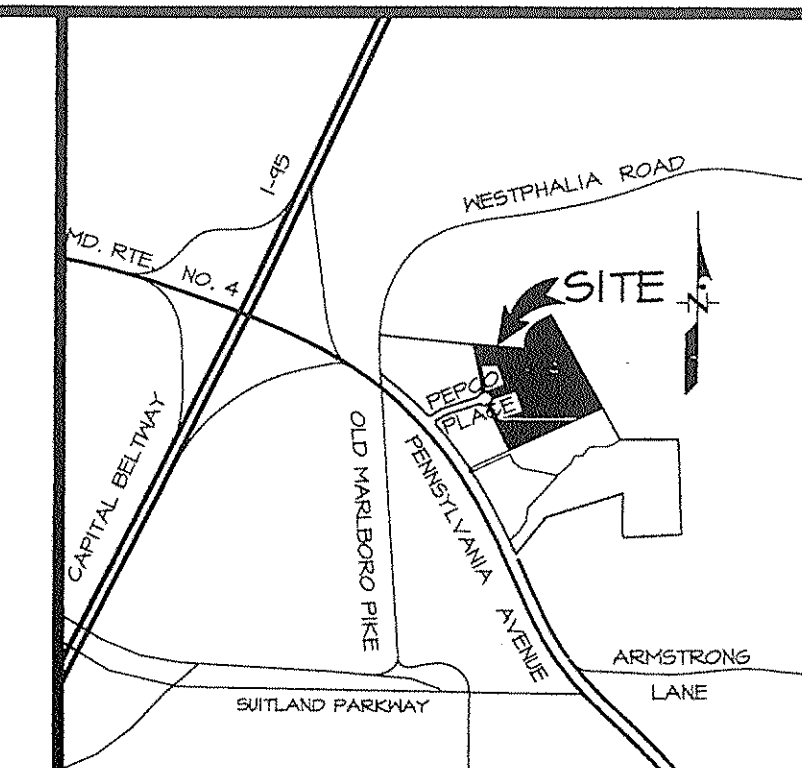


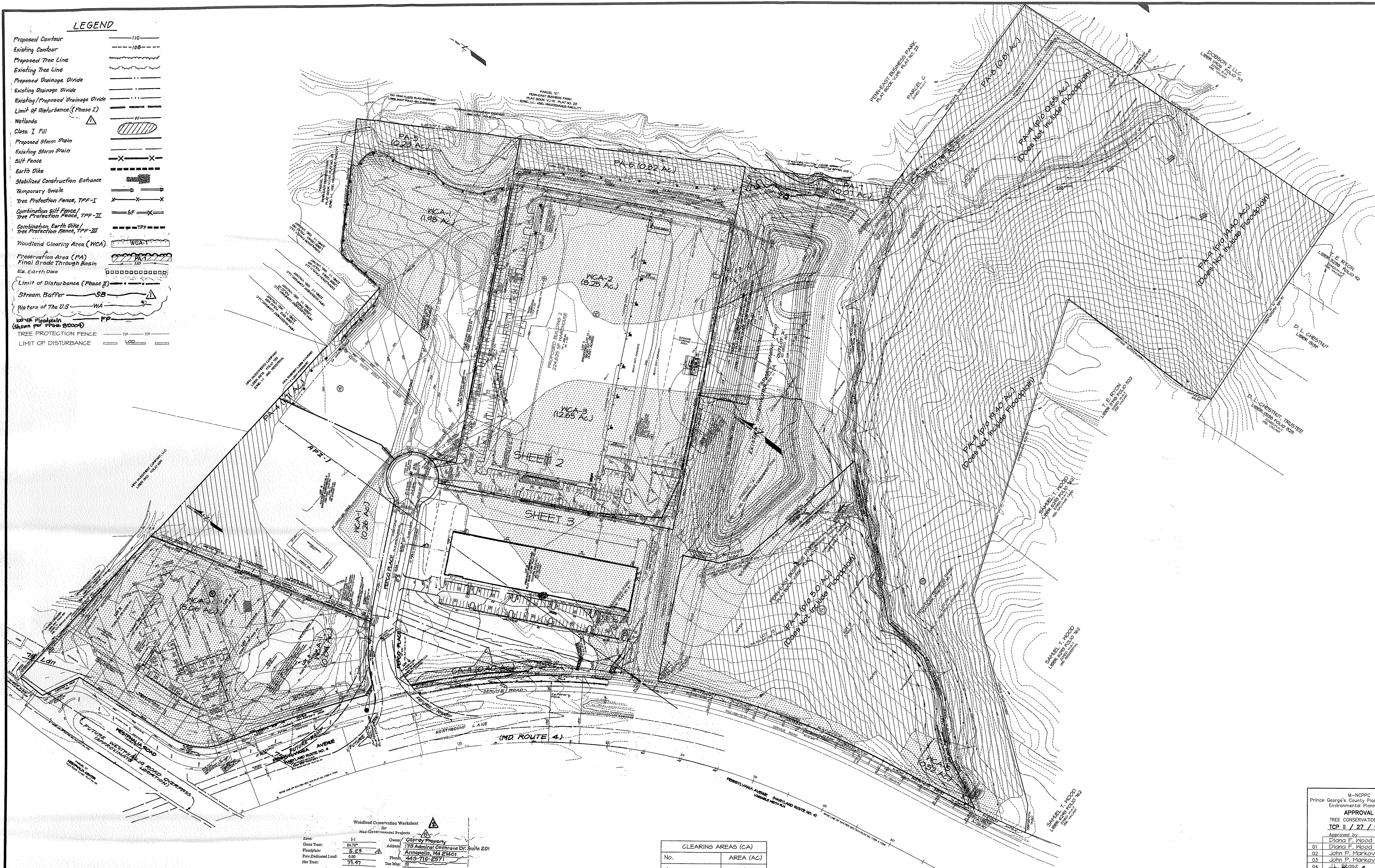
LEGEND

Proposed Contour	_____ 110 _____
Existing Contour	_____ 105 _____
Proposed Tree Line	~~~~~
Existing Tree Line	~~~~~
Proposed Drainage Divide	~~~~~
Existing Drainage Divide	~~~~~
Existing/Proposed Drainage Divide	~~~~~
Limit of Disturbance (Phase I)	=====
Wetlands	_____
Class I Fill	_____
Proposed Storm Drain	=====
Existing Storm Drain	=====
Silt Fence	===== X X =====
Earth Dike	_____
Stabilized Construction Entrance	=====
Temporary Swale	=====
Tree Protection Fence, TPF-I	X X X X X
Combination Silt Fence/ Tree Protection Fence, TPF-II	SF X X
Combination, Earth Dike/ Tree Protection Fence, TPF-III	===== TPF =====
Woodland Clearing Area (WCA)	WCA
Preservation Area (PA) Final Grade Through Basin	110
Ex. Earth Dike	110
Limit of Disturbance (Phase I)	=====
Stream Buffer	===== SB =====
Waters of The U.S.	===== WA =====
100% Floodplain (Shaded for Phase I/2000)	FP
TREE PROTECTION FENCE	===== TP ===== TP
LIMIT OF DISTURBANCE	===== LOD =====



VICINITY MAP
SCALE: 1" = 2000'

M.N.C.P.P.C. APPROVALS			
PROJECT NAME: PENN EAST BUSINESS PARK			
PROJECT NUMBER: DSP-98016			
For Conditions of Approval see Site Plan Check Sheet or Approval Sheet The Revisions Listed Below apply to this Sheet.			
Approval # Condition #	Approval Date	Reviewer's Signature	Certification Date
O1	5/27/04	L.S.	8/30/04
O2			
O3			
O4	2/10/06	N.R.	2/15/06
O5	5/02/07	C.L.	5-11-07
d7	4-15-08	C.L.	4-23-08



Woodland Conservation Worksheet
for
Non-Governmental Property

Zone: I-1 Owner: Osborn Property

Gross Acre: 84.70% Address: 175 Admiral Cochrane Dr. Suite 20

Floorspace: 5.23 A Annapolis, MD 21401

Pre-Dedicated Land: 0.00 Phone: 443-710-2571

Net Acre: 77.47 Permit: 20

Subdivision/Block/Lot: Two 5's, 11's, 12's, 14's & Outer A.
from Salt Springs Park

Woodland Conservation Calculations:

	Net Treat (ares)	Phlocting (ares)
Existing Woodland	77.82	4.85
WCT (15% x Net Treat)	11.67	
Smaller of a or b	11.67	
Woodshed above WCT (a-b) (0.0)	0.00	
Woodland Chained	11.67	
Smaller of a or b	11.67	8.57
Clearing below WCT (a-b) (0.0)	0.00	
Replacement (x 1.58)	18.45	
(a x 2.0)	23.34	
Adaptation: (E replant)	0.00	
Plot net treat (a-b) (0.0)	0.00	
Woodland Conservation Required: $(a-b) \times (1+2)$	23.34	
Woodland Conservation Provided:		
Woodland Preservation:	23.34	
Woodland Rehabilitation/Replacement:	0.00	
Adaptation:	0.00	
Ann approved for fee-in-lieu	0.00	
Off-site Offset:	0.00	(30.00/23.34) x 0.00
Offset or Mitigation Required:	0.00	
Woodland Conservation Provided (omit exp or increased treat net above)	23.34	4.85

Additional Woodland retained but not part of any requirements: 4.71 acres
Break-even point (c)(2)(4)(b) = 24.90
Plan Certified by: _____
Name: Megan Keiser
co B&B Dyr Assoc.
Address: 11721 Woodmore Road, Suite 200
Mitchellville, MD 20721
License: COMAR 08.10.06.04

1 WCT is the Woodland Conservation Threshold as shown in Part 5 of the Prince George's
County Woodland Conservation and Tree Preservation Policy Document.
2 All entries in parentheses are mathematical formulae.
3 Excluding gross tract area and woodland area prior to clearing under TCER/2791 approved 2/6/91, Ben Dyer
Associates, Inc. Dwg. No. 40-0017-Z.
4 Woodland/210/121

CLEARING AREAS (CA)	
No.	AREA (AC)
1	7.39
2	9.04
3	12.65
4	0.40
5	0.52
Prior Clearing Per Per TCPII/27/91	17.83
TOTAL	47.83

PRESERVATION AREAS (PA)		
No.	AREA (AC)	FLOODPLAIN (AC)
4	1.71	0.00
5	0.23	0.28
6	0.82	0.15
7	0.07	0.14
8	0.81	0.04
9	25.05	4.93
TOTAL	28.69	5.54

TREE CONSERVATION PLAN - TYPE II TABLE OF CONTENTS				
Sheet Type	Drawing No.	DSP No.	DSP Sheet No.	TCP Sheet No.
Title Sheet & Composite Plan	6-00-42-Z- 54.002-Z	98016	Sheet 1 of 6	Sheet 1 of 5
TCP-II Details	6-00-50-Z	-----	-----	Sheet 2 of 5
DSP Lots 11, 12 & 15, Bk. A	6-00-52-Z (6-00-70-Z)	98016-01	Sheet 1 of 2	Sheet 3 of 5
DSP Lots 11, 12 & 15, Bk. A	6-00-54-Z	98016-01	Sheet 2 of 2	Sheet 4 of 5
DSP Lots 5-8, Block A	6-00-67-Z	98016-02	Sheet 1 of 1	Sheet 5 of 5

M-NCPPC
Prince George's County Planning Department
Environmental Planning Section

APPROVAL

TREE CONSERVATION PLAN

TCP II / 27 / 91

	Approved by	DATE
	Diana F. Wood	2/6/91
01	Diana F. Wood	4/29/91
02	John P. Markovich	8/26/91
03	John P. Markovich	11/15/91
04	J. J. Goss	5/1/92
05	R. Shoulars	7/1/92

Note: The 05 revision to this TCP-II is for minor site plan changes completely within the development envelope of Lot 11. The Limits of Disturbance and Tree Conservation Worksheet are unaffected.

APPROVED PLAN

DS P98016-07

COMPOSITE
TREE CONSERVATION PLAN TYPE II

PENN-EAST BUSINESS PARK
SPAULDING ELECTION DISTRICT NO. 6
PRINCE GEORGE'S COUNTY, MARYLAND

PLAT REFERENCE: LOTS 11 & 12: PLAT BOOK VJ 186 PLAT No. C
LOT 15 PLAT BOOK VJ 191 PLAT No. 23
WSSC 200' SHEET : 205 SE 8
ADC MAP BK LOCATION: 19 F. 12

4-14-08		
DATE		
<i>M. Petroski</i>		
Michael Petroski Qualified Professional DOMAR 08.19.06.01	9/14/07	Mac. Minor Site Plan Changes to Lot II, Limits of the Woodland Conservation Partnership are unaffected.
	DATE	REVISION DESCRIPTION

MITCHELLVILLE, MARYLAND 20721

 BEN DYER ASSOCIATES, INC.
Engineers / Surveyors / Planners
TELEPHONE (301) 430-2000

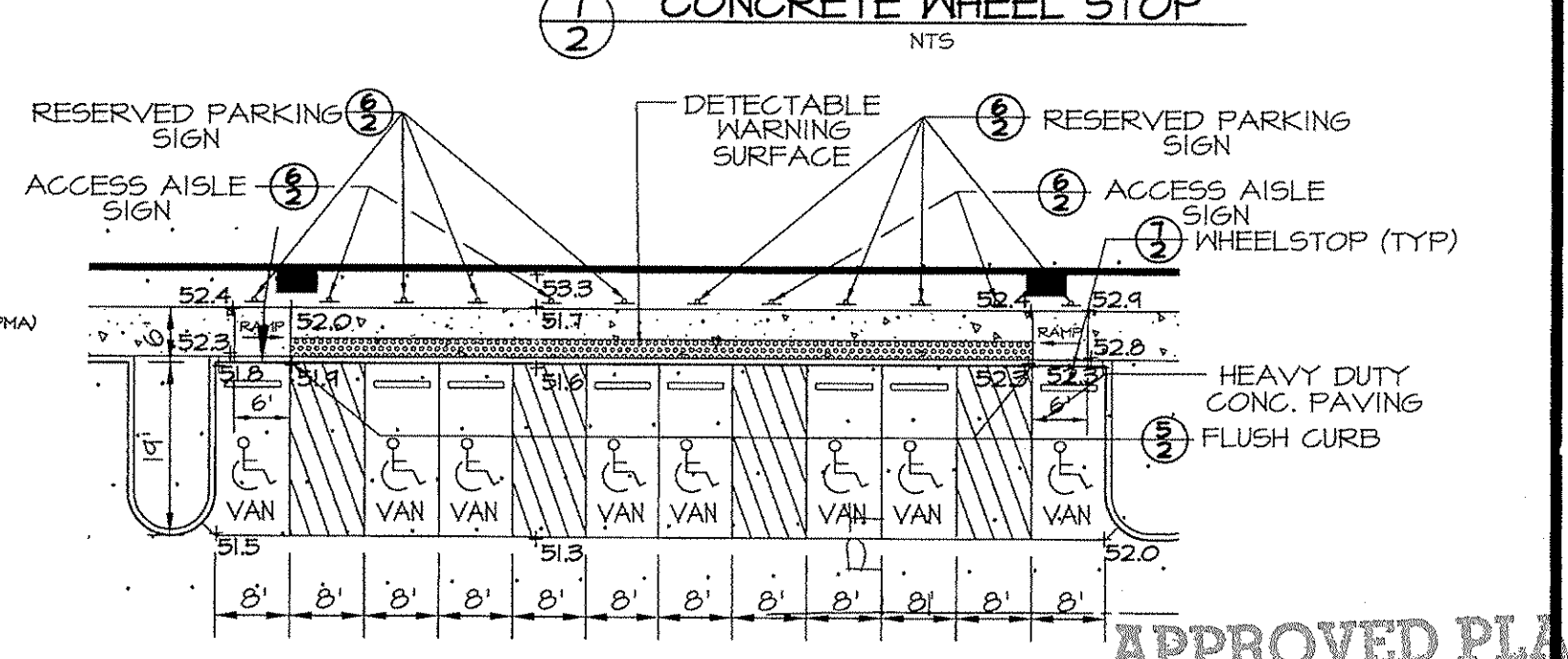
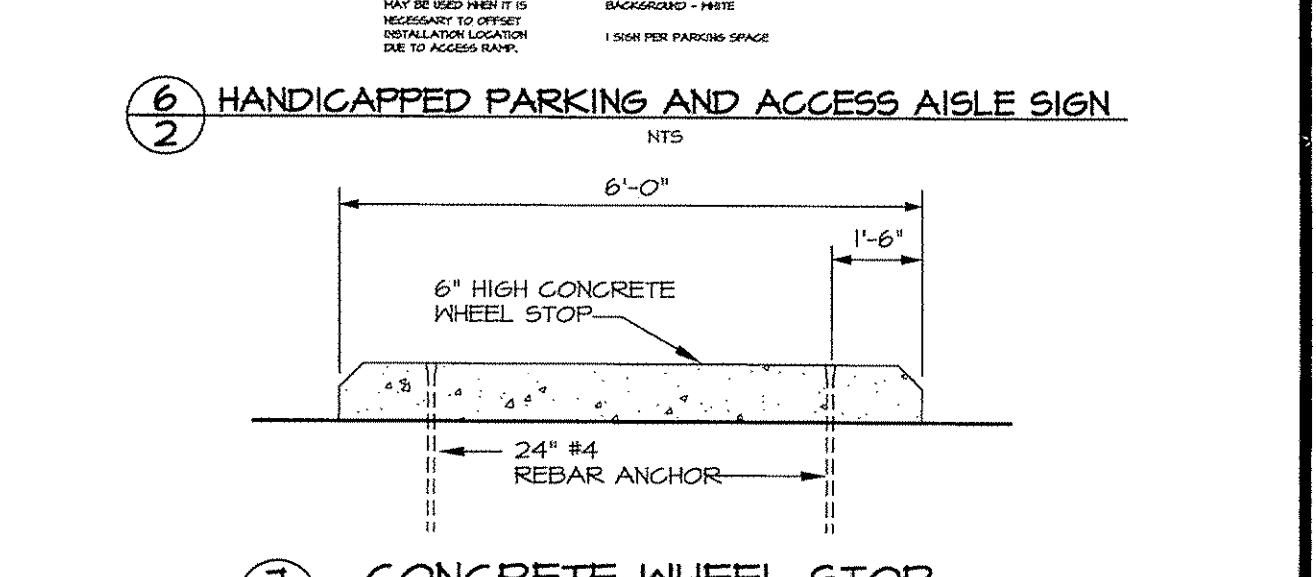
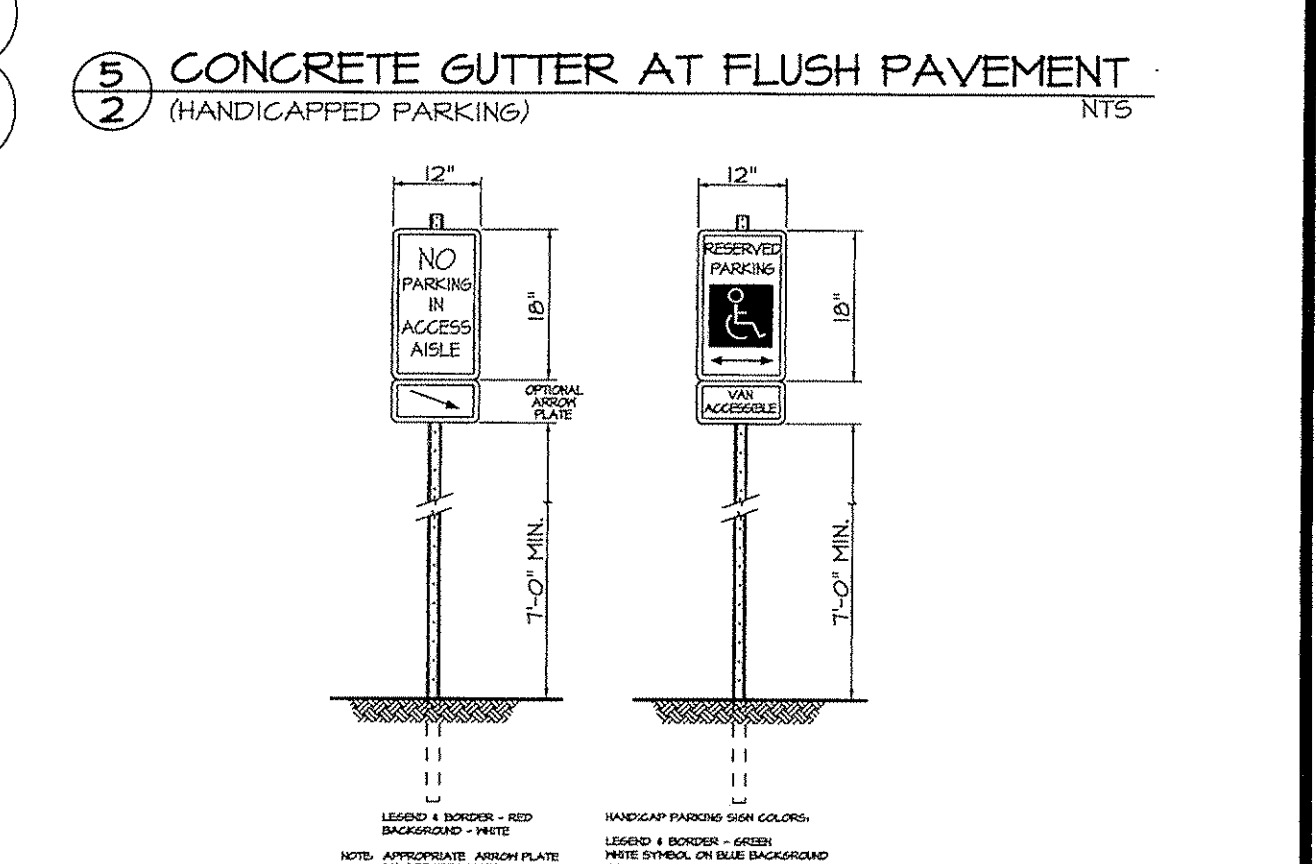
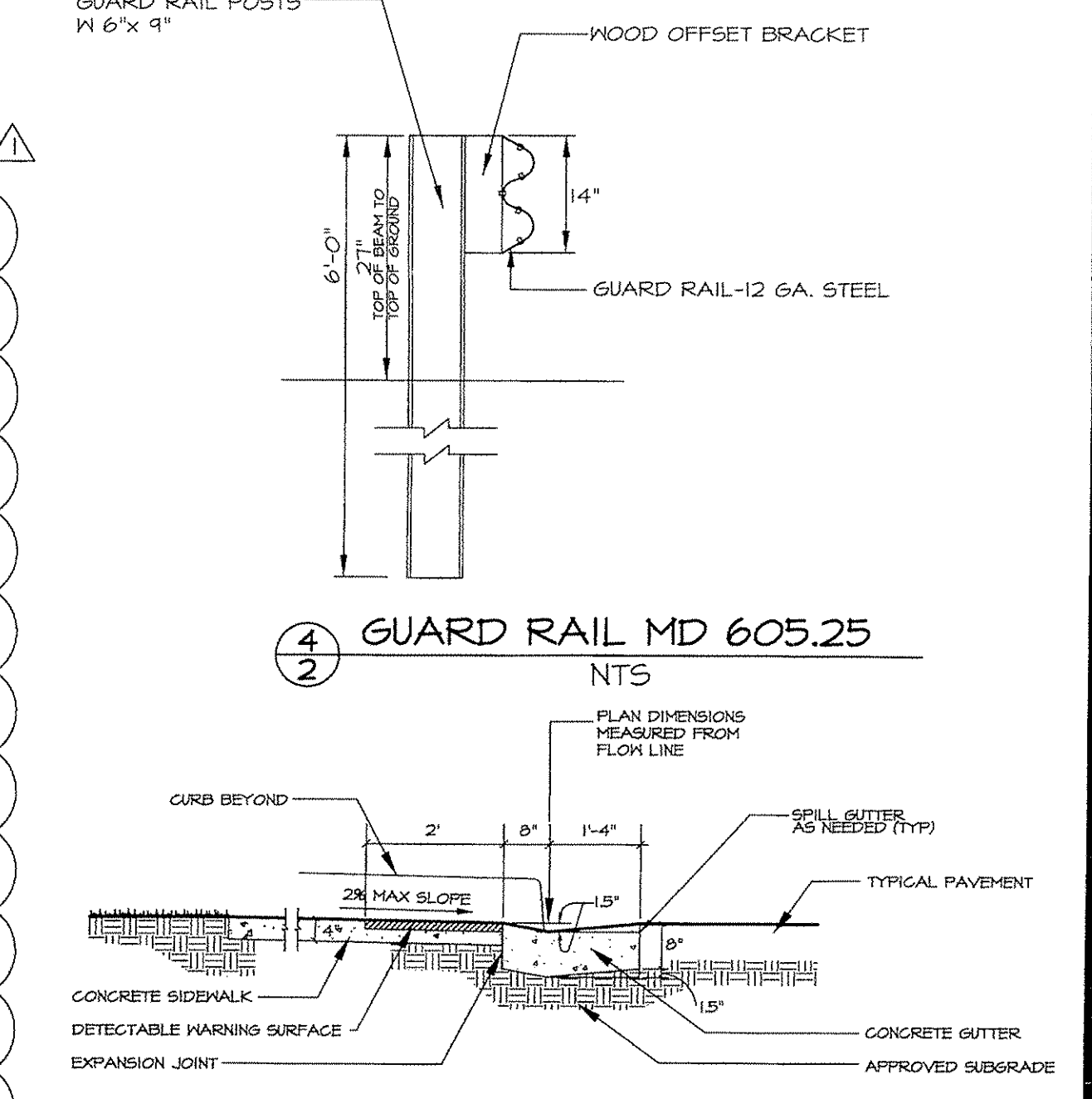
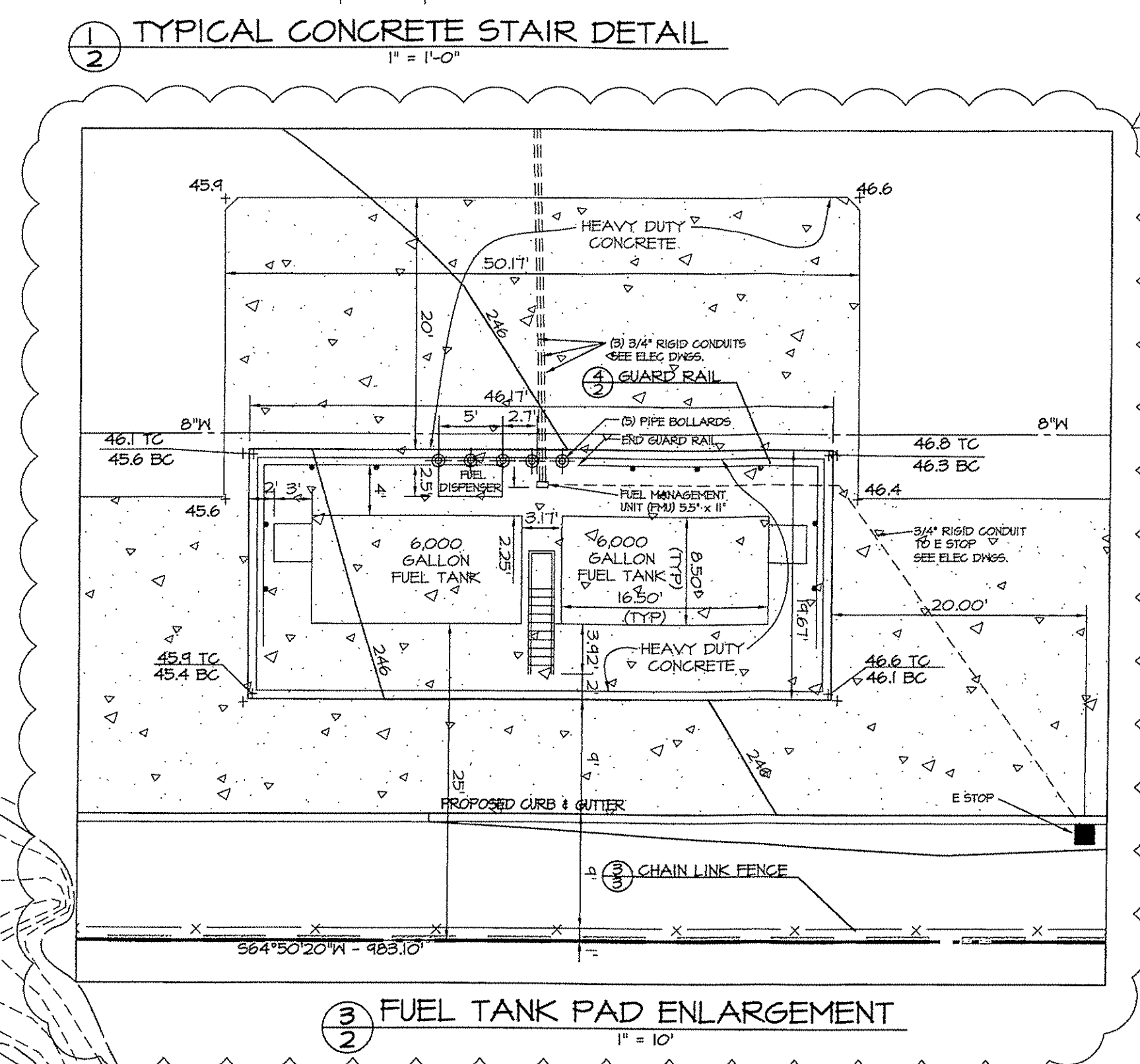
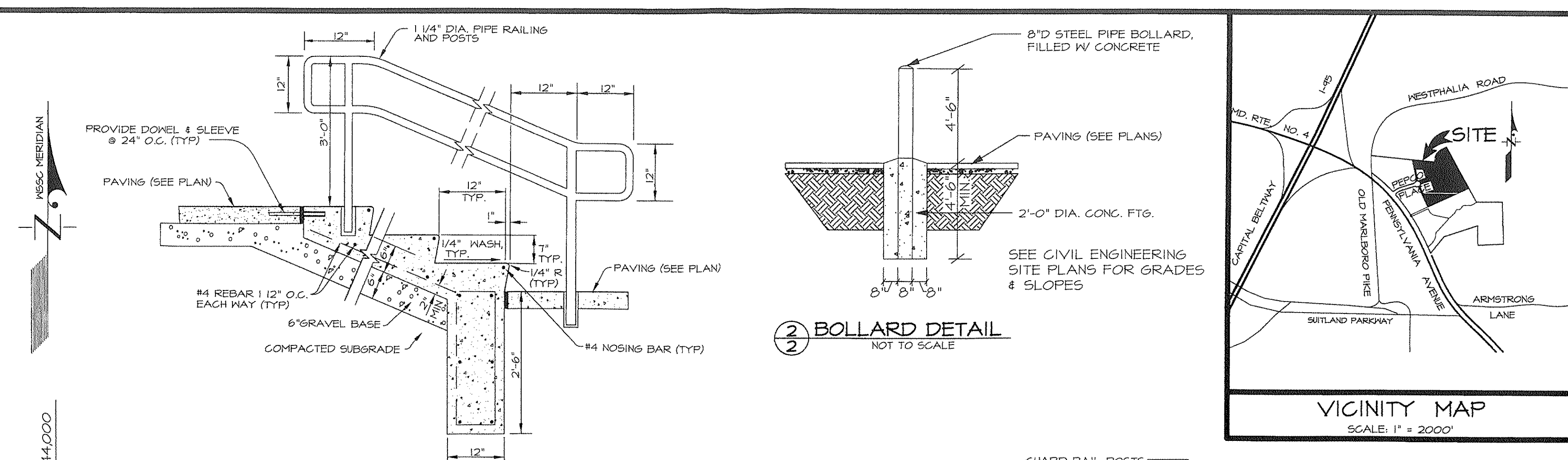
COPYRIGHT © 2007 BEN DYER ASSOCIATES, INC.

DRAWN BY DESIGNED BY CHECKED BY RECORD NO.
JIP MR MR J-8708

SCALE: 1" = 100'

DATE MAY 2007

ORIG. NO. 54.002-Z

[illegible]

M-NCPPC
Prince George's County Planning Department
Natural Resources Division

APPROVAL

TREE CONSERVATION PLAN

TCP II / 27 / 91

	Approved by	DATE
01		
02		
03		
04	J.L. Skocz	5-11-91
05	<i>[Signature]</i>	5/11/91
06		

Note: The OS revision to the TCP-II is for minor site plan changes completely within the development envelope of Lot II. The limits of disturbance and Tree Conservation Worksheet are unchanged.

4-14-08

DATE

8
2 TYPICAL HANDICAP PARKING DETAIL
SCALE: 1" = 20'

DS P98016-07

DETAILED SITE PLAN 1 OF 2

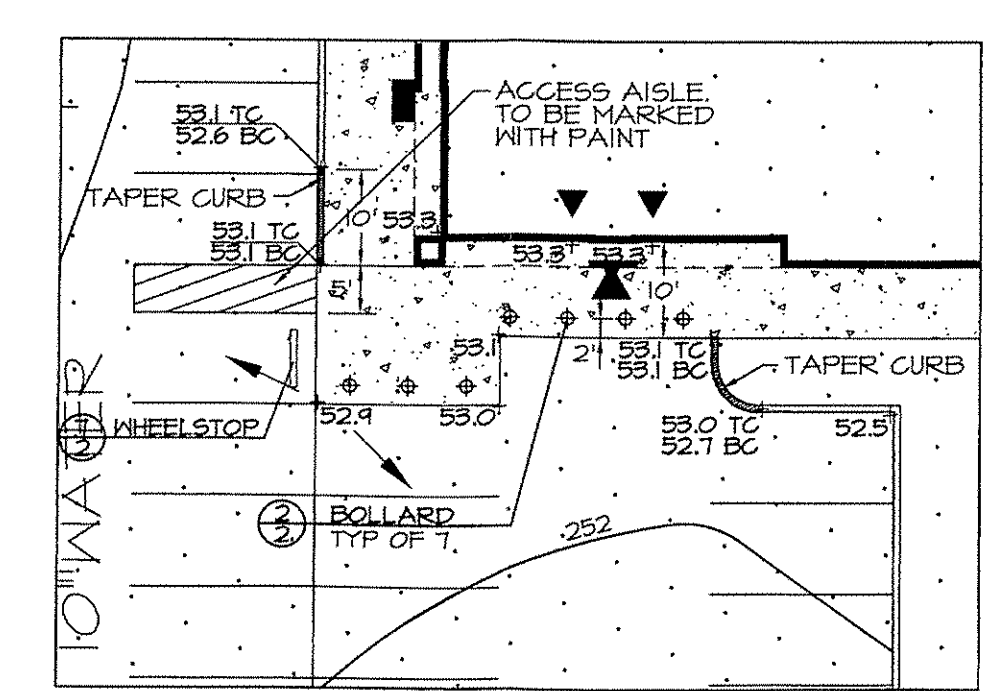
AND
TREE CONSERVATION PLAN TYPE - II

LOTS 11, 12 AND 15 - BLOCK A

PENN EAST BUSINESS PARK

SPAULDING DISTRICT NO. 6

PRINCE GEORGE'S COUNTY, MARYLAND



NOTE: SEE SHEET 1 OF 6 (B.D.A.I. DWGS. No. 6.0051-Z)
FOR GENERAL NOTES. SEE SHEET 4 OF 6 (B.D.A.I. DWGS.
No. 6.0054-Z) FOR IMPROVEMENTS ON LOT 12.

SUBTITLE 4, DIVISION 3 CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE REQUIREMENTS OF SUBTITLE 4, DIVISION 3
OF THE GEORGIA COUNTY BUILDING CODE AND THAT I HAVE INSPECTED THIS SITE AND
THAT DRAINAGE FLOWS FROM OTHER UNPLANNED PROPERTIES ON THIS SITE AND THIS SITE ON
OTHER DONNELL PROPERTIES HAVE BEEN ADDRESSED IN SUBSTANTIAL ACCORDANCE WITH APPLICABLE
CODES.

John R. Bowers R.L.A. #754 4-11-08

OWNER / APPLICANT
OSPREY PROPERTY GROUP
175 ADMIRAL COCHRANE DRIVE, SUITE 2
ANNAPOLIS, MD 21401
(410) 224-0100

Michael Petrakis
Qualified Professional
CMAA, 08-10-05-03

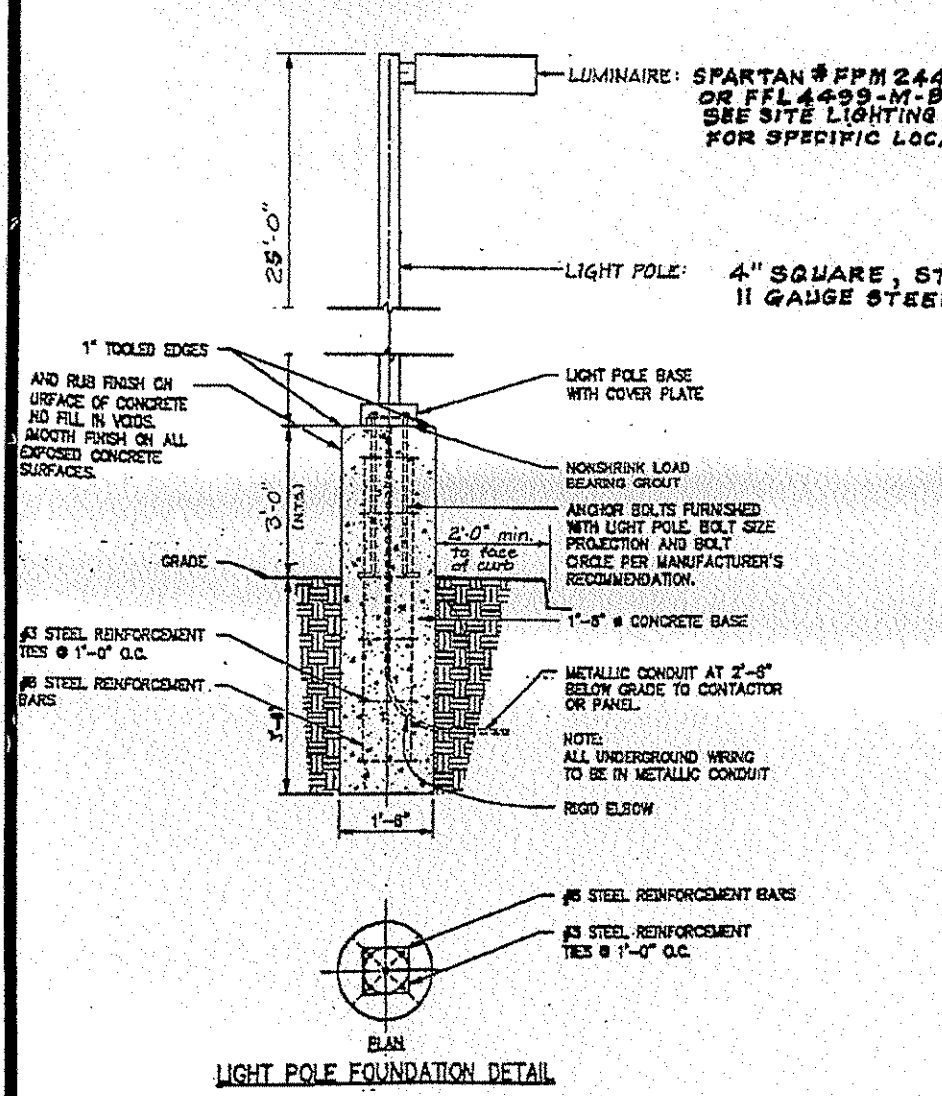
4-01	Rev. Pimp Island gen. & transfer pads; relocate fence; delete 3 priv. lot islands & driveway connection.	JB	 BEN DYER ASSOCIATES, INC. Engineers / Surveyors / Planners TELEPHONE (301) 430-2000
02-07	Add Appx. Sht to Set per Staff Comment	JB	
07-07	REV. LOTS II & 15	JB	
DATE	DESCRIPTION	BY	DRAWN BY DESIGNED BY CHECKED BY RECORD NO. PCN JB PW J-87082 SCALE 1" = 50' DATE 11/11/07 DWS. NO.

DATE	DESCRIPTION	BY
3-14-07	Misc. revisions to Lot 11, no changes to this sheet.	JB
3-02-07	Add Overall 10' to Penn East Business Park, relocate don holes to cover sheds for storage sheds per 501' comments.	JB
3-4-07	REMOVE LOTS 11 & 15, REVISE NOTES, ADD DETAILS	JB
10/21/04	Designate 19 Parking Spaces on Lot 12 as 'Future'	JB

DATE	DESCRIPTION	BY
10/21/04	Designate 19 Parking Spaces on Lot 12 as 'Future'	JB



NOTE: LIGHTS ARE SPARTAN #FPM 2440-M-BK OR #FPL 4499-M-BK. BUILDING-MOUNTED LIGHTS ARE SPARTAN #WSL 0440-M-BK. SEE SITE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION. ALL PROPOSED LIGHT FIXTURES ARE SHIELDED AGAINST GLARE DIRECTED UPWARDS, AND WILL NOT INTERFERE WITH PILOTS' VISION.

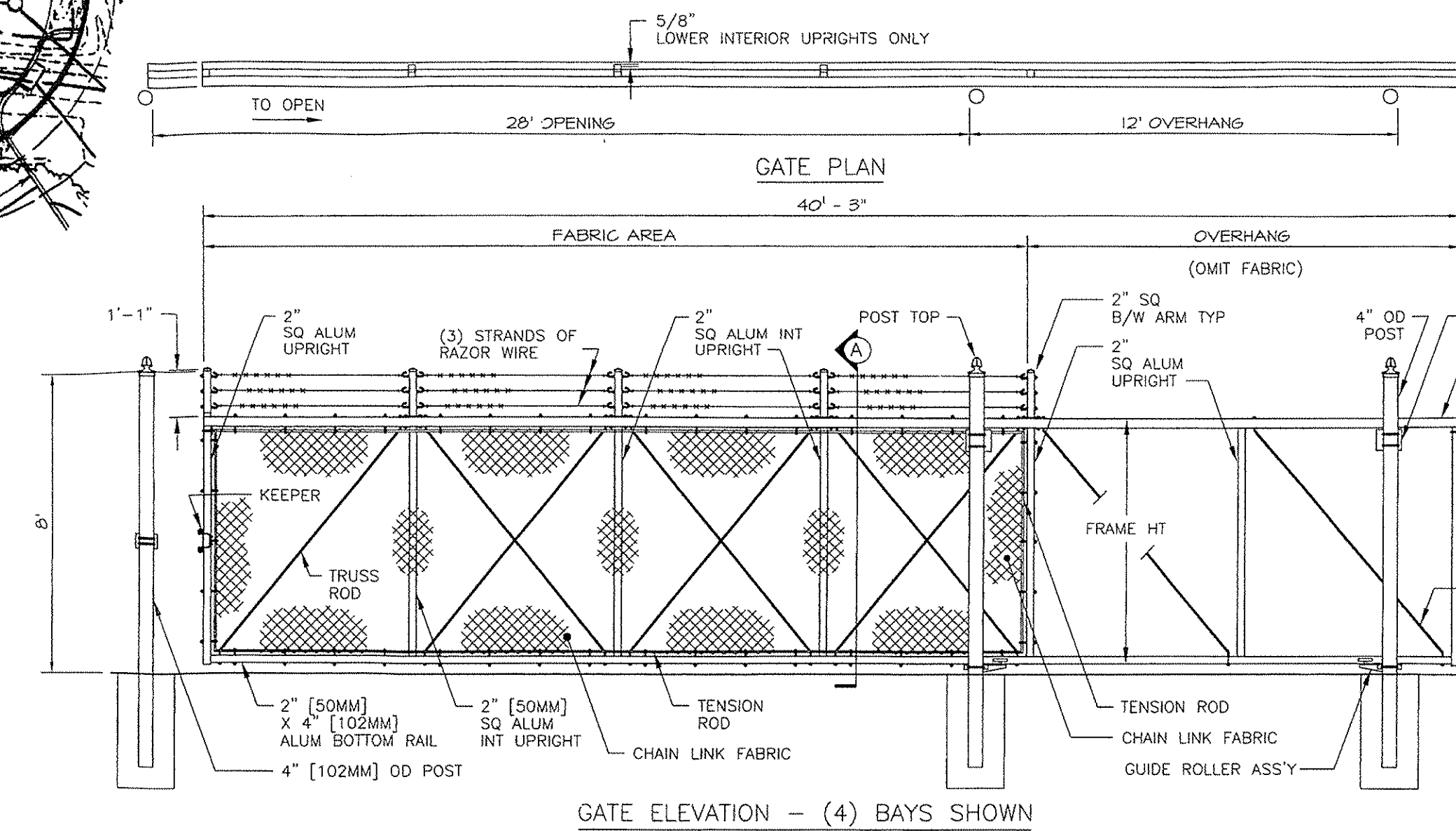


LEGEND	Existing	Proposed
Contour Line	100	100
Spot Elevation	100.1	100.1
Limit of Disturbance		
Concrete Curb/Gutter		
Standard Parking Spaces	(5)	(5)
Compact Parking Spaces	(4)	(4)
Handicapped Parking Spaces	(3)	(3)
Light Standard		
Stream Buffer	SB	SB

SEE BDAI DRAWING #6.00.51-Z (SHEET 1 OF 7) FOR GENERAL NOTES

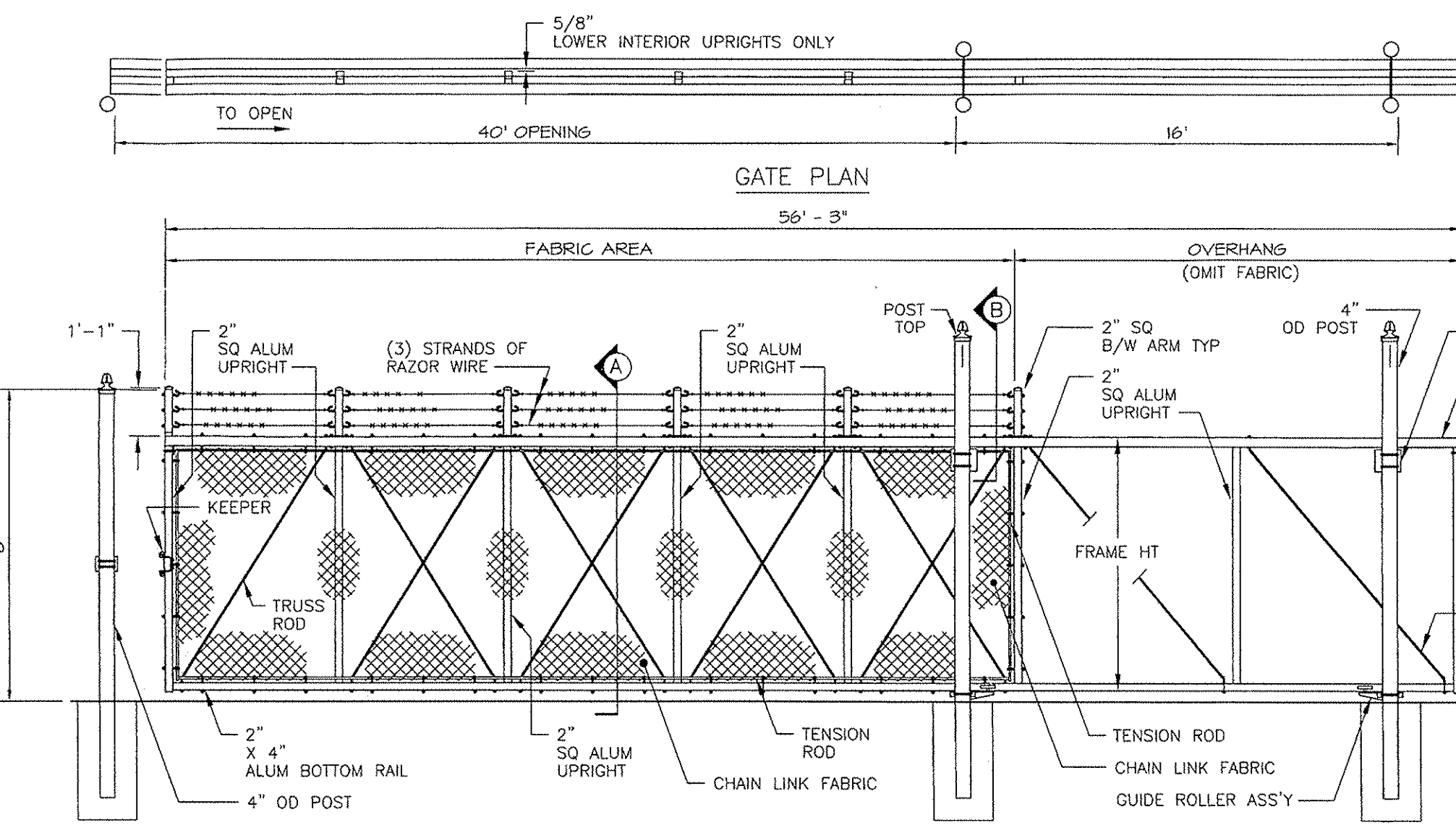
SEE BDAI DRAWING #6.00.70-Z (SHEET 3 OF 6) FOR SITE IMPROVEMENTS ON LOTS 11 & 15

NOTE: SEE STREET PAVING PLAN, B.D.A.I. DWG # 6.00.51-Z, FOR ALL PROPOSED IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY.



GATE ELEVATION - (4) BAYS SHOWN

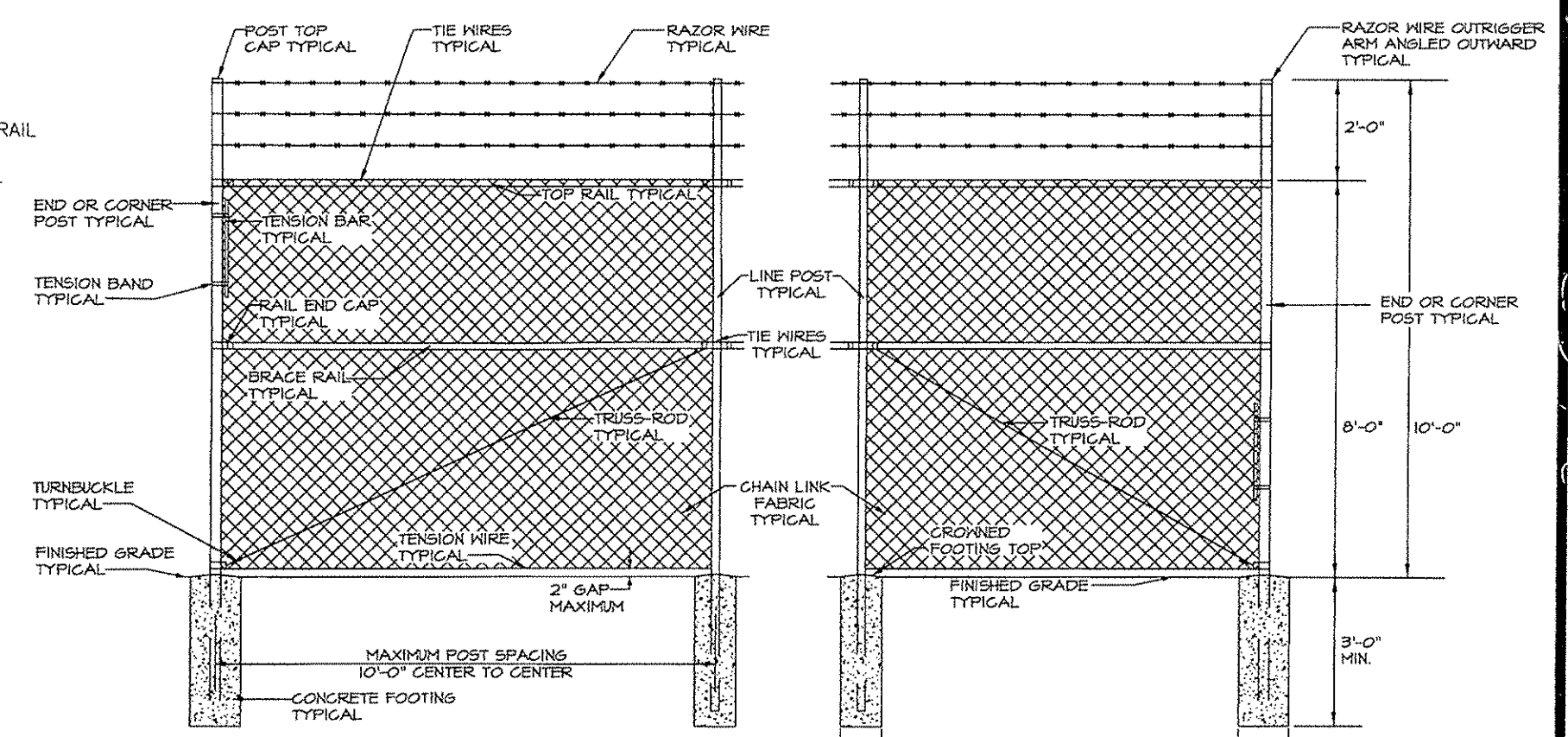
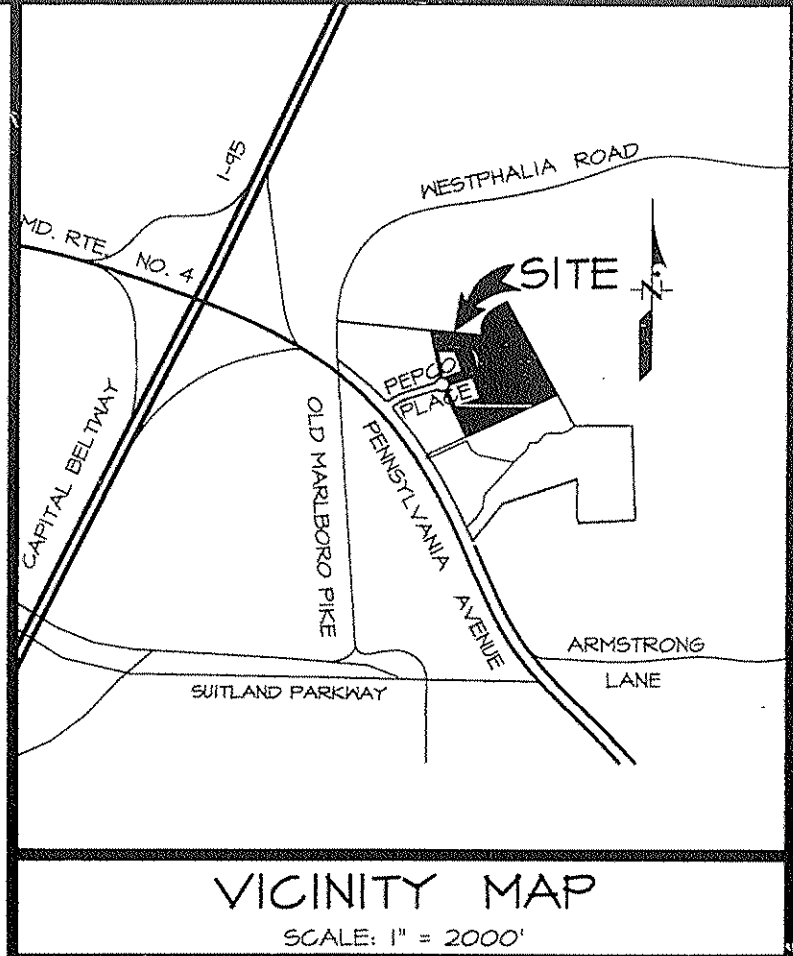
1. FOOTING WIDTH TO BE (4)X POST WIDTH. MIN DEPTH TO BE 36".
2. GATE TO BE MANUALLY OPERATED. VARY FOR ELECTRICALLY OPERATED GATES.



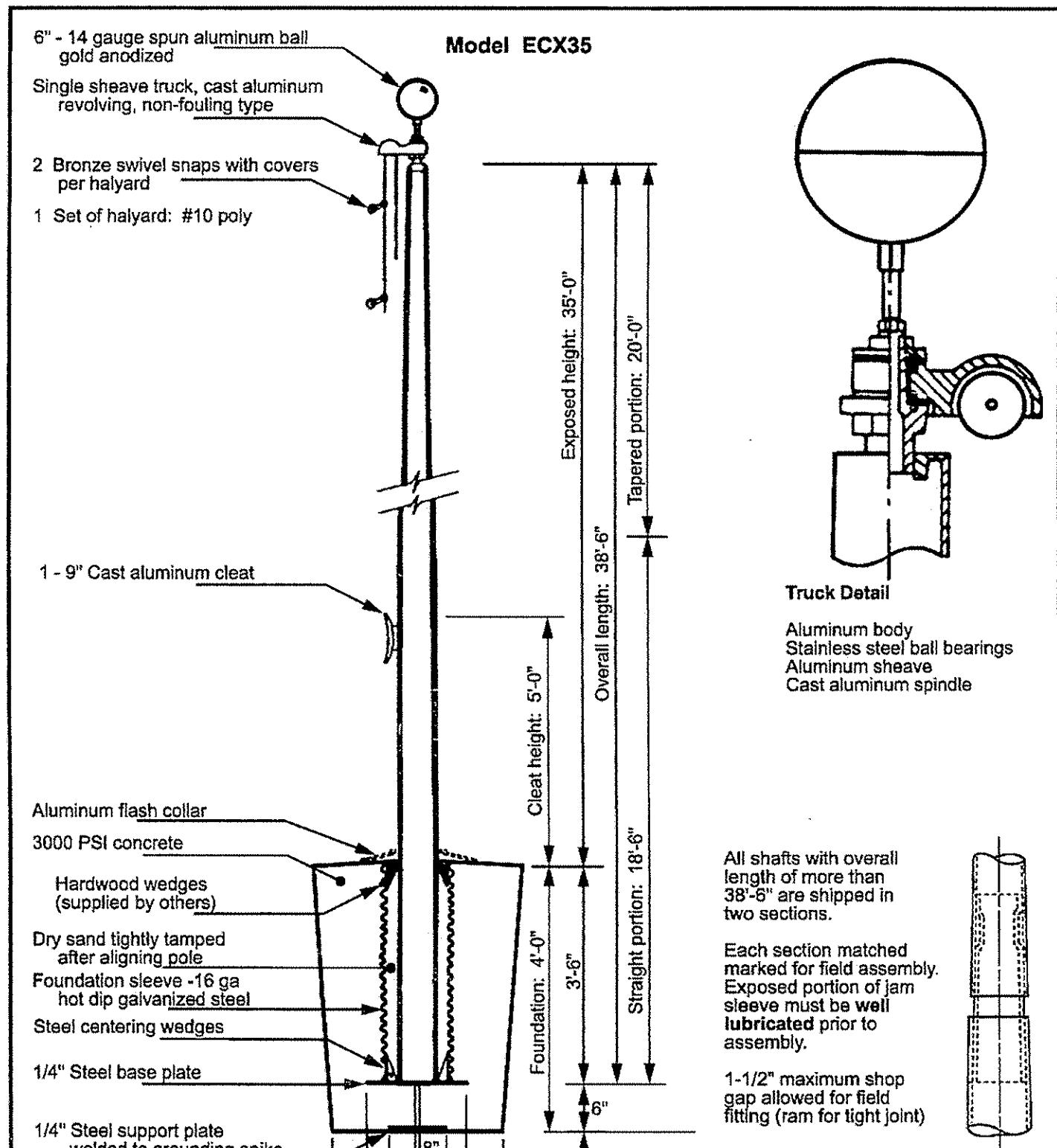
GATE ELEVATION - (5) BAYS SHOWN

1. FOOTING WIDTH TO BE (4)X POST WIDTH. MIN DEPTH TO BE 36" [914MM].
2. GATES TO BE ELECTRICALLY OPERATED. HARDWARE WILL VARY.

M.N.C.P.P.C. APPROVALS			
PROJECT NAME: Penn East Business Park			
PROJECT NUMBER: DSP 98016			
For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet. The Revisions Listed Below Apply to this Sheet.			
Approval or Revision #	Approval Date	Reviewer's Signature	Certification Date
01	5-22-04	L.S.	5-26-04
02	5-10-07	C.L.	5-11-07
07	4-15-08	C.L.	4-23-08

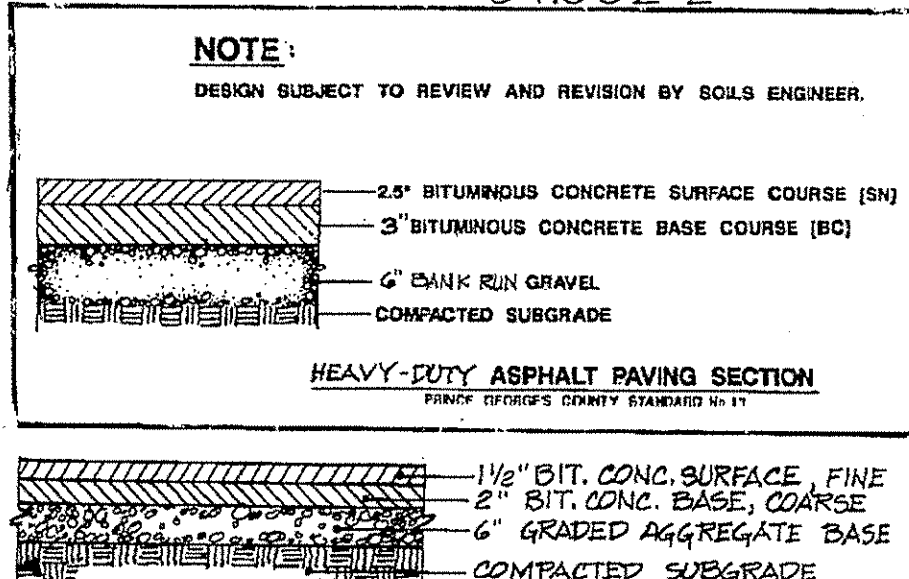


CHAIN LINK FENCE



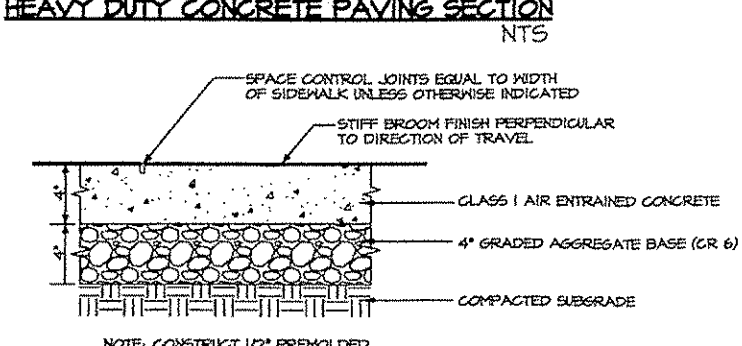
FLAGPOLE DETAIL

FOR REMAINING TCP SEE TCP II OVERALL SHEET (Drawing No 6.00.70-Z)



HEAVY-DUTY ASPHALT PAVING SECTION

NOTE: THE CONTRACTOR SHALL PROVIDE SPILL CURB AND GUTTER IN AREAS WHERE THE ADJOINING FINISHED SURFACE SLOPES AWAY FROM THE CURB. THE SLOPE OF A SPILL GUTTER PAN SHALL BE EQUAL TO THE SLOPE OF THE ADJOINING FINISHED SURFACE.



CONCRETE SIDEWALK PAVING SECTION

NOTE: CONSTRUCT EXPANSION JOINTS AT 100' INTERVALS, AT BEGINNING AND END OF SHORT RADIUS (LESS THAN 100' CURVES), AT STRUCTURES, AND AT MID POINT OF CURB RETURN USING 1/2" PREFORMED EXPANSION JOINT FILLER, NON EXTRUDING.

CONCRETE CURB & GUTTER

NOTE: THE CONTRACTOR SHALL PROVIDE SPILL CURB AND GUTTER IN AREAS WHERE THE ADJOINING FINISHED SURFACE SLOPES AWAY FROM THE CURB. THE SLOPE OF A SPILL GUTTER PAN SHALL BE EQUAL TO THE SLOPE OF THE ADJOINING FINISHED SURFACE.

GRAVEL PAVING SECTION

NOTE: CONSTRUCT EXPANSION JOINTS AT 100' INTERVALS, AT BEGINNING AND END OF SHORT RADIUS (LESS THAN 100' CURVES), AT STRUCTURES, AND AT MID POINT OF CURB RETURN USING 1/2" PREFORMED EXPANSION JOINT FILLER, NON EXTRUDING.

GRAVEL PAVING SECTION

NOTE: CONSTRUCT EXPANSION JOINTS AT 100' INTERVALS, AT BEGINNING AND END OF SHORT RADIUS (LESS THAN 100' CURVES), AT STRUCTURES, AND AT MID POINT OF CURB RETURN USING 1/2" PREFORMED EXPANSION JOINT FILLER, NON EXTRUDING.

DATE: 4-2-04

FOR REMAINING TCP SEE TCP II OVERALL SHEET (Drawing No 6.00.70-Z)

REVISIONS:

DATE	DESCRIPTION	BY	DATE	DESCRIPTION	BY
5-22-04	REVISION PER PLANNING BOARD APPROVAL	JB	5-22-04	REVISION PER PLANNING BOARD APPROVAL	JB
5-10-07	REVISION PER PLANNING BOARD APPROVAL	JB	5-10-07	REVISION PER PLANNING BOARD APPROVAL	JB
4-15-08	REVISION PER PLANNING BOARD APPROVAL	JB	4-15-08	REVISION PER PLANNING BOARD APPROVAL	JB

OWNER / APPLICANT: ADMIRAL COCHRANE DRIVE, SUITE 201, ANNAPOLIS, MD 21401 (410) 224-0100

DESIGNER: BEN DYER ASSOCIATES, INC. 11721 WOODMOOR ROAD, MITCHELLVILLE, MD 20701 (301) 438-8225

DATE: 12-9-03

PROJECT: PENN EAST BUSINESS PARK

SPAUDLING DISTRICT NO 6

PRINCE GEORGE'S COUNTY MARYLAND

GRAPHIC SCALE: 1" = 50'

PRINCE GEORGE'S COUNTY STREET MAP 19, GRID 8 F, 12, 13, 14, 15

TAX MAP 20 - GRID 25, 13, 2, C-10, 2, C-3, 10, 2

WSSC GRID: 205 SE 8 1 204 SE 8

PLAT REFS: LOTS 11 & 12, PLAT BOOK VJ 186 PLAT NO 6

LOT 15: PLAT BOOK VJ 191 PLAT NO 25

SHEET 4 OF 7

REVISIONS:

DATE	DESCRIPTION	BY	DATE	DESCRIPTION	BY
5-22-04	REVISION PER PLANNING BOARD APPROVAL	JB	5-22-04	REVISION PER PLANNING BOARD APPROVAL	JB
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DATE: 12-9-03

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DATE: 12-9-03

PROJECT: PENN EAST BUSINESS PARK

SPAUDLING DISTRICT NO 6

PRINCE GEORGE'S COUNTY MARYLAND

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DATE: 12-9-03

PROJECT: PENN EAST BUSINESS PARK

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DATE: 12-9-03

PROJECT: PENN EAST BUSINESS PARK

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4-15-08	REVISION PER PLANNING BOARD APPROVAL	JB	4-15-08	REVISION PER PLANNING BOARD APPROVAL	JB

DATE: 12-9-03

PROJECT: PENN EAST BUSINESS PARK

SPAUDLING DISTRICT NO 6

PRINCE GEORGE'S COUNTY MARYLAND

GRAPHIC SCALE: 1" = 50'

PRINCE GEORGE'S COUNTY STREET MAP 19, GRID 8 F, 12, 13, 14, 15

TAX MAP 20 - GRID 25, 13, 2, C-10, 2, C-3, 10, 2

WSSC GRID: 205 SE 8 1 204 SE 8

PLAT REFS: LOTS 11 & 12, PLAT BOOK VJ 186 PLAT NO 6

LOT 15: PLAT BOOK VJ 191 PLAT NO 25

SHEET 4 OF 7

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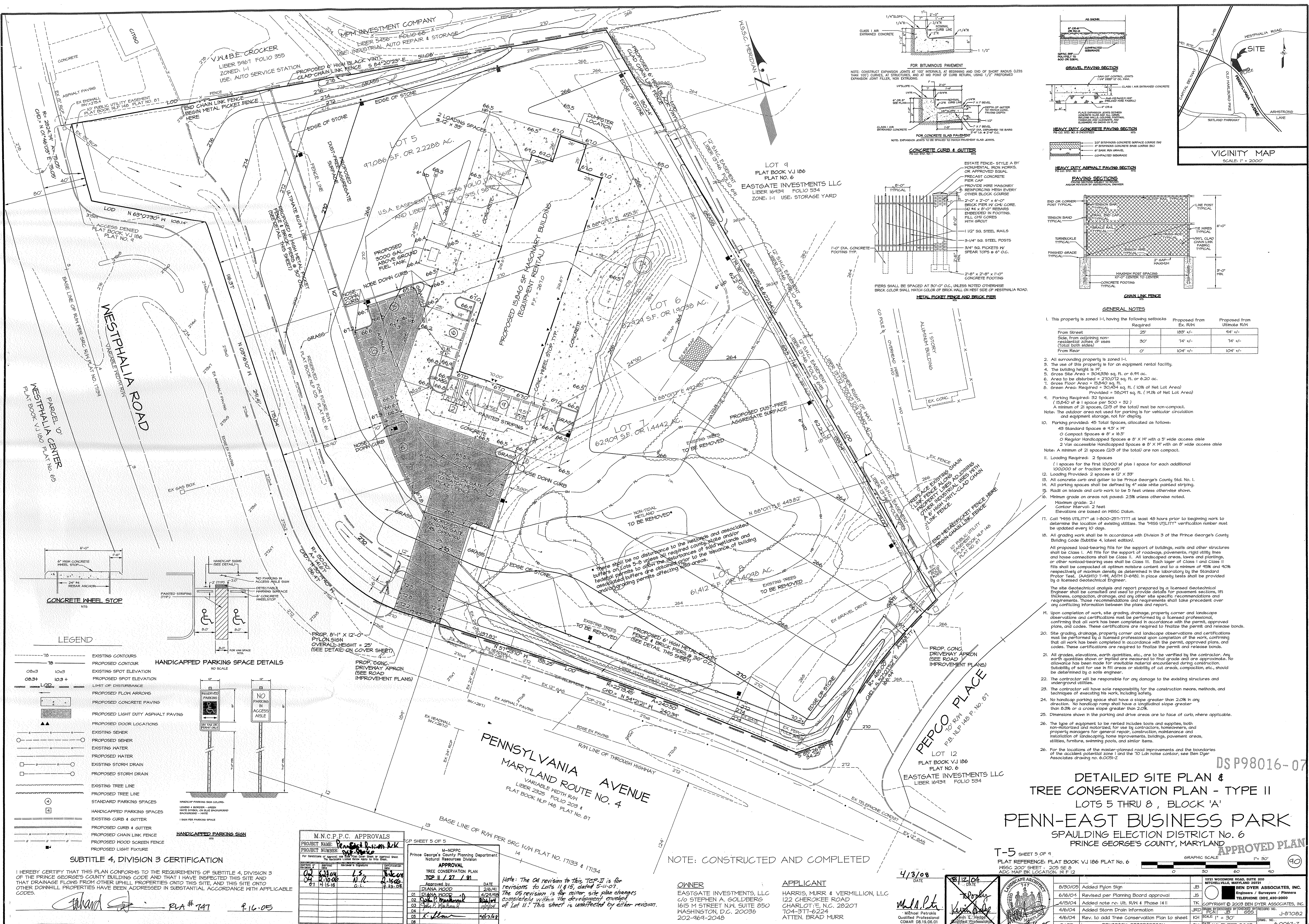
PROJECT: PENN EAST BUSINESS PARK

SPAUDLING DISTRICT NO 6

PRINCE GEORGE'S COUNTY MARYLAND

GRAPHIC SCALE: 1" = 50'

PRINCE GEORGE'S COUNTY STREET MAP 19, GRID 8 F, 12, 13, 14, 1



1. Cutting or clearing of woodland not in conformance with this Plan or without the expressed written consent of the Planning Director or designee shall be subject to a \$1.50 per square foot mitigation fee.
2. The Department of Environmental Resources (DER) Inspectors Office, must be contacted prior to the start of any work on the site to address implementation of Tree Conservation Measures shown on this Plan.
3. Property owners shall be notified by the Developer or Contractor of any Woodland Conservation Areas (Tree Save Areas, Tree, Reforestation Areas, Afforestation Areas, or Selective Clearing Areas) located on their lot or parcel of land and the associated fines for unauthorized disturbances in these areas. Upon the sale of the property, the owner/developer or owners representative shall notify the purchaser of the property of any Woodland Conservation Areas.
4. All appropriate bonds will be posted with the Building Official prior to the issuance of any permits. These bonds will be retained as surety by the Building Official until all required activities have been satisfied. Three copies of the bonds are submitted with the grading permit application.
5. The location of all Tree Protective Devices (TPD's) shown on this Plan shall be flagged or staked in the field prior to the pre-construction meeting with the DER Inspectors. Upon approval of the flagger or staked TPD locations by the Inspector, installation of the TPD's approval of the flagger or staked TPD installation shall be completed prior to installation of initial sediment control. No cutting or clearing of trees may begin before final approval of the TPD installation.
6. All field personnel, including equipment operators and supervisors who might work or direct work in the vicinity of protected trees are to be instructed in techniques for avoiding damage to these trees.
7. The layout of the construction site shall provide for special, marked areas for fueling, oil changing and equipment maintenance, employee parking and for materials storage and stockpiling. These areas shall be located so as to prevent the deposit of dirt or the washing or leaching of petroleum products or other harmful substances into the tree-save areas.
8. The following are not allowed within a tree-save area:
 - Depositing of refuse, construction debris, spoil, petroleum products, vehicle or equipment waste water.
 - Dumping of limbs, stumps, and other clearing debris.
 - Driving of any vehicle or equipment.
 - Storage or stockpiling of materials and supplies.
 - Lighting of any fire, including cooking and warming fires.
9. Woodland Conservation - Tree Save Areas and/or Reforestation shall be posted as shown at the same time as the Tree Protective Device installation and/or start of reforestation activity. These signs shall remain in place until sediment control devices are authorized to be removed.

Diagram illustrating the correct planting depth for a tree. The tree is placed in a hole with 2" MULCH on top. The hole is 30 cm wide at the bottom. The soil level is 1" ABOVE EX. G.L. (UNLESS FAC + OR WETTER). The planting mix is shown in the hole. A note says "NOT TO SCALE". A side view shows the roots cut 1" DEEP.

NOTES:

1. Retention Area will be set as part of the review process.
2. Roundabout or Retention Area should be marked and flagged prior to installing device.
3. Roundabout or Retention Area should be marked and flagged prior to installing device.
4. Silt fence shall be securely attached to stakes.
5. Double end Stakes when double end stakes are required.
6. Use lightly colored surveyor's flagging every 5'.
7. Protective signage is also recommended.

TOP VIEW

CROSS SECTION

SECTION A-A

SECTION B-B

SECTION C-C

SECTION D-D

SECTION E-E

SECTION F-F

SECTION G-G

SECTION H-H

SECTION I-I

SECTION J-J

SECTION K-K

SECTION L-L

SECTION M-M

SECTION N-N

SECTION O-O

SECTION P-P

SECTION Q-Q

SECTION R-R

SECTION S-S

SECTION T-T

SECTION U-U

SECTION V-V

SECTION W-W

SECTION X-X

SECTION Y-Y

SECTION Z-Z

SECTION AA-AA

SECTION BB-BB

SECTION CC-CC

SECTION DD-DD

SECTION EE-EE

SECTION FF-FF

SECTION GG-GG

SECTION HH-HH

SECTION II-II

SECTION JJ-JJ

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SECTION LL-LL

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SECTION SS-SS

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1. **Quantity:** (see Plant Schedule)
2. **Type:** (see Plant Schedule)
3. **Plant Quality Standards:** The bare rooted plants selected shall be healthy and sturdy representatives of their species. Seedlings shall have a minimum top growth of 18". The diameter of the root collar, at the point of the root just below ground level, shall be at least 3/8". The roots shall be well developed and at least 8" long. No more than twenty-five percent ($\leq 25\%$) of the root system (both primary and auxiliary/fibrous) shall show evidence of being cut or pruned or stripped from the plant during the digging process. Substantial auxiliary/fibrous roots shall be present.
- Plants not having an abundance of well developed terminal buds on the leaders and branches shall be rejected.
- Plants shall be shipped by the nursery immediately after lifting from the field, and planted immediately upon receipt by the landscape contractor.
- If the plants cannot be planted immediately after delivery to the reforestation site, they shall be stored in the shade with their root masses protected from direct exposure to sun and wind by the use of straw, peat moss, compost, or other suitable materials and shall be maintained moist, through periodic watering, until the time of planting.
4. **Plant Handling:** The quantity of seedlings taken to the field shall not exceed the quantity that can be planted in a day. Seedlings, once removed from the nursery supplied bag, shall be planted immediately or transferred to a bucket or bag containing moist sphagnum or peat moss. Seedlings shall not be held in a planter's hand while planting because their roots will be exposed to the air and sun and will dry out quickly.
5. **Timing of Planting:** The best time to plant bare rooted seedlings is while they are dormant, namely, from late April through early May. Planting should be done during the dormant period in the summer months if the seedlings are kept in cold storage (and therefore dormant) until planting. November and early December are also acceptable times for this region. Cool and cloudy weather is considered ideal.
6. **Seedling Planting:** Tree seedlings can be hand planted using a dibble bar or sharpshooter shovel. It is important that the seedling be placed in the hole so that the roots are spread naturally. They should not be twisted, balled up, or bent. Moist soil should then be packed firmly around the roots. Seedlings should be planted at a depth where their root collars lie just below the ground surface. Air pockets should not be left after closing the hole which would cause the roots to dry out. See planting details for further explanation. If the contractor wishes to plant by another method, the Landscape Architect must be contacted and give his approval before planting may begin.
7. **Spacing:** See Plant Schedule and/or Planting Plan for separation requirements. Also refer to Planting Layout below for a description of the general theory.
8. **Soil:** Upon the completion of all grading operations, a soil test shall be conducted to determine the preparation of the soil. The contractor shall be responsible to create good tree growing conditions. Soil samples shall be taken at a rate that provides one soil sample for each area that appears to have a different soil type (if the entire area appears uniform, then only one sample is necessary), and submitted for testing to, and according to the instructions provided by:

9. **These field tests will be processed for \$5 each, which includes the soil laboratory sending the test results to the Cooperative Extension Service of Prince George's County at the University of Maryland, who will then make recommendations for improving the existing soil. The soil will be tested and recommended for corrections of soil texture, pH, magnesium, phosphorus, potassium, calcium and organic matter.**
10. **Soil Improvement Measures:** The soil shall then be improved according to the recommendations made by the Cooperative Extension Service.
11. **Fencing:** (see Reformation Area Fence Detail)
12. **Planting Method:** consult the Seeding Planting Detail shown on this plan.
13. **Mulching:** apply 2" thick layer of woodchip or shredded hardwood mulch (as noted) at each planting site (see detail shown on this plan).
14. **Groundcover establishment:** The remaining disturbed area between seeding planting sites shall be seeded with White Clover at the rate of 5 lbs pe acre.
15. **Mowing:** The clover field area within the seeding planting area is to be mowed once a month during the growing season until the seedlings attain a height of 4' or more.
16. **Survival Check for Bond Release:** The seeding planting is to be checked at the end of each year for two years to assure that no less than 75% of the original planted quantity survives.
17. **Source of Seedlings:** Ruppert Environmental, Ashton, Maryland (301)774-0400.

○ = shrub ○ = tree A.B.C. = different species ○ = drift patterns

Concept: Aggregated drift groups. A cluster type grouping which results in features such as

Example: Aggregated mixing or drifts are one of the most common vegetation distribution patterns encountered in nature. Pineapple seed bearers are at the forest edge of a drift with seed dispersal towards, rather upstream, with floating berries along the ridge or streambed (groupings) seeds through and into the aggregate. The tallest or windbreak sheltered species. They often appear as aggregated drifts, ringed and last group in shape.

Application: When developing a planting plan the Maryland Forest Management Manual (page 48) lists 120 different recommendations for restoration methods. Species selection, seed materials and site stocking. The manual specifically mentions various requirements for various stocking options. It is important for determining the number of plants required (not necessarily a level-center) for the

Many of the state's reforestation initiatives resulted from the recognition of the need for seedlings. This unusual grid pattern can be compared to the application of aggregated distribution. This does not mean that plants must be in a grid pattern, but drifts or groups cannot avoid the grouping of trees or groupings of same species cannot occur naturally. It simply means that the natural pattern must be understood and replicated. It is important for the same reason replacing natural aggregated drift patterns (see above).

When using the theory to lay a planting plan the size of the drifts should depend on the quantity of plants required, the scale of the site, and the overall condition

1. Prior to any disturbance of the site, the tree save lines shall be field located by surveying techniques and the appropriate tree protective device (see detail) shall be erected along these designated lines. Only after the tree protective devices have been installed shall any tree cutting or other clearing, grubbing or grading operations begin. All protection devices shall remain in place until all construction has ceased in the immediate vicinity. Devices shall be maintained throughout construction. Attachment of signs, or any other objects, to trees is prohibited. No equipment, vehicles, materials or excessive pedestrian traffic shall be allowed within protected areas.
2. After the boundaries of the retention area have been staked and flagged and before any disturbance has taken place on site, a pre-construction meeting at the construction site shall take place. The developer, contractor or project manager, and appropriate local inspectors shall attend.
3. Only after final grading, stabilization, and removal of controls has been accomplished may reforestation begin. Reforestation techniques and methods must comply with the details and standards of the approved Reforestation Plan.

Scale: _____ Not To Scale

Field check the re-afforestation area according to the following schedule:

Year 1:	<u>Site Preparation and Tree Planting</u> Survival check 3 times (March-April, July-August, October-November; see Note 1) Replenish if needed (2 in 1 August) Control of undesirable vegetation if needed (if it may damage 1 x in September)
Year 2-3:	Survival check twice annually (April-May). Replenish as needed. Control of undesirable vegetation if needed (if it may damage 1 x in August)
Years 4-5:	Replenishment check if needed (See Note 2) Survival check once annually (May-September)

Notes: 1) Survival Check: Check planted stock against plant list (as per above build) by walking due site taking inventory. Plants near dead or showing poor shoot vitality. Submit field data to the landward team. If plants are found to be Stocked to owner after each inspection. Remove all other plants.

2) Replenishment Planting: Replace dead or missing plants sufficient quantity to bring the total number of five plants to at least 75% of the number originally planned. If particular species suffer unusually high mortality, replace with alternate plant type.

3) Miscellaneous: Fertilization or watering during years 1 through 3 will be done on an as needed basis. Special tree care operations or recommendations will be conducted on an as needed basis. Remove perimeter fencing and signage after 5 years based on the state plan.

PENN EAST AFFORESTATION				
<u>Area #1 (0.88 ac)</u>		<u>2' cal</u>	<u>1' cal</u>	<u>1/2' cal</u>
Quercus laevis/White Oak		19	38	61
Salix nigra/Black Willow		19	38	61
Liquidambar styraciflua/Sweet Gum		19	38	61
Lindera benzoin/Spicebush		-	-	23
Ilex verticillata/Winterberry		-	-	23
Total Plants:		57	114	227
Seeding Equivalent		225	225	227
Total Seeding Equivalent		225	225	227
= 683				
<u>Area #2 (0.76 ac)</u>				
Acer rubrum/Red Maple		21	42	64
Betula nigra/Birch		21	42	64
Liquidambar styraciflua/Sweet Gum		21	42	64
Lindera benzoin/Spicebush		-	-	14
Ilex verticillata/Winterberry		-	-	23
Total Plants:		64	127	253
Seeding Equivalent		256	256	253
Total Seeding Equivalent		256	256	253
= 763				
Total Afforestation Area	=	1.44 ac		
Afforestation Rate	=	1000 seedlings per acre		
Total Seedlings Required	=	1440		

Diagram illustrating the layout of a fence for a seedling nursery. The fence consists of posts and a wire fence. A sign is attached to one of the posts. The sign reads "Sign @ 36' o.c. (see detail below)" and "EXISTING HARDWOOD SEEDLINGS". The fence is labeled "fence post" and "sign fence post 5' ht.". The height of the fence is labeled "4' ht.". The distance between the posts is labeled "12' o.c. (typical)". The diagram also shows "Existing Hardwood Seedlings" growing in the background.

Heterostation Area Fence Detail	
Elevation	No. Scales

[illegible]

PROJECT NAME: PENN EAST BUSINESS PARK

PROJECT NUMBER: SP-90037

For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet
The Revisions Listed Below Apply to This Sheet

Approval or Revision #	Approval Date	Reviewer's Signature	Certification Date
90037	5.17.90	DB	6.22.90
—/01	12.13.90	DB	6.22.90
—/02	6.19.90	FH	6.22.90
RF		<i>[Signature]</i>	

PROJECT NAME: PENN EAST BUSINESS PARK		
PROJECT NUMBER: SP-98016		
For Conditions of Approval set Site Plan Cases Due to Approval Sheet The Builders Lined Below Apply to this Sheet		
Approved as Schedule #	Approval Date	Builder's Signature
	6-1-98	JJ
		Certification Date
		4-30-99

LOTS 5 THRU 14 & OUTLOT "A", BLOCK "A" DS P98016-07
PENN - EAST BUSINESS PARK
 SPAULDING DISTRICT NO. 6
 PRINCE GEORGE'S COUNTY, MARYLAND

(FOR SHEET 1 OF 2, SEE BRACING NO. 6.0042-Z OR SHEETS 3-5 SEE DRAWING NO. 6.0033, 6.0042-Z)		ONE METRIC PAPER A100 PROFESSIONAL PLANE LANDOVER MARYLAND 20715	
12-20-05	Revised Lots 11 to 15 Block A (WCA-1 & PA-4) ✓	M.R.	BEN DETR ASSOCIATES, INC.
4-24-98	Rev. TOP FOR Preliminary Natural Resource Review	J.N.	Engineer - Streets, Planning, & Telephone (301) 459-8200
2-25-98	Add MINCPAC For Property Block & Graphical Scale	K.B.	
DATE	DESCRIPTION	BY	
	REVISIONS		
		SCALE	AS NOTED
		DATE	DEC, 1997
			6.0050-Z