNAGE ALONG THE PROJECTS MD 193 FRONTAGE.
- THE ENVIRONMENTAL SITE INTERPRETIVE SIGN FOR STORMWATER MANAGEMENT AREA WILL BE LOCATED ON THE RAILING OF THE 8 FOOT WIDE FOOTBRIDGE ADJACENT TO THE GAZEBO.

DEVELOPMENT STANDARDS

- 10' LANDSCAPE BUFFER OR 1/3 THE BUILDING HEIGHT WHICH EVER IS GREATER REQUIRED ALONG ALL PROPERTY LINES.
- AREA: 12,701 AC.
- DISTURBED AREA: 13,725 AC.
- USE: THREE (1) THREE (3) STORY MEDICAL/OFFICE BUILDING WITH GARAGE. ONE BANK BUILDING/GENERAL OFFICE SITE.
- BANK BUILDING AREA FOR FAIRWOODS I:
(A) BANK BUILDING SITE GROSS FLOOR AREA - 5,098 SF.
(B) MEDICAL OFFICE BUILDING GROSS FLOOR AREA - TOTAL 53,551 SF.
(C) MEDICAL/GENERAL OFFICE BUILDING GROSS FLOOR AREA - TOTAL 53,551 SF.
(D) MEDICAL OFFICE GROSS FLOOR AREA - 48,196 SF.
(E) GENERAL OFFICE GROSS FLOOR AREA - 5,355 SF.
- BANK BUILDING AREA FOR FAIRWOODS II:
(A) BANK BUILDING SITE GROSS FLOOR AREA - TOTAL 53,551 SF.
(B) MEDICAL OFFICE BUILDING GROSS FLOOR AREA - TOTAL 53,551 SF.
(C) MEDICAL/GENERAL OFFICE BUILDING GROSS FLOOR AREA - TOTAL 53,551 SF.
(D) MEDICAL OFFICE GROSS FLOOR AREA - 48,196 SF.
(E) GENERAL OFFICE GROSS FLOOR AREA - 5,355 SF.
- PARKING REQUIRED:
A. BUILDING (A) - 5,098 SF.
GENERAL OFFICE/BANK BUILDING SITE - 5,098 SF.
GENERAL OFFICE: 2,222 SF.
8-PS FOR 2,000 SF + 1-PS PER 400 SF. OF GROSS FLOOR AREA ABOVE FIRST 2,000 SF.
PARKING REQUIRED: 8+1-9-PS.
BANK: 2886 SF.
1-PS PER 250 SF OF THE FIRST 2000 SF OF GFA
1-PS PER 400 SF. OF GROSS FLOOR AREA ABOVE THE FIRST 2,000 SF.
PARKING REQUIRED: 8+2-10-PS.
TOTAL PARKING REQUIRED FOR BUILDING (A): 19-PS.
B. BUILDING (B): - 53,551 SF.
MEDICAL OFFICE - 53,551 SF.
1 SPACE FOR EVERY 200 GROSS SQUARE FEET.
53,551/200 = 268-PS.
PARKING REQUIRED: 268-PS.
TOTAL PARKING REQUIRED FOR BUILDING (B): 268-PS.
C. BUILDING (C): - 53,551 SF.
MEDICAL OFFICE - 48,196 SF.
1 SPACE FOR EVERY 200 GROSS SQUARE FEET.
48,196/200 = 241-PS.
PARKING REQUIRED: 241-PS.
GENERAL OFFICE - 5,355 SF.
8-PS FOR 2,000 SF + 1-PS PER 400 SF. OF GROSS FLOOR AREA ABOVE FIRST 2,000 SF.
PARKING REQUIRED: 8+9 = 17-PS.
TOTAL PARKING REQUIRED FOR BUILDING (C) = 258-PS.
D. BUILDING (D): - 53,551 SF.
MEDICAL OFFICE - 32,131 SF.
1 SPACE FOR EVERY 200 GROSS SQUARE FEET.
32,131/200 = 161-PS.
PARKING REQUIRED: 161-PS.
GENERAL OFFICE - 21,420 SF.
8-PS FOR 2,000 SF + 1-PS PER 400 SF. OF GROSS FLOOR AREA ABOVE FIRST 2,000 SF.
PARKING REQUIRED: 8+48-56 PS.
TOTAL PARKING REQUIRED FOR BUILDING (D): 217-PS.
TOTAL PARKING REQUIRED = 762 SPACES.
TOTAL HANDICAP = 2% OF TOTAL SPACES = 16 SPACES.
TOTAL COMPACT SPACES ALLOWED = 252 SPACES.
TOTAL LOADING SPACES ALLOWED = 1 SPACE/100,000 SQ. FT. PLUS 1 SPACE EACH ADDITIONAL 100,000 (OR INCREMENT) = 2 SPACES FOR 165,751 GFA.

SITE DATA

- EXISTING ZONING: CO
- GROSS TRACT AREA: 12,701 AC
- AREA OF MASTER PLAN ROAD DEDICATION: 0.00 AC
- AREA WITHIN EXISTING FLOODPLAIN = 1.70 AC.
- AREA WITHIN PROPOSED FLOODPLAIN = 1.50 AC.
- WATER SURFACE ELEVATION OF POND = 1.62 AC.
- PROPOSED USE: FOUR BUILDINGS TOTAL THREE OFFICE BUILDINGS, THREE STORIES EACH, EACH WITH A GARAGE, ONE 5098 S.F. BANK/GENERAL OFFICE BUILDING.
- ADDRESS FAIRWOODS I: 12100, 12150 & 12200 ANNAPOLIS ROAD
- ADDRESS FAIRWOODS II: 12200 ANNAPOLIS ROAD
- ALL ELEVATIONS ARE BASED ON WSSC DATUM
- EXISTING PMA AREA = 99,065 SF. OR 2.27 AC.
- PROPOSED PMA AREA = 107,834 SF. OR 2.47 AC.
- CUG TAZ # 605.

DEED INFORMATION

GRANTOR: LARRY A. AND LINDA L. BRANNON
GRANTEE: FAIRWOODS OFFICE PARK, LLC
DATE OF CONVEYANCE: NOVEMBER 18, 2005
DEED REFERENCE: LIBER 4644 FOLIO 786

GRANTOR: EUGENE M. ZOGGIO AND PAULETTE ZOGGIO
GRANTEE: RIDGELY OFFICE PARK, LLC
DATE OF CONVEYANCE: JANUARY 29, 2008
DEED REFERENCE: LIBER 29251 FOLIO 486

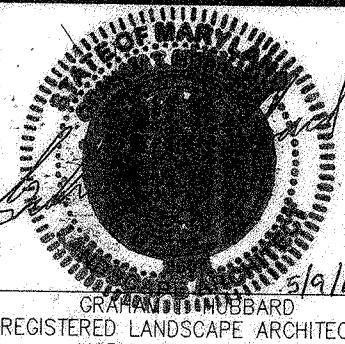
- PARKING PROVIDED: INTERIOR
BUILDING B FIRST FLOOR INTERIOR GARAGE COMPACT SPACES (9'x17.5') = 18-PS
BUILDING B FIRST FLOOR INTERIOR GARAGE COMPACT PARALLEL SPACES (19'x8') = 6-PS
BUILDING C FIRST FLOOR INTERIOR GARAGE COMPACT SPACES (9'x17.5') = 18-PS
BUILDING C FIRST FLOOR INTERIOR GARAGE COMPACT PARALLEL SPACES (19'x8') = 6-PS
BUILDING D FIRST FLOOR INTERIOR GARAGE COMPACT SPACES (9'x17.5') = 18-PS
BUILDING D FIRST FLOOR INTERIOR GARAGE COMPACT PARALLEL SPACES (19'x8') = 6-PS
BUILDING E FIRST FLOOR INTERIOR GARAGE COMPACT SPACES (9'x17.5') = 18-PS
BUILDING E FIRST FLOOR INTERIOR GARAGE COMPACT PARALLEL SPACES (19'x8') = 6-PS
EXTERIOR PARKING HC (13'x19') = 14 HC STANDARD PS
EXTERIOR AREA STANDARD (9.5'x19') = 541-PS
TOTAL INTERIOR/EXTERIOR PARKING
REGULAR PARKING SPACES = 541 SPACES
COMPACT PARKING SPACES = 212
HANDICAP SPACES = 13 REG. HANDICAP
4 VAN HANDICAP
TOTAL SPACE = 770 PARKING SPACE
2 LOADING SPACES PROVIDED: 33' X 15' AS REQUIRED
- ALL CURB AND GUTTER TO BE PRINCE GEORGE'S COUNTY STANDARD 300.01
- HANDICAP RAMP IN ACCORDANCE WITH ADA REQUIREMENTS.
- DRIVEWAY ENTRANCE TO BE ASHUA STANDARD MD 630.02
- ALL FILL BENEATH OF BUILDINGS TO BE CLASS 1 FILL
- SET BACKS: REQUIRED FOR OFFICE BUILDING:
A. FROM STREET: 10' X 1/3 OF 64.5' = 10'-24.8' = 34.8'
FROM STREET PROVIDED: 16.5' FOR FAIRWOODS I
FROM STREET PROVIDED: 64' FOR FAIRWOODS II
FROM STREET REQUIRED FOR BANK: 10'
FROM STREET PROVIDED: 25'
- FROM ADJOINING LAND IN ANY NON RESIDENTIAL
1/3 OF 50.5' = 16.8' REQUIRED
PROVIDED: 82' FOR FAIRWOODS I
PROVIDED: 355' FOR FAIRWOODS II
- BACK YARD:
REQUIRED: 1/3 OF 64.5' (HEIGHT) = 21.5'
PROVIDED: 112' FOR FAIRWOODS I
PROVIDED: 82' FOR FAIRWOODS II
- GRADING ORDINANCE: SECTION 4-126, TABLE 24
MAXIMUM SLOPE: 2:1
MINIMUM SLOPE: 1%

CALL "MISS UTILITY"

TELEPHONE: 1-800-257-7777 FOR UTILITY LOCATIONS AT LEAST 48 HOURS BEFORE BEGINNING CONSTRUCTION.

THE TECH GROUP, INC.
ENGINEERS - PLANNERS - SURVEYORS
TELECOMMUNICATIONS - ENVIRONMENTAL
LANDSCAPE ARCHITECTURE
WWW.TECHGROUPINC.NET

1120 Benfield Blvd.
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Fax: (410) 987-3457



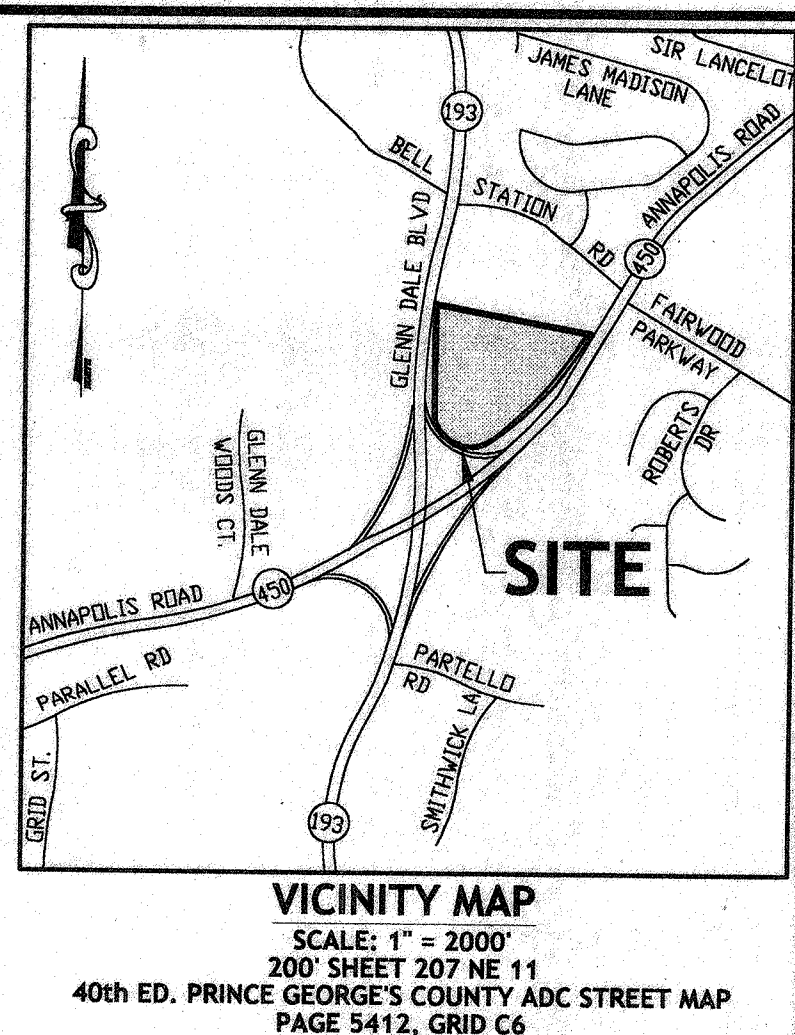
OWNER/DEVELOPER
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TCP TYPE II PLAN COVER SHEET
FAIRWOODS OFFICE PARK I & II
(FORMERLY KNOWN AS ZOGGIO COMMERCIAL)
PRINCE GEORGE'S COUNTY MARYLAND
14th DISTRICT
TAX MAP 45 PARCEL 74

SCALE: 1" = 100' DATE: JANUARY 2011 TTG PROJECT No. 505086 SHEET 1 OF 2

FAIRWOODS OFFICE PARK I & II (FORMERLY KNOWN AS ZOGGIO COMMERCIAL) TCP TYPE-II PLAN



LEGEND

- | | |
|---------------------------------------|---|
| BOUNDARY | EX. ROW |
| BRL | EX. WATER |
| PUE | EX. SEWER |
| EASEMENTS | EX. STORM DRAIN |
| EX. 2' CONTOUR | EX. STRUCTURES |
| EX. 10' CONTOUR | EX. GAS MAIN |
| PROP. 2' CONTOUR | EX. OVERHEAD ELECTRIC LINE |
| PROP. 10' CONTOUR | EX. ROAD |
| STREAMS | CENTERLINE |
| STREAM BUFFER | EX. SIDEWALK |
| WETLANDS | EX. 100 YEAR FLOOD PLAIN |
| WETLANDS 25' BUFFER | FLOOD PLAIN BUFFER |
| PROP. LIMIT OF DISTURBANCE | PMA |
| PROP. STORM DRAIN | STANDARD P.G. COUNTY
REVERSE CURB & GUTTER |
| SOILS | STANDARD P.G. COUNTY
DEPRESSED CURB |
| EX. TREE LINE | SPECIMEN TREE |
| STANDARD P.G. COUNTY
CURB & GUTTER | CRITICAL
ROOT ZONE |
| PROP. GAZEBO | TPH |
| OFF SITE FOREST
IMPACTS | TPH - TREE PROTECTION FENCE |
| | PROP. CONCRETE SIDEWALK |

DSP08033-01

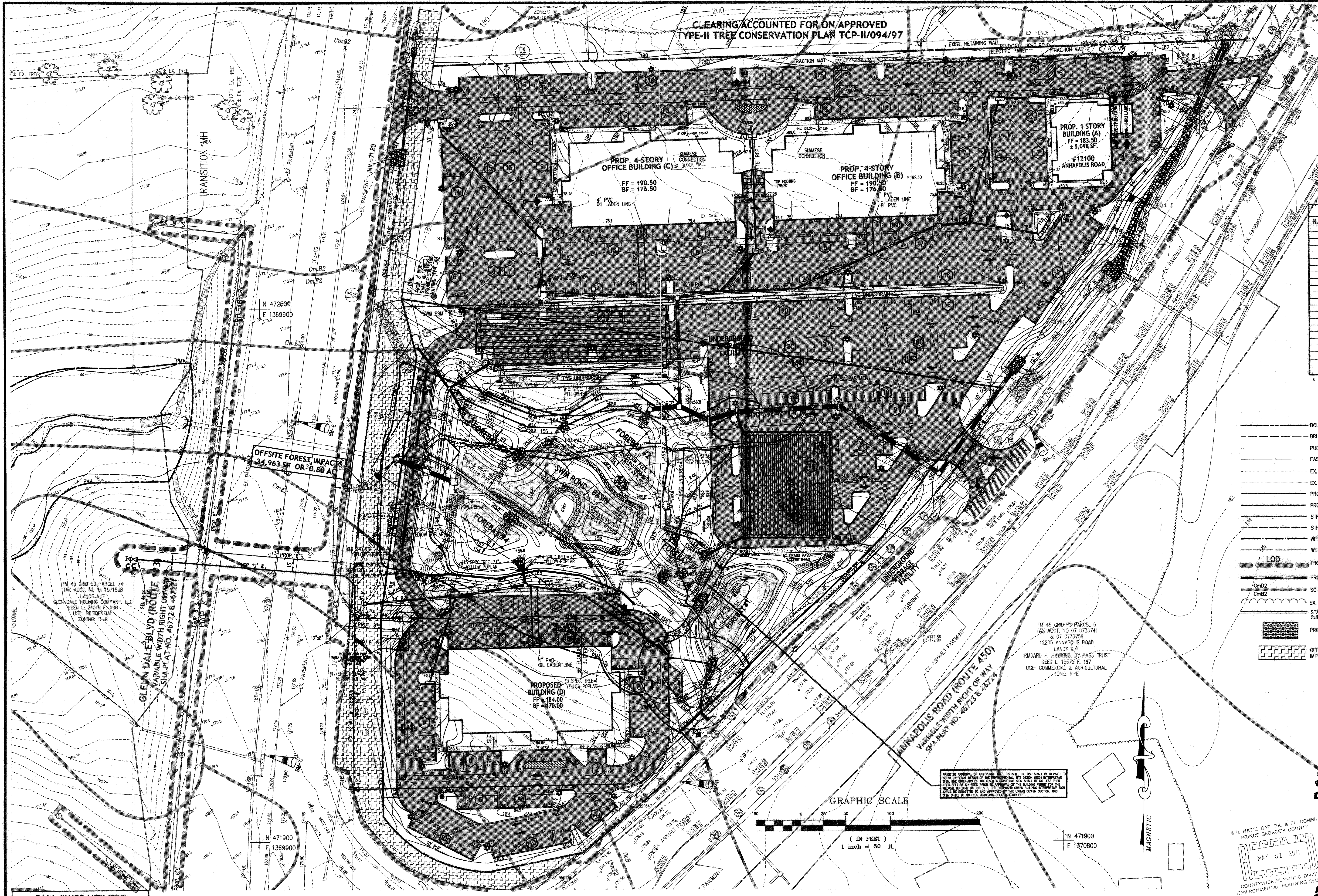
APPROVED PLAN

M-NCPPC			
Prince George's County Planning Department Environmental Planning Section			
APPROVAL			
TREE CONSERVATION PLAN			
TCP II 067-08			
APPROVED BY	DATE		
MEGAN K. REISER	08/11/09		
01	MEGAN K. REISER	5/17/11	
02			
03			
04			
05			

M.N.C.P. & P.C. APPROVALS			
PROJECT NAME: FAIRWOOD OFFICE PARK I & II			
PROJECT NUMBER: DSP 08033-01			
For conditions of Approval use Site Plan Cover Sheet or Approved Sheet			
The Revisions Listed Below Apply to this Sheet			
Approval or Revision #	Approval Date	Reviewer's Signature	Certification Date
01	01/08/09	J.S.	08/14/09
02	5/17/11	MEGAN K. REISER	5/17/11
03			
04			
05			

DESIGNED	KW	01/11	DATE	BY	DESCRIPTIONS
DRAWN	KO	01/11	09/08	TTG	REV. PLAN TO INCLUDE ZOGGIO/FAIRWOODS OFFICE PARK II
CHECKED	KLM	01/11	12/08	TTG	ADDRESS SCD COMMENTS.
		01/09	01/09	TTG	REVISED PER CONDITIONS OF RESOLUTION PCQB9 NO. 08-173
		03/09	03/09	TTG	RESPOND TO SCD COMMENTS DATED 10/22/2008
		04/09	04/09	TTG	REVISED PER DPW&T COMMENTS
APPROVED	GTH	01/11	06/09	TTG	REVISED PER DRD & ENVIRONMENTAL PLANNING COMMENTS
		12/10	12/10	TTG	REVISED PER PLANNING BOARD CONDITIONS DATED 4/27/10

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SPECIMEN TREE TABLE				
NUMBER	SPECIES	SIZE (in.)	CONDITION/COMMENTS	
1	Yellow poplar	42	Good	Remove
2	Yellow poplar	35	Good	Remove
3	Yellow poplar	37	Good	Remove
4	Red maple	44	Poor / Triple Trunk	Remove
5	Yellow poplar	31.5	Good	Remove
6	Yellow poplar	35	Good	Remove
7	Yellow poplar	32	Good / Twin Trunk	Remove
8	Yellow poplar	34	Good / Twin Trunk	Remove
9	Yellow poplar	33.5	Good	Remove
10	Yellow poplar	30	Good	Remove
11	Yellow poplar	31	Good	Remove
12	Yellow poplar	33.5	Good	Remove
13	Yellow poplar	55	Poor / Dead Branches	Remove
14	Yellow poplar	33	Good	Remove
15	Yellow poplar	31	Good	Remove
16	Yellow poplar	34	Good	Remove
17	Yellow poplar	38	Good / Twin Trunk	Remove
18	Yellow poplar	34	Good	Remove
19	Yellow poplar	30	Good	Remove
20	Sycamore	30.4	Good	Remove
21	Yellow poplar	36.5	Good	Remove
22	Yellow poplar	54.5	Good	Remove

* LOCATED WITH TRIMBLE GPS DEVICE, WITH 1 METER ACCURACY

- LEGEND**
- | | |
|----------------------------|-----------------------------|
| BOUNDARY | EX. ROW |
| BRL | EX. WATER |
| PUE | EX. SEWER |
| EASEMENTS | EX. STORM DRAIN |
| EX. 2' CONTOUR | EX. STRUCTURES |
| EX. 10' CONTOUR | GAS |
| PROP. 2' CONTOUR | OH |
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| STREAMS | EX. ROAD |
| STREAM BUFFER | CENTERLINE |
| WETLANDS | EX. SIDEWALK |
| WETLANDS 25' BUFFER | EX. 100 YEAR FLOOD PLAIN |
| LOD | FLOOD PLAIN BUFFER |
| PROP. LIMIT OF DISTURBANCE | PMA |
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| SOLS | REVERSE CURB & GUTTER |
| EX. TREE LINE | STANDARD P.G. COUNTY |
| STANDARD P.G. COUNTY | DEPRESSED CURB |
| PROP. GAZEBO | SPECIMEN TREE |
| OFF SITE FOREST | CRITICAL |
| IMPAIRS | ROOT ZONE |
| | TPH |
| | TPH - TREE PROTECTION FENCE |
| | PROP. CONCRETE SIDEWALK |

M-NCPPC
Prince George's County Planning Department
Environmental Planning Section

APPROVAL
TREE CONSERVATION PLAN
TCP II 067-08

APPROVED BY: _____ DATE: 08/11/09
MEGAN K. REISER

01	
02	
03	
04	
05	

M.N.C.P. & P.C. APPROVALS

PROJECT NAME: FAIRWOODS OFFICE PARK I & II
PROJECT NUMBER: DSP-08033-01

For conditions of Approval see Site Plan Cover Sheet or Approval Sheet
The Revisions Listed Below Apply to this Sheet

Approval of	Approval of	Reviewer's Signature	Certification
Date	Date		Date
01/8/09	01/8/09	J.S.	08/14/09
01/9/09	01/9/09	RS	01/14/09

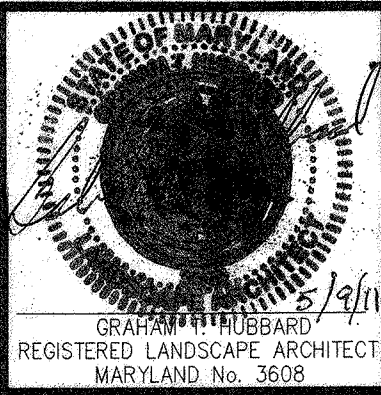
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TELEPHONE: 1-800-257-7777 FOR UTILITY
LOCATIONS AT LEAST 48 HOURS BEFORE
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DESIGNED			DATE			BY			DATE		
KW			01/11			TTG			09/08		
KO			01/11			TTG			12/08		
KLM			01/11			TTG			01/09		
GTH			01/11			TTG			03/09		
									04/09		
									06/09		
									12/10		

REVISED PER CONDITIONS OF RESOLUTION PGCPB NO. 08-173
REVISED PER DPW&T COMMENTS
REVISED PER DRD & ENVIRONMENTAL PLANNING COMMENTS
REVISED PER PLANNING BOARD CONDITIONS DATED 4/27/10

THE TECH GROUP, INC.
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TELECOMMUNICATIONS - ENVIRONMENTAL
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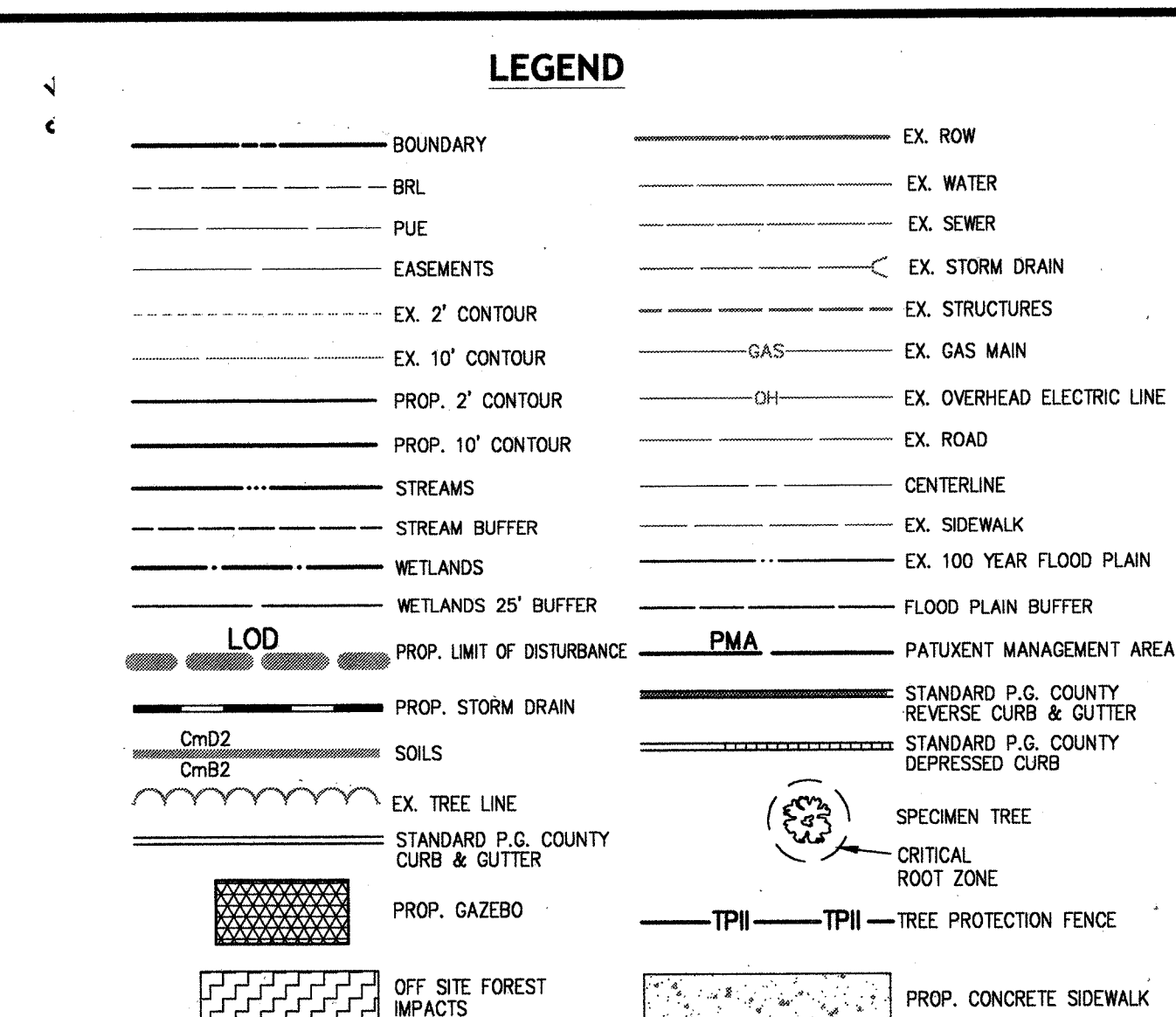
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TCP TYPE II PLAN

FAIRWOODS OFFICE PARK I & II
(FORMERLY KNOWN AS ZOGLIO COMMERCIAL)
PRINCE GEORGE'S COUNTY MARYLAND

TAX MAP 45 PARCEL 74

SCALE: 1" = 50' DATE: JANUARY 2011 TTG PROJECT No. 505086 SHEET 2 OF 7



* LOCATED WITH TRIMBLE GPS DEVICE, WITH 1 METER ACCURACY

DSP08033-01
APPROVED PLAN

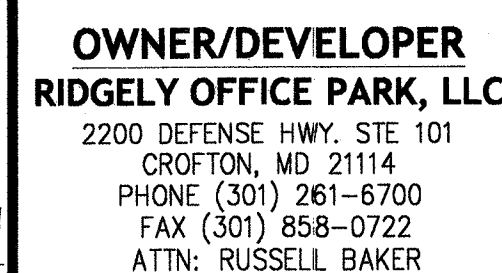
M-NCPPC Prince George's County Planning Department Environmental Planning Section APPROVAL TREE CONSERVATION PLAN	
TCP II <u>067-08</u>	
APPROVED BY _____ MEGAN K. REISER	DATE _____ 08/11/09
01	<i>[Signature]</i>
02	
03	
04	
05	

[illegible]

TELEPHONE: 1-800-257-7777 FOR UTILITY
LOCATIONS AT LEAST 48 HOURS BEFORE
BEGINNING CONSTRUCTION.

			REVISIONS		
DESIGNED	KW	01/11	DATE	BY	DESCRIPTIONS
		DATE			
DRAWN	KO	01/11	09/08	TTC	REV. PLAN TO INCLUDE ZOGILO/FAIRWOODS OFFICE PARK II
		DATE	12/08	TTC	ADDRESS SCD COMMENTS.
			01/09	TTC	REVISED PER CONDITIONS OF RESOLUTION PGCPB NO. 08-17:
CHECKED	KLM	01/11	03/09	TTC	RESPOND TO SCD COMMENTS DATED 10/22/2008
		DATE	04/09	TTC	REVISED PER DPW&T COMMENTS
			06/09	TTC	REVISED PER DRD & ENVIRONMENTAL PLANNING COMMENTS
APPROVED	GTH	01/11	12/10	TTC	REVISED PER PLANNING BOARD CONDITIONS DATED 4/27/10
		DATE			

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Fax (410) 987-3457



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FAIRWOODS OFFICE PARK I & II
(FORMERLY KNOWN AS ZOGLIO COMMERCIAL)
PRINCE GEORGE'S COUNTY MARYLAND

SCALE: 1" = 30' DATE: JANUARY 2011 TTG PROJECT No. 505086 SHEET 3 OF 7

N 472550
E 1369900

N 472550
E 1370700

MATCH LINE SEE SHEET #6

MATCH LINE SEE SHEET #5

OFFSITE FOREST IMPACTS
34,963 SF OR 0.80 AC

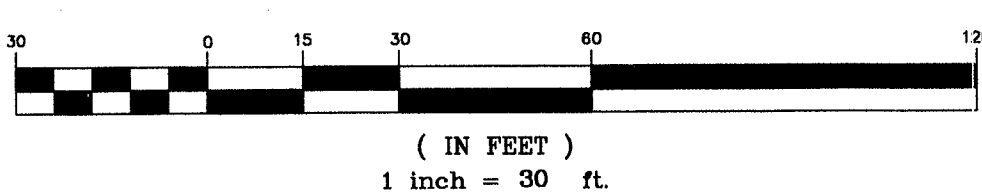
MATCH LINE SEE SHEET #3

MATCH LINE SEE SHEET #3

LEGEND

BOUNDARY	EX. ROW
BRL	EX. WATER
PUE	EX. SEWER
EASEMENTS	EX. STORM DRAIN
EX. 2' CONTOUR	EX. STRUCTURES
EX. 10' CONTOUR	EX. GAS MAIN
PROP. 2' CONTOUR	EX. OVERHEAD ELECTRIC LINE
PROP. 10' CONTOUR	EX. ROAD
STREAMS	CENTERLINE
STREAM BUFFER	EX. SIDEWALK
WETLANDS	EX. 100 YEAR FLOOD PLAIN
WETLANDS 25' BUFFER	FLOOD PLAIN BUFFER
PROP. LIMIT OF DISTURBANCE	PMA
PROP. STORM DRAIN	PATUXENT MANAGEMENT AREA
Cm22	STANDARD P.G. COUNTY
Cm22	REVERSE CURB & GUTTER
EX. TREE LINE	STANDARD P.G. COUNTY
STANDARD P.G. COUNTY	DEPRESSED CURB
CURB & GUTTER	SPECIMEN TREE
PROP. GAZEBO	CRITICAL
OFF SITE FOREST	ROOT ZONE
IMPACTS	TPII
	TREE PROTECTION FENCE
	PROP. CONCRETE SIDEWALK

GRAPHIC SCALE



PRIOR TO APPROVAL OF ANY PERMIT FOR THIS SITE, THE DSP SHALL BE REVISED TO SHOW THE FINAL DESIGN OF THE ENVIRONMENTAL SITE DESIGN (ESD) INTERPRETIVE SIGN. THE DIMENSION OF THE (ESD) INTERPRETIVE SIGN SHALL BE NO LESS THAN FOUR FEET BY SIX FEET. PRIOR TO APPROVAL OF THE BUILDING PERMIT FOR THE MEDICAL BUILDING ON THIS SITE, THE PROPOSED GREEN BUILDING INTERPRETIVE SIGN SHALL BE SUBMITTED TO AND APPROVED BY THE URBAN DESIGN SECTION. THIS SIGN SHALL BE NO LESS THAN TWO FEET BY FOUR FEET.

CALL "MISS UTILITY"

TELEPHONE: 1-800-257-7777 FOR UTILITY
LOCATIONS AT LEAST 48 HOURS BEFORE
BEGINNING CONSTRUCTION.

REVISIONS

DESIGNED	KW	01/11
DRAWN	KO	01/11
CHECKED	KLM	01/11
APPROVED	GTH	01/11
DATE	DATE	DATE
09/08	TTC	REV. PLAN TO INCLUDE ZOGLO/FAIRWOODS OFFICE PARK II
12/08	TTC	ADDRESS SCD COMMENTS
01/09	TTC	REVISED PER CONDITIONS OF RESOLUTION PGCPB NO. 08-173
03/09	TTC	RESPOND TO SCD COMMENTS DATED 10/22/2008
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12/10	TTC	REVISED PER PLANNING BOARD CONDITIONS DATED 4/27/10

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TCP TYPE II PLAN
FAIRWOODS OFFICE PARK I & II
(FORMERLY KNOWN AS ZOGLO COMMERCIAL)
PRINCE GEORGE'S COUNTY MARYLAND

SCALE: 1" = 30' DATE: JANUARY 2011 TTG PROJECT No. 505086 SHEET 4 OF 7

DSP08033-01
APPROVED PLAN

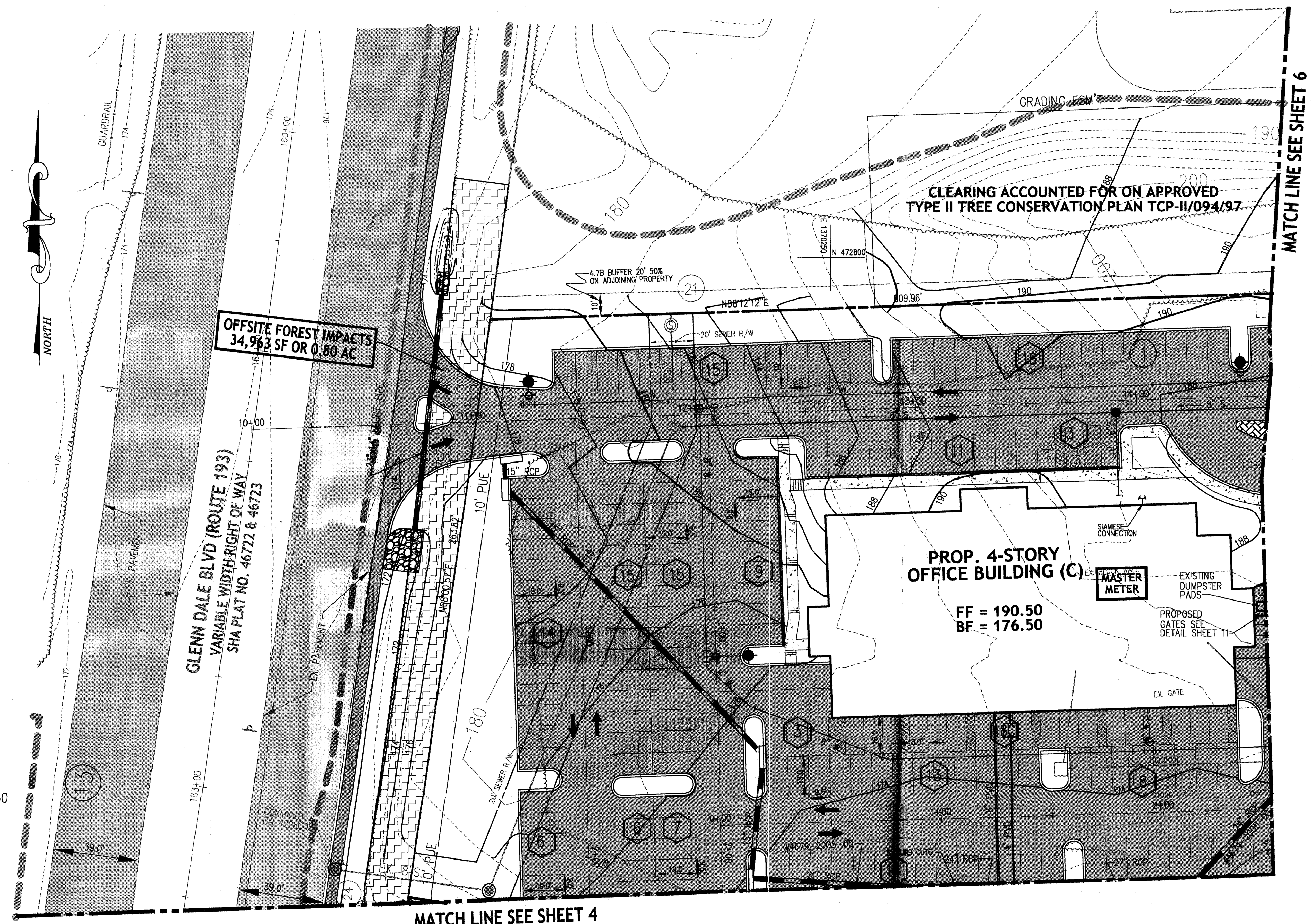
SPECIMEN TREE TABLE

NUMBER	SPECIES	SIZE (in.)	CONDITION/COMMENTS	REMOVE
1	Yellow poplar	42	Good	Remove
2	Yellow poplar	35	Good	Remove
3	Yellow poplar	34	Good	Remove
4	Red maple	24	Poor/Trippe Trunk	Remove
5	Yellow poplar	31.5	Good	Remove
6	Yellow poplar	35	Good	Remove
7	Yellow poplar	32	Good/Twin Trunk	Remove
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17	Yellow poplar	39	Good/Twin Trunk	Remove
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19	Yellow poplar	30	Good	Remove
20	Sycamore	30.4	Good	Remove
21	Yellow poplar	36.5	Good	Remove
22	Yellow poplar	54.5	Good	Remove

* LOCATED WITH TRIMBLE GPS DEVICE, WITH 1 METER ACCURACY

M-NCPPC
Prince George's County Planning Department
Environmental Planning Section
APPROVAL
TREE CONSERVATION PLAN
TCP II 067-08
APPROVED BY: MEGAN K. REISER DATE: 08/11/09

M.N.C.P. & P.C. APPROVALS			
PROJECT NAME: FAIRWOODS OFFICE PARK I & II			
PROJECT NUMBER: DSP-08033-01			
For conditions of Approval see Site Plan Cover Sheet or Approval Sheet. The Revisions Listed Below Apply to this Sheet.			
Approval or Revision #	Date	Reviewer's Signature	Certification Date
01	01/11/09	J.S.	08/14/09
02	01/11/09	R.B.	01/11/09
03			
04			
05			



LEGEND	
BOUNDARY	EX. ROW
BRL	EX. WATER
PUE	EX. SEWER
EASEMENTS	EX. STORM DRAIN
EX. 2' CONTOUR	EX. STRUCTURES
EX. 10' CONTOUR	GAS
PROP. 2' CONTOUR	OH
PROP. 10' CONTOUR	EX. ROAD
STREAMS	CENTERLINE
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PROP. STORM DRAIN	STANDARD P.G. COUNTY REVERSE CURB & GUTTER
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EX. TREE LINE	SPECIMEN TREE
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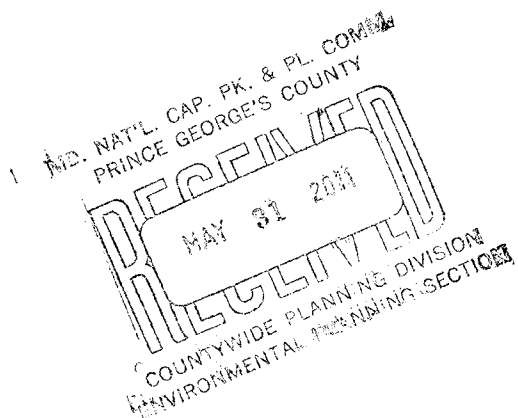
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DSP08033-01

M-NCPPC Prince George's County Planning Department Environmental Planning Section	
APPROVAL TREE CONSERVATION PLAN	
TCP II 067-08	
APPROVED BY	DATE
MEGAN K. REISER	08/11/09
01	
02	
03	
04	
05	

APPROVED PLAN

M.N.C.P. & P.C. APPROVALS		
PROJECT NAME: FAIRWOODS OFFICE PARK I & II		
PROJECT NUMBER: DSP-08033-01		
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04		
05		



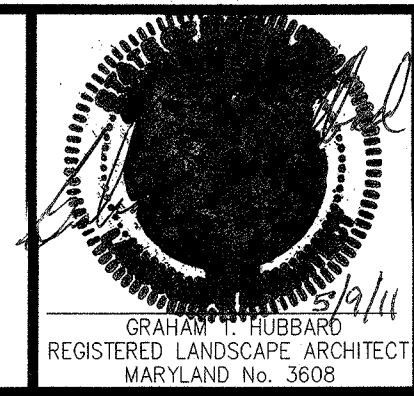
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DESIGNED			REVISIONS		
KW	01/11	DATE	DATE	BY	DESCRIPTIONS
			09/08	TTG	REV. PLAN TO INCLUDE ZOGLO/FAIRWOODS OFFICE PARK II
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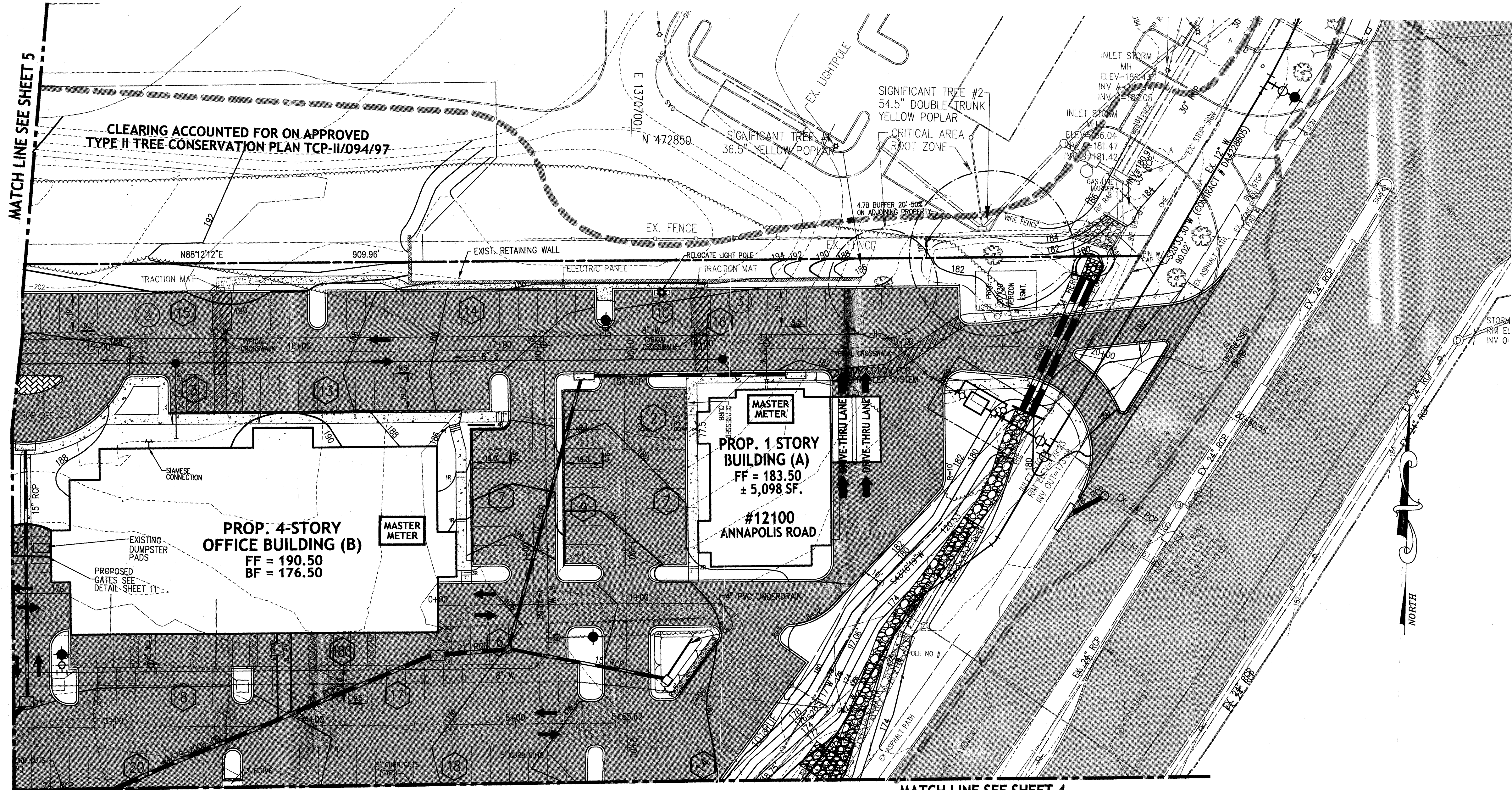
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TCP TYPE II PLAN			
FAIRWOODS OFFICE PARK I & II (FORMERLY KNOWN AS ZOGLO COMMERCIAL) PRINCE GEORGE'S COUNTY MARYLAND			
SCALE: 1" = 30'	DATE: JANUARY 2011	TTG PROJECT No. 505086	SHEET 5 OF 7



LEGEND

BOUNDARY	EX. ROW
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PROP. GAZEBO	TPH
OFF SITE FOREST IMPACTS	TPH
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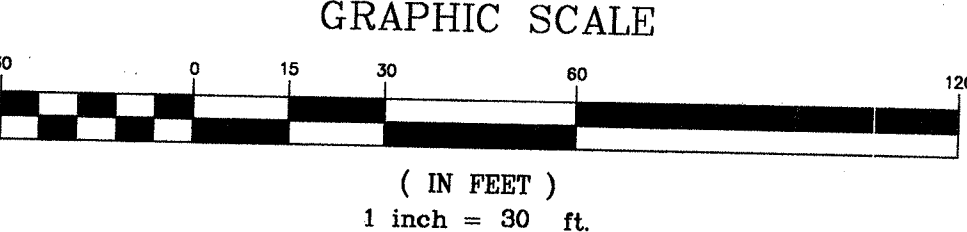
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M-NCPPC
Prince George's County Planning Department
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APPROVAL
TREE CONSERVATION PLAN
TCP II 067-08
APPROVED BY: MEGAN K. REISER DATE: 08/11/09

APPROVED PLAN

M.N.C.P. & P.C. APPROVALS
PROJECT NAME: FAIRWOODS OFFICE PARK I & II
PROJECT NUMBER: DSP-08033-01
For conditions of Approval see Site Plan Cover Sheet or Approval Sheet
The Revisions Listed Below Apply to this Sheet

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TCP TYPE II PLAN
FAIRWOODS OFFICE PARK I & II
(FORMERLY KNOWN AS ZOGLO COMMERCIAL)
PRINCE GEORGE'S COUNTY MARYLAND
TAX MAP 45 PARCEL 74
SCALE: 1" = 30' DATE: JANUARY 2011 ITG PROJECT No. 505086 SHEET 6 OF 7

Woodland Conservation Worksheet for Prince George's County

Zone: C-O

Gross Tract:	12.70		
Floodplain:	1.70		
Previously Dedicated Land:	0.00		
Net Tract (NTA):	11.00	0.00	0.00

Property Description or Subdivision Name: Fairwoods Office Park TCP11/067/08-01

Is this site subject to the 1989 Ordinance? N

Reforestation Requirement Reduction Questions

Is this one (1) single family lot? (y,n) N

Are there prior TCP approvals which include a combination of this lot and/or other lots. (y,n) Y

Is this a Mitigation Bank N

Break-even Point (preservation) = 2.50 acres

Clearing permitted w/o reforestation = 3.42 acres

Woodland Conservation Calculations:	Net Tract (acres)	Floodplain (acres)	Off-site Impacts (acres)
Existing Woodland	5.92	1.70	
Woodland Conservation Threshold (NTA) =	15.00%	1.65	
Smaller of a or b	1.65		
Woodland above WCT	4.27		
Woodland cleared	5.92	1.70	0.80
Smaller of d or e	4.27		
Clearing above WCT (0.25 : 1) replacement requirement	1.07		
Clearing below WCT (2-1 replacement requirement)	1.65		
Afforestation Threshold (AFT) =	15.00%	0.00	
Off-site Mitigation (preservation) being provided on this property	0.00		
Woodland Conservation Required	6.87		

Woodland Conservation Provided:	(acres)	
Woodland Preservation	0.00	
Afforestation / Reforestation	0.00	
Area approved for fee-in-lieu	0.00	\$0.00
Credits for Off-site Mitigation on another property	6.87	
Off-site Mitigation (preservation) being provided on this property	0.00	
Off-site Mitigation (afforestation) being provided on this property	0.00	
Total Woodland Conservation Provided	6.87	

Area of woodland not cleared: 0.00 acres

Woodland retained not part of requirements: 0.00 acres

Prepared by: Graham Hubbard

Signed: *Graham Hubbard* Date: 5/9/2011

Revised 7/1/06

*NOTE: 1.86 ACRES OF OFF-SITE WOODLAND CONSERVATION APPROVED UNDER TCP11/06 HAS BEEN MET FOR THE REQUIREMENTS OF FAIRWOODS OFFICE PARK I, OF OFF-SITE 5.01 ACRES WOODLAND CONSERVATION IS REQUIRED TO MEET THE REQUIREMENTS FOR FAIRWOODS OFFICE PARK II

WOODLAND CONSERVATION AREA MANAGEMENT NOTES

REMOVAL OF HAZARDOUS TREES OR HAZARDOUS LIMBS BY DEVELOPERS OR BUILDERS

THE DEVELOPER AND/OR BUILDER IS RESPONSIBLE FOR THE COMPLETE PRESERVATION OF ALL FORESTED AREAS SHOWN ON THE APPROVED PLAN TO REMAIN UNDISTURBED. ONLY TREES OR PARTS THEREOF DESIGNATED BY THE DEPARTMENT OF ENVIRONMENTAL RESOURCES AS DEAD, DYING, OR HAZARDOUS MAY BE REMOVED.

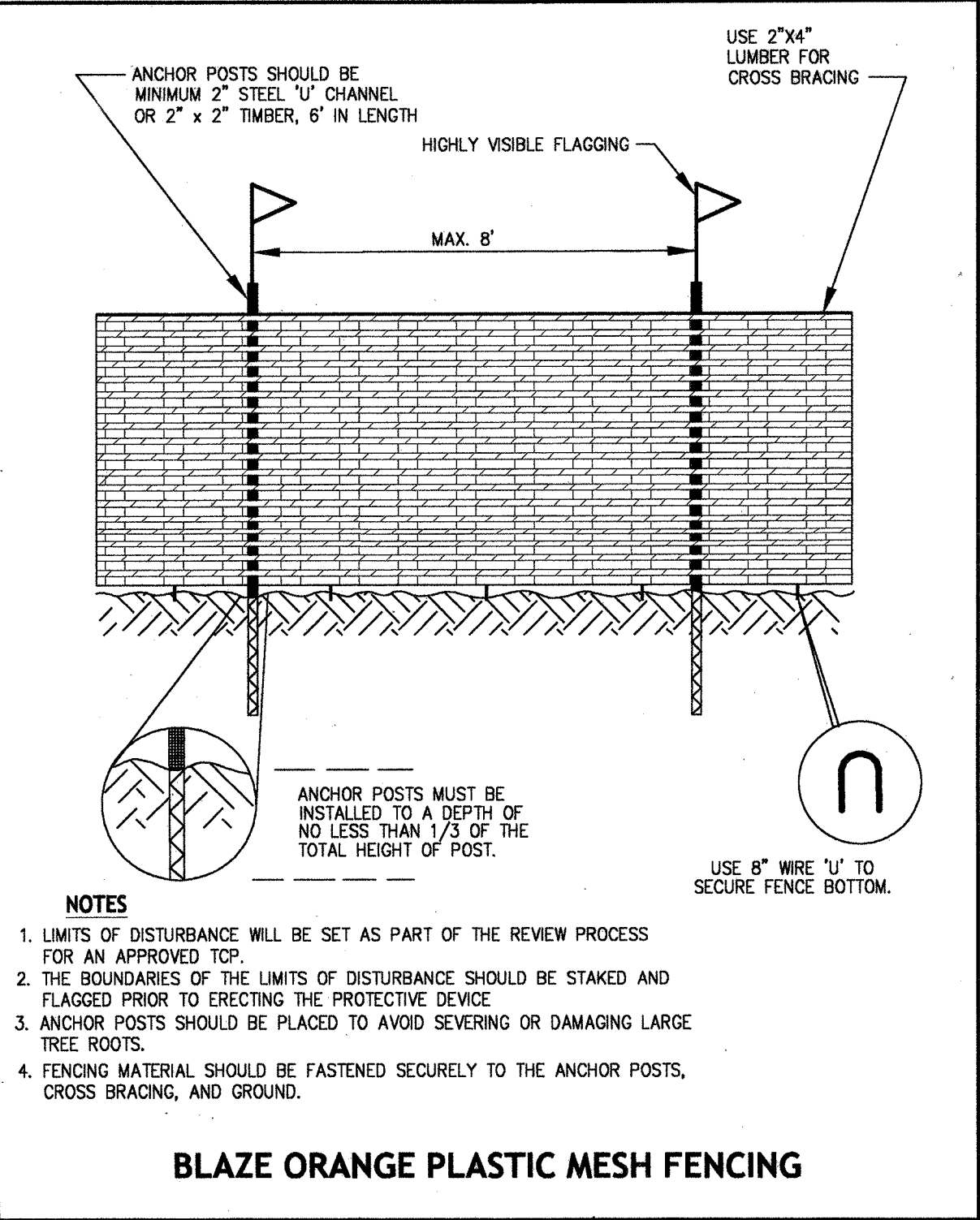
- A TREE IS CONSIDERED HAZARDOUS IF A CONDITION IS PRESENT WHICH LEADS TO A LICENSED ARBORIST OR A LICENSED TREE EXPERT TO BELIEVE THAT THE TREE OR PORTION OF THE TREE HAS A POTENTIAL TO FALL AND STRIKE A STRUCTURE, PARKING AREA, OR OTHER HIGH USE AREA AND RESULT IN PERSONAL INJURY OR PROPERTY DAMAGE.
- IF A HAZARDOUS CONDITION MAY BE ALLEVIATED BY CORRECTIVE PRUNING, THE LICENSED ARBORIST OR A LICENSED TREE EXPERT MAY PROCEED WITHOUT FURTHER AUTHORIZATION. THE PRUNING MUST BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE ANSI A-300 PRUNING STANDARDS ("TREE, SHRUB, AND OTHER WOODY PLANT MAINTENANCE - STANDARD PRACTICES").
- CORRECTIVE MEASURES REQUIRING THE REMOVAL OF THE HAZARDOUS TREE OR PORTIONS THEREOF SHALL REQUIRE AUTHORIZATION BY THE BUILDING OR GRADING INSPECTOR IF THERE IS A VALID TRADING OR BUILDING PERMIT FOR THE SUBJECT LOTS OR PARCELS ON WHICH THE TREES ARE LOCATED. ONLY AFTER APPROVAL OF THE APPROPRIATE INSPECTOR MAY THE TREE BE CUT BY A CHAINSAW TO NEAR THE EXISTING GROUND LEVEL. THE STUMP MAY NOT BE REMOVED OR COVERED WITH SOIL, MULCH OR OTHER MATERIALS THAT WOULD INHIBIT SPROUTING.
- DEBRIS FROM THE TREE REMOVAL OR PRUNING THAT OCCURS WITHIN 35 FEET OF THE WOODLAND EDGE MAY BE REMOVED AND PROPERLY DISPOSED OF BY RECYCLING, CHIPPING OR OTHER ACCEPTABLE METHODS. ALL DEBRIS THAT IS MORE THAN 35 FEET FROM THE WOODLAND EDGE SHALL BE CUT UP TO ALLOW CONTACT WITH THE GROUND, THUS ENCOURAGING DECOMPOSITION. THE SMALLER MATERIALS SHALL BE PLACED INTO BRUSH PILES THAT WILL SERVE AS WILDLIFE HABITAT.

PROTECTION OF REFORESTATION AND AFFORESTATION AREAS BY DEVELOPERS AND BUILDERS

- REFORESTATION AND AFFORESTATION AREAS SHALL BE PLANTED PRIOR TO THE OCCUPANCY OF THE NEAREST BUILDING OR RESIDENCE. IF PLANTING CANNOT OCCUR DUE TO PLANTING CONDITIONS, THE DEVELOPER OR PROPERTY OWNER SHALL INSTALL THE FENCING AND SIGNAGE IN ACCORDANCE WITH THE APPROVED TYPE II TREE CONSERVATION PLAN. PLANTING SHALL THEN BE ACCOMPLISHED DURING THE NEXT PLANTING SEASON. IF PLANTING IS DELAYED BEYOND THE TRANSFER OF THE PROPERTY TITLE, TO THE HOMEOWNER, THE DEVELOPER SHALL OBTAIN A SIGNED STATEMENT FROM THE PURCHASER INDICATING THAT THEY UNDERSTAND THAT THE REFORESTATION AREA IS LOCATED ON THEIR PROPERTY AND THAT REFORESTATION WILL OCCUR DURING THE NEXT PLANTING SEASON. A COPY OF THAT DOCUMENT SHALL BE PRESENTED TO THE GRADING INSPECTOR AND THE ENVIRONMENTAL PLANNING SECTION.
- REFORESTATION AREAS SHALL NOT BE MOWED, HOWEVER, THE MANAGEMENT OF COMPETING VEGETATION AROUND INDIVIDUAL TREES IS ACCEPTABLE.

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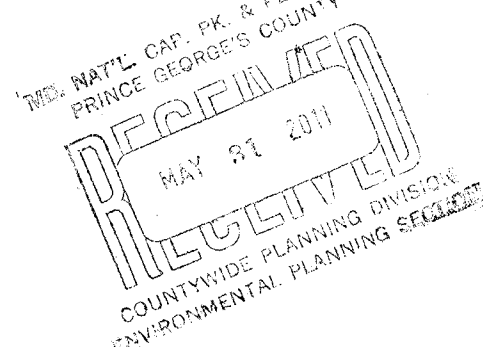
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STANDARD TYPE II TREE CONSERVATION PLAN NOTES

- CUTTING OR CLEARING OF WOODLAND NOT IN CONFORMANCE WITH THIS PLAN OR WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE PLANNING DIRECTOR OR DESIGNEE SHALL BE SUBJECT TO A \$1.50 PER SQUARE FOOT MITIGATION FEE.
- THE DEPARTMENT OF ENVIRONMENTAL RESOURCES (DER) MUST BE CONTACTED PRIOR TO THE START OF ANY WORK ON THE SITE TO ADDRESS IMPLEMENTATION OF TREE CONSERVATION MEASURES SHOWN ON THIS PLAN.
- PROPERTY OWNERS SHALL BE NOTIFIED BY THE DEVELOPER OR CONTRACTOR OF ANY WOODLAND CONSERVATION AREAS (TREE SAVE AREAS, REFORESTATION AREAS, AFFORESTATION AREAS, OR SELECTIVE CLEARING AREAS) LOCATED ON THEIR LOT OR PARCEL OF LAND AND THE ASSOCIATED FINES FOR UNAUTHORIZED DISTURBANCES TO THESE AREAS. UPON THE SALE OF THE PROPERTY THE OWNER / DEVELOPER OR OWNERS REPRESENTATIVES SHALL NOTIFY THE PURCHASER OF THE PROPERTY OF ANY WOODLAND CONSERVATION AREAS.
- ALL APPROPRIATE BONDS AND/OR FEES SHALL BE POSTED WITH THE BUILDING OFFICIAL PRIOR TO THE ISSUANCE OF ANY PERMITS. THESE BONDS WILL BE RETAINED AS SURETY BY THE BUILDING OFFICIAL UNTIL ALL REQUIRED ACTIVITIES HAVE BEEN SATISFIED.
- ALL REQUIRED OFF-SITE MITIGATION SHALL BE IDENTIFIED ON AN APPROVED TCP II FOR THE OFF-SITE LOCATION AND SHALL BE RECORDED AS AN OFF-SITE EASEMENT IN THE LAND RECORDS OF PRINCE GEORGE'S COUNTY PRIOR TO ISSUANCE OF ANY PERMITS FOR THE SUBJECT PROPERTY.
- THE LOCATION OF ALL TREE PROTECTIVE DEVICES (TPD'S) SHOWN ON THIS PLAN SHALL BE FLAGGED OR STAKED IN THE FIELD PRIOR TO THE PRE-CONSTRUCTION MEETING WITH THE SEDIMENT AND EROSION CONTROL INSPECTOR FROM DER. UPON APPROVAL OF THE FLAGGED OR STAKED TPD LOCATIONS BY THE INSPECTOR, INSTALLATION OF THE TPD'S MAY BEGIN. TPD INSTALLATION SHALL BE COMPLETED PRIOR TO INSTALLATION OF INITIAL SEDIMENT CONTROLS. NO CUTTING OR CLEARING OF TREES MAY BEGIN BEFORE FINAL APPROVAL OF TPD INSTALLATION.
- ALL TREE PLANTING FOR WOODLAND REPLACEMENT, REFORESTATION OR AFFORESTATION WILL BE COMPLETE PRIOR TO USE AND OCCUPANCY PERMIT. FAILURE TO ESTABLISH THE WOODLAND REPLACEMENT, REFORESTATION OR AFFORESTATION WITHIN THE PRESCRIBED TIME FRAME WILL RESULT IN THE FORFEITURE OF THE REFORESTATION BOND AND/OR A VIOLATION OF THIS PLAN INCLUDING THE ASSOCIATED \$1.50 PER SQUARE FOOT PENALTY UNLESS A WRITTEN EXTENSION IS APPROVED BY THE DER INSPECTOR.
- THE DER INSPECTOR SHALL BE NOTIFIED PRIOR TO SOIL PREPARATION OR INITIATION OF ANY TREE PLANTING ON THIS SITE.
- RESULTS OF SURVIVAL CHECKS FOR ALL TREE PLANTINGS SHALL BE REPORTED TO THE DER INSPECTOR FOR THE SITE AND M-NCPPC, ENVIRONMENTAL PLANNING SECTION.
- PRIOR TO THE ISSUANCE ON ANY PERMIT THE CONTRACTOR RESPONSIBLE FOR SOIL PREPARATION, SITE PREPARATION, TREE PLANTING AND TREE MAINTENANCE MUST BE IDENTIFIED.

NAME: BUSINESS NAME: ADDRESS: PHONE NUMBER:



DSP08033-01

APPROVED PLAN

M.N.C.P. & P.C. APPROVALS

PROJECT NAME: FAIRWOOD OFFICE PARK I & II

PROJECT NUMBER: DSP 08033-01

For conditions of Approval see Site Plan Cover Sheet or Approval Sheet

The Revisions Listed Below Apply to this Sheet

Approval or Revision #	Approval Date	Reviewer's Signature	Certification Date
01	5-18-10	J.S. 26	05/18/09

M-NCPPC

Prince George's County Planning Department

Environmental Planning Section

APPROVAL

TREE CONSERVATION PLAN

TCP II 067-08

APPROVED BY: MEGAN K. REISER DATE: 08/11/09

01	
02	
03	
04	
05	

			REVISIONS	
			DATE	DESCRIPTIONS
DESIGNED	KW	01/11	DATE	
DRAWN	KO	01/11	09/08 TTG	REV. PLAN TO INCLUDE ZOGLO/FAIRWOODS OFFICE PARK II
			12/08 TTG	ADDRESS SCD COMMENTS.
CHECKED	KLM	01/11	01/09 TTG	REVISED PER CONDITIONS OF RESOLUTION PGCPB NO. 08-173
			03/09 TTG	RESPOND TO SCD COMMENTS DATED 10/22/2008
			04/09 TTG	REVISED PER DPW&T COMMENTS
APPROVED	GTH	01/11	06/09 TTG	REVISED PER DRD & ENVIRONMENTAL PLANNING COMMENTS
			12/10 TTG	REVISED PER PLANNING BOARD CONDITIONS DATED 4/27/10

CALL "MISS UTILITY"

TELEPHONE: 1-800-257-7777 FOR UTILITY LOCATIONS AT LEAST 48 HOURS BEFORE BEGINNING CONSTRUCTION.

THE TECH GROUP, INC.

ENGINEERS - PLANNERS - SURVEYORS

TELECOMMUNICATIONS - ENVIRONMENTAL

LANDSCAPE ARCHITECTURE

WWW.TECHGROUPINC.NET

1120 Benfield Blvd.
Suite C
Millersville, Maryland 21108
Ph. (410) 987-3450
Fax (410) 987-3457



OWNER/DEVELOPER

RIDGELY OFFICE PARK, LLC

2200 DEFENSE HWY. STE 101
CROFTON, MD 21114
PHONE (301) 261-6700
FAX (301) 858-0722
ATTN: RUSSELL BAKER

OWNER/DEVELOPER

FAIRWOODS OFFICE PARK, LLC

2200 DEFENSE HWY. STE 101
CROFTON, MD 21114
PHONE (301) 261-6700
FAX (301) 858-0722
ATTN: RUSSELL BAKER

TCP TYPE-II DETAILS AND NOTES

FAIRWOODS OFFICE PARK I & II

(FORMERLY KNOWN AS ZOGLO COMMERCIAL)

PRINCE GEORGE'S COUNTY MARYLAND

14th DISTRICT

TAX MAP 45 PARCEL 74

SCALE: 1" = 100' DATE: JANUARY 2011 TTG PROJECT No. 505086 SHEET 7 OF 7