

SPECIMEN TREES

Eighteen specimen trees were identified and approximately located within the study area. The following is a list of those trees, their diameters and the condition of each.

Number	Common Name	Species Name	DBH (Inches)	Condition	Proposed Disposition (This Work Only)
1	Pin Oak	Quercus palustris	36	Fair	Save
2	Sweetgum	Liquidambar styraciflua	30	Fair	Save
3	Sweetgum	Liquidambar styraciflua	30	Fair	Save
4	Sweetgum	Liquidambar styraciflua	30	Fair	Save
5	Yellow Poplar	Liriodendron tulipifera	31	Fair	Save
6	Red Maple	Acer rubrum	38	Fair	Save
7	Red Maple	Acer rubrum	33	Good	Save
8	Yellow Poplar	Liriodendron tulipifera	31	Poor	Save
9	Red Maple	Acer rubrum	32	Fair	Save
10	Sweetgum	Liquidambar styraciflua	33	Fair	Save
11	Pin Oak	Quercus palustris	33	Fair	Save
12	Yellow Poplar	Liriodendron tulipifera	34	Good	Save
13	Yellow Poplar	Liriodendron tulipifera	30	Fair	Save
14	Yellow Poplar	Liriodendron tulipifera	33	Good	Save
15	Northern Red Oak	Quercus rubra	32	Good	Save
16	Yellow Poplar	Liriodendron tulipifera	32	Good	Save
17	Yellow Poplar	Liriodendron tulipifera	43	Fair	Save
18	Yellow Poplar	Liriodendron tulipifera	40	Fair	Save

CONSERVATION WORKSHEET

Standard Woodland Conservation Worksheet for Prince George's County

SECTION I - Establishing Site Information - (Enter acres for each zone)

1 Zone:	O-S		
2 Gross Tract:	85.94		
3 Floodplain:	24.14		
4 Previously Dedicated Land:	0.00		
5 Net Tract (NTA):	61.80	0.00	0.00

6 TCP Number: TCP2-029-15 Revision #: 1

7 Property Description or Subdivision Name: Magnolia Cove

8 Is this site subject to the 1989 or 1991 Ordinance: N

9 Is this site subject to the 1991 Ordinance: N

10 Subject to 2010 Ordinance and in PFA (Priority Funding Area): N

11 Is this one (1) single family lot? (Y or N): N

12 Are there prior TCP approvals which include a combination of this lots? (Y or N): Y

13 Is any portion of the property in a WC Bank? (Y or N): N

14 Break-even Point (preservation) = 30.90 acres

15 Clearing permitted w/o reforestation = -8.48 acres

SECTION II - Determining Requirements (Enter acres for each corresponding column)

	Column A WCT/AFT %	Column B Net Tract	Column C Floodplain (1:1)	Column D Off-Site Impacts (1:1)
17 Existing Woodland		22.42	23.54	
18 Woodland Conservation Threshold (WCT) =	50.00%	30.90		
19 Smaller of 17 or 18		22.42		
20 Woodland above WCT		0.00		
21 Woodland cleared		3.17	0.00	0.00
22 Woodland cleared above WCT (smaller of 16 or 17)		0.00		
23 Clearing above WCT (0.25 : 1) replacement requirement		0.00		
24 Woodland cleared below WCT		3.17		
25 Clearing below WCT (2:1 replacement requirement)		6.34		
26 Afforestation Required		0.00		
27 Off-site WCA being provided on this property		20.00%		
28 Woodland Conservation Required		25.59		

SECTION III - Meeting the Requirements (Enter acres for each corresponding column)

29 Woodland Preservation	19.25			
30 Afforestation / Reforestation	2.99			
31 Natural Regeneration	3.35			
32 Landscape Credits	0.00			
33 Specimen/Historic Tree Credit (CRZ area * 2.0)	0.00			
34 Forest Enhancement Credit (Area * .25)	0.00			
35 Street Tree Credit (Existing or 10-year canopy coverage)	0.00			
36 Area approved for fee-in-lieu	0.00			
37 Off-site Woodland Conservation Credits Required	0.00			
38 Off-site WCA (preservation) being provided on this property	0.00			
39 Off-site WCA (afforestation) being provided on this property	0.00			
40 Woodland Conservation Provided		25.59		

41 Area of woodland not cleared: 19.25 acres

42 Net tract woodland retained not part of requirements: 0.00 acres

43 100-floodplain woodland retained: 23.54 acres

44 On-site woodland conservation provided: 25.59 acres

45 On-site woodland conservation alternatives provided: 0.00 acres

46 On-site woodland retained not credited: 23.54 acres

47 Prepared by: Brian Wolfe Signed: 11/9/2018

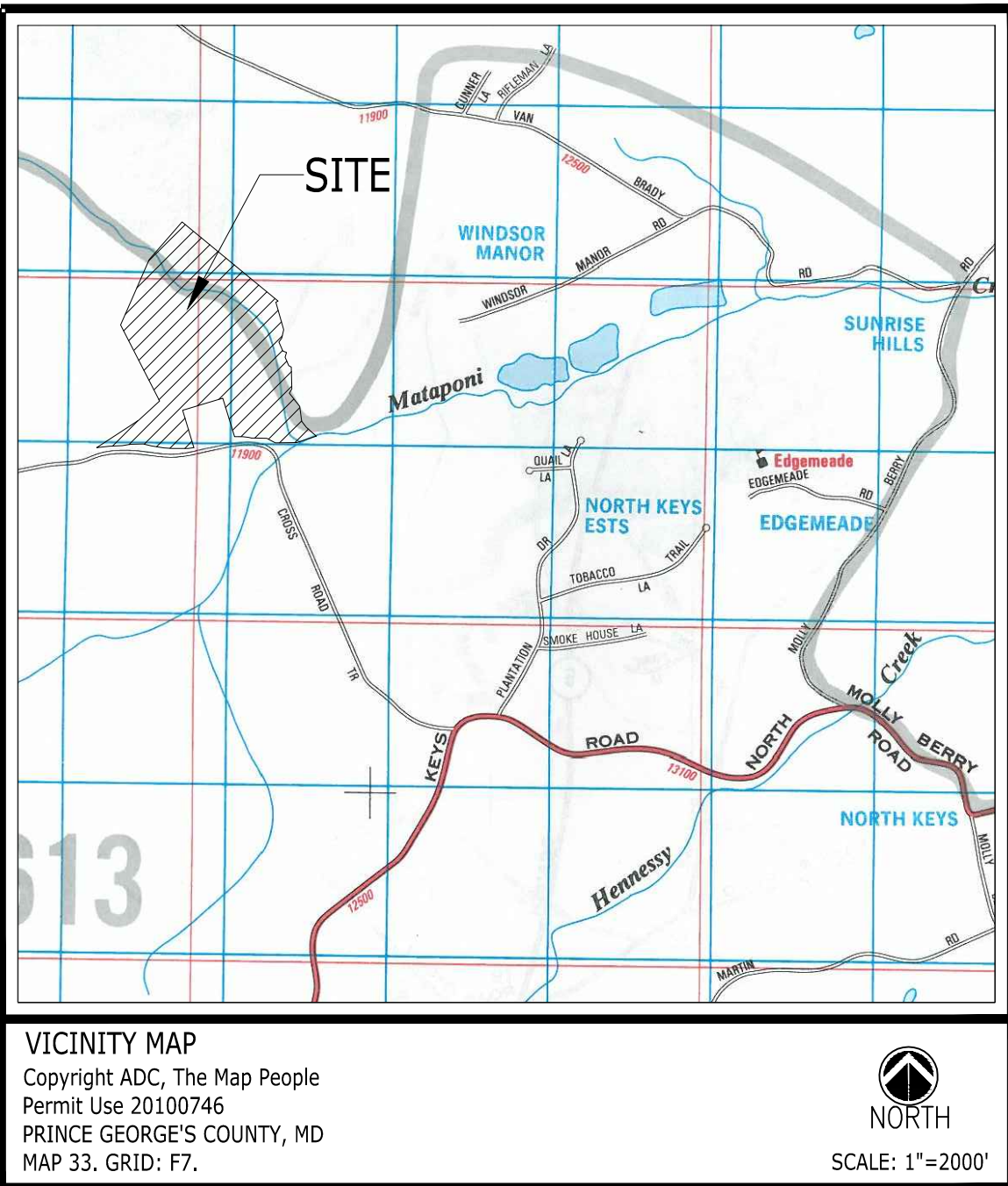
MAGNOLIA COVE

PHASE II

TREE CONSERVATION PLAN TYPE 2

GENERAL INFORMATION

ZONE: O-S
AVIATION POLICY AREA: N/A
TAX GRID: 136-E2, E3, F2, F3
WSSC GRID: 215SE10, 11
216SE10, 11
CROOM-NAYLOR
11
9
PLANNING AREA: RURAL
ELECTION DISTRICT: COUNCILMANIC DISTRICT:
GENERAL PLAN 2002 TIER: 1
TRAFFIC ANALYSIS ZONE (COC): 1311
TRAFFIC ANALYSIS ZONE (PG): 2724, 2723



WOODLAND CONSERVATION TABLE

LOT #	GROSS AREA	FLOODPLAIN	NET AREA	EXIST FOREST	PRESERVATION (WPA)	SAVED (NOT CREDITED)(WR-NC)	NAT. REGENERATION (NRA)	REFORESTATION (WRA)	SAVED-COUNTED AS CLEARED (WR-AC)	CLEARED
OUTLOT A	0.02	0.00	0.02	0.00	0.00	0.00	0.00	0.00	0.00	0.00
1	3.06	0.00	3.06	0.00	0.00	0.00	0.00	0.79	0.00	0.00
2	2.38	0.00	2.38	0.00	0.00	0.00	0.00	0.00	0.00	0.00
3	3.17	0.00	3.17	0.00	0.27	0.00	0.26	0.00	0.00	0.00
4	6.89	1.99	4.90	3.88	1.99	3.23	0.00	0.00	0.02	0.62
5	5.30	1.74	4.16	3.23	1.74	2.85	0.00	0.00	0.00	0.38
6	5.01	0.98	4.03	1.77	0.98	1.70	0.00	0.00	0.00	0.07
7	8.01	2.66	5.35	4.15	2.66	3.59	0.00	0.00	0.00	0.53
8	6.52	2.10	4.42	4.30	2.10	3.31	0.00	0.00	0.00	0.97
9	5.37	1.42	3.95	2.11	1.42	2.09	0.00	0.24	0.00	0.02
10	5.14	2.79	2.35	0.65	2.73	0.65	0.35	0.05	0.00	0.00
11	5.83	3.23	2.60	0.41	2.88	0.10	0.00	0.46	0.35	0.00
12	3.02	0.00	3.02	0.35	0.00	0.30	0.00	0.00	0.00	0.05
13	3.01	0.00	3.01	0.36	0.00	0.32	0.00	0.00	0.00	0.04
14	3.27	0.00	3.27	0.00	0.00	0.00	0.00	0.00	0.00	0.00
15	5.35	1.16	4.19	0.00	0.57	0.00	0.32	0.59	0.96	0.00
16	5.21	2.27	2.94	0.73	2.27	0.67	0.00	0.02	0.00	0.05
17	6.27	3.80	2.47	0.21	3.52	0.17	0.00	0.43	0.28	0.00
TOTAL LOT AREA	83.41	24.14	59.29	22.42	22.86	19.25	0.00	2.08	1.27	2.88
CROSS RD. TRAIL R/W	0.81									
ARTHUR CT. R/W	1.72									
TOTAL R/W DED.	2.53									
GROSS TRACT AREA	85.94	24.14	61.80							

GENERAL NOTES

- THIS PLAN IS SUBMITTED TO FULFILL THE WOODLAND CONSERVATION REQUIREMENTS FOR MAGNOLIA COVE RESIDENTIAL DEVELOPMENT.
- CERTAIN OF THE CONSERVATION EASEMENTS ON THIS PLAT INCLUDE AFFORESTATION AREAS WHICH ARE PROPOSED TO REGENERATE AS PERPETUAL WOODLANDS IN FULFILLMENT OF WOODLAND CONSERVATION REQUIREMENT AND PRECLUDE ANY DISTURBANCE OR INSTALLATION OF ANY STRUCTURE WITHIN SPECIFIC AREAS SHOWN ON THE APPROVED TREE CONSERVATION PLAN. FAILURE TO COMPLY WILL MEAN A VIOLATION OF AN APPROVED TYPE II TREE CONSERVATION PLAN AND WILL MAKE THE OWNER SUBJECT TO MITIGATION UNDER THE WOODLAND CONSERVATION TREE PRESERVATION POLICY.
- CUTTING OR CLEARING OF WOODLAND NOT IN CONFORMANCE WITH THIS PLAN OR WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE PLANNING DIRECTOR OR DESIGNEE SHALL BE SUBJECT TO A \$1.50 PER SQUARE FOOT MITIGATION FEE.
- A PRE-CONSTRUCTION MEETING IS REQUIRED PRIOR TO THE ISSUANCE OF GRADING PERMITS. THE DEPARTMENT OF PERMITTING, INSPECTIONS AND ENFORCEMENT (DPIW) SHALL BE CONTACTED PRIOR TO THE START OF ANY WORK ON THE SITE TO CONDUCT A PRE-CONSTRUCTION MEETING WHERE IMPLEMENTATION OF WOODLAND CONSERVATION MEASURES SHOWN ON THIS PLAN WILL BE DISCUSSED IN DETAIL.
- THE DEVELOPER OR BUILDER OF THE LOTS OR PARCELS SHOWN ON THIS PLAN SHALL NOTIFY FUTURE BUYERS OF ANY WOODLAND CONSERVATION AREAS THROUGH THE PROVISION OF A COPY OF THIS PLAN AT TIME OF CONTRACT SIGNING. FUTURE PROPERTY OWNERS ARE ALSO SUBJECT TO THIS REQUIREMENT.
- THE OWNERS OF THE PROPERTY SUBJECT TO THIS TREE CONSERVATION PLAN ARE SOLELY RESPONSIBLE FOR CONFORMANCE TO THE REQUIREMENTS CONTAINED HEREIN.
- THE PROPERTY IS WITHIN THE ENVIRONMENTAL STRATEGY AREA (ESA 3) OF PLAN PRINCE GEORGE'S 2035 (FORMERLY THE RURAL TIER) AND IS ZONE O-S.
- THE PROPERTY IS ADJACENT TO CROSS ROAD TRAIL, WHICH IS DESIGNATED A HISTORIC AND SCENIC ROADWAY.
- THE PROPERTY IS NOT ADJACENT TO A ROADWAY CLASSIFIED AS ARTERIAL OR GREATER.
- THE PLAN IS GRANDFATHERED UNDER CB-27-2010, SECTION 25-119(g).
- TREE LINES ARE BASED ON THE APPROVED NR/057/05-02 AND SUBSEQUENT TCP-I
- THE APPROVED NRI AND TCP-I WERE BASED ON AERIAL PHOTOGRAPHS (DATED 4/12/05) AND PHOTOGRAMMETRIC PLOTTING BY MCKENZIE SNYDER, INC.
- THE FLOOD PLAIN DELINEATION IS BASED ON SD#1166-2005-00/FPS#200436, APPROVED 4/19/05.

SEE SHEET 7 FOR ADDITIONAL NOTES.

Property Owners Awareness Certificate

I/ We Magnolia Cove Investment Group hereby acknowledge that we are aware of this Type 2 Tree Conservation Plan (TCP2) and that we understand the requirements as set forth in this TCP2.

Shane Williams 11/8/18
Owner or Owners Representative Date

I/ We hereby acknowledge that we are aware of this Type 2 Tree Conservation Plan (TCP2) and that we understand the requirements as set forth in this TCP2.

Contract Purchaser Date

MISS UTILITY



BEFORE YOU DIG CALL 800-452-7877
PROTECT YOURSELF, GIVE TWO WORKING DAYS NOTICE

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF APPROPRIATE.

THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

LIST OF SHEETS

SHEET 1 COVER
SHEETS 2-5 PLAN SHEETS
SHEETS 6-7 NOTES AND DETAILS



Prepared by:

Environmental Systems Analysis, Inc.
Natural Resources Management
Ecological Restoration
2141 Priest Bridge Drive, Suite 1
Crofton, Maryland 21114

Magnolia Cove Investment Group, LLC
14503 Main Street
Upper Marlboro, MD 20772
Phone: 301-252-8261

Owner / Applicant:

TYPE 2 TREE CONSERVATION PLAN

MAGNOLIA COVE
PHASE II
11TH ELECTION DISTRICT
PRINCE GEORGE'S COUNTY
MARYLAND

NO.	BY	DATE	REVISIONS	DESCRIPTION
1	BPW	11/17/18	REVISED PER FINAL LOT LAYOUT / GRADING	

ESA PROJECT NO.: 2018-33/Magnolia Cove

BPW DESIGN
BPW DRAWN
BPW CHECKED

SCALE: 1"=200'

DATE: November 1, 2018

SHEET: 1 of 7

LEGEND:

- PROPERTY LINE
BUILDING RESTRICTION LINE
PROPOSED STORM DRAIN
WETLANDS
WETLAND BUFFER
STREAM
PROPOSED CONTOUR
EXISTING CONTOURS
100-YEAR FLOODPLAIN
STREAM BUFFER
FLOODPLAIN BUFFER
FLOODPLAIN SETBACK
PRIMARY MANAGEMENT AREA
EXISTING TREELINE
LIMIT OF DISTURBANCE
TEMPORARY TREE PROTECTION FENCE
PERMANENT TREE PROTECTION FENCE
PROPOSED ROOT PRUNING
WOODLAND PRESERVATION SIGN
REFORESTATION / AFFORESTATION SIGN
SPECIMEN TREE SIGN

- SP-1
SPECIMEN TREE AND
CRITICAL ROOT ZONE (CRZ)

- WOODLAND PRESERVATION (WPA)
WOODLAND RETAINED -
ASSUMED CLEARED (WR-AC)
WOODLAND REFORESTATION /
AFFORESTATION AREA (WRA)
NATURAL REGENERATION
AREA (NRA)
WOODLAND CLEARED
FLOODPLAIN WOODLAND RETAINED
- NOT CREDITED (WR-NC)
FUTURE HOMES &
DRIVEWAYS
STORMWATER
MANAGEMENT FEATURES
SEPTIC FIELD

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ASSUMED CLEARED (WR-AC)
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SEPTIC FIELD

MISS UTILITY



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1-800-495-7777
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WORKING DAYS NOTICE

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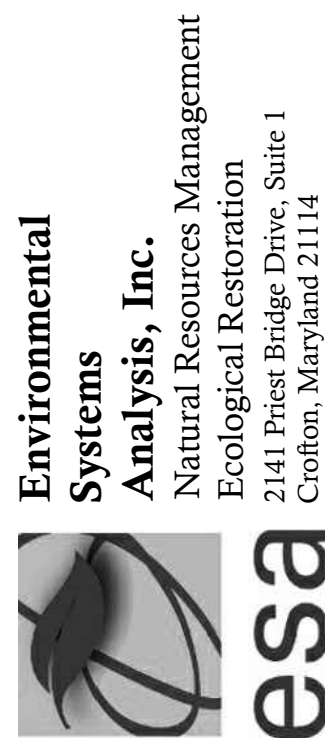
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PART 1
L.6954 F.913

N/F SMITH, JAMES A SR & CATHERINE S
11800 CROSS RD TRL
BRANDYWINE, MD 20613-8851

MATCHLINE (SEE SHEET 4)

MATCHLINE (SEE SHEET 3)

Prepared by:



Owner / Applicant:

Magnolia Cove Investment
Group, LLC
14503 Main Street
Upper Marlboro, MD 20772
Phone: 301-252-8261

TYPE 2 TREE CONSERVATION PLAN

MAGNOLIA COVE
PHASE II
11TH ELECTION DISTRICT
PRINCE GEORGE'S COUNTY
MARYLAND

NO.	BY	DATE	DESCRIPTION
1	BPW	11/7/18	REVISED PER FINAL LOT LAYOUT / GRADING

ESA PROJECT NO.:
2018-33/Magnolia Cove

BPW
DESIGN

BPW
DRAWN

BPW
CHECKED

SCALE: 1"=50'

DATE: November 1, 2018

SHEET: 2 of 7

Price George's County Planning Department, M-NCPPC Environmental Planning Section TREE CONSERVATION PLAN APPROVAL TCP2-029-2015			
Approved by	Date	DRD #	Reason for Revision
00 K. Finch	5/19/2016	NA	Staff Level Approval
01 Kim A. Finch	11/9/2018		Updated Site Grading & LOD
02			
03			
04			
05			
06			

KIM
PB

P.108
JOHN BOWSER
L.16263 F.663

P.43
KONTERRA L.P.
L.6899 F.291

P.42
ROLAND PARSON
L.4000 F.301





— LOT 3

MATCHLINE (SEE SHEET 5)

LEGEND:

- | | |
|--|---|
| | PROPERTY LINE |
| | BUILDING RESTRICTION LINE |
| | PROPOSED STORM DRAIN |
| | WETLANDS |
| | WETLAND BUFFER |
| | STREAM |
| | PROPOSED CONTOUR |
| | EXISTING CONTOURS |
| | 100-YEAR FLOODPLAIN |
| | STREAM BUFFER |
| | FLOODPLAIN BUFFER |
| | FLOODPLAIN SETBACK |
| | PRIMARY MANAGEMENT AREA |
| | EXISTING TREELINE |
| | LIMIT OF DISTURBANCE |
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| | PERMANENT TREE PROTECTION FENCE |
| | PROPOSED ROOT PRUNING |
| | WOODLAND PRESERVATION SIGN |
| | REFORESTATION / AFFORESTATION SIGN |
| | SPECIMEN TREE SIGN |
| | SPECIMEN TREE AND CRITICAL ROOT ZONE (CRZ) |
| | WOODLAND PRESERVATION (WPA) |
| | WOODLAND RETAINED – ASSUMED CLEARED (WR-AC) |
| | WOODLAND REFORESTATION / AFFORESTATION AREA (WRA) |
| | NATURAL REGENERATION AREA (NRA) |
| | WOODLAND CLEARED |
| | FLOODPLAIN WOODLAND RETAINED – NOT CREDITED (WR-NC) |
| | FUTURE HOMES & DRIVEWAYS |
| | STORMWATER MANAGEMENT FEATURES |
| | SEPTIC FIELD |

MISS UTILITY



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HOURS PRIOR TO ANY CONSTRUCTION.

Prince George's County Planning Department, MNCPPC Environmental Planning Section TREE CONSERVATION PLAN APPROVAL TCP2-029-2015			
Approved by		Date	Reason for Revision
00	K. Finch	5/19/2016	NA
01	<i>Kim A. Finch</i>	11/9/2018	Updated Site Grading & LOD
02			
03			
04			
05			
06			

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**es**

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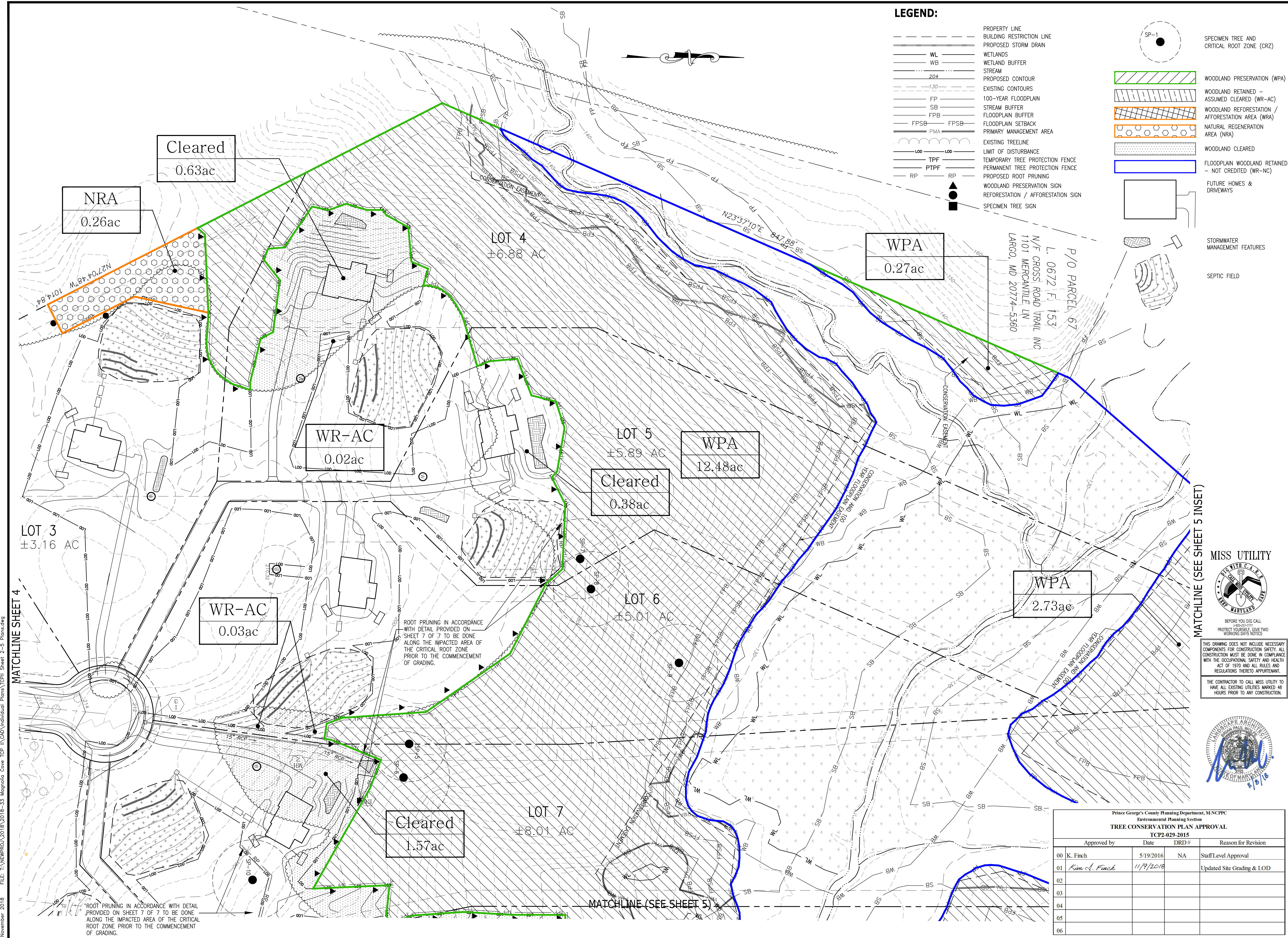
ESA PROJECT NO.:
2018-33/Magnolia Cove

BPW	BPW	BPW
DESIGN	DRAWN	CHECKED

SCALE: 1"=50'

DATE: November 1, 2018

SHEET: 3 of 7



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TYPE 2 TREE CONSERVATION PLAN

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PHASE II

11TH ELECTION DISTRICT

PRINCE GEORGE'S COUNTY

MARYLAND

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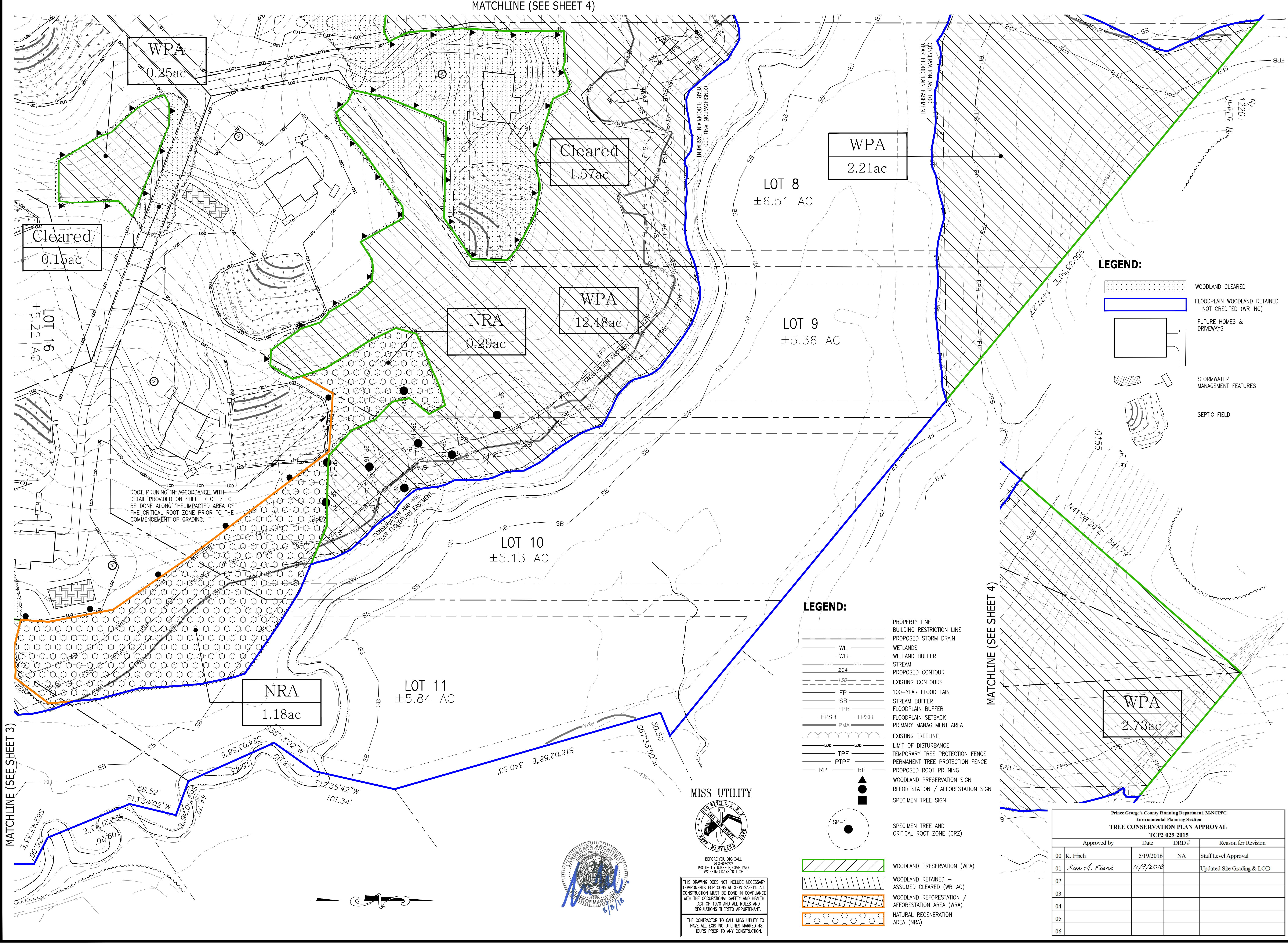
ESA PROJECT NO.:
2018-33/Magnolia Cove

BPW	BPW	BPW
DESIGN	DRAWN	CHECKED

SCALE: 1"=50'

DATE: November 1, 201

SHEET: 5 of 7



ADDITIONAL NOTES

Tree Preservation and Retention Notes

- 10 All woodlands designated on this plan for preservation are the responsibility of the property owner. The woodland areas shall remain in a natural state. This includes the canopy trees and understorey vegetation. A revised tree conservation plan is required prior to clearing woodland areas that are not specifically identified to be cleared on the approved TCP2.
- 11 Tree and woodland conservation methods such as root pruning shall be conducted as noted on this plan.
- 12 The location of all temporary tree protection fencing (TPFs) shown on this plan shall be flagged or staked in the field prior to the pre-construction meeting. Upon approval of the locations by the county inspector, installation of the TPFs may begin.
- 13 All temporary tree protection fencing (TPF) and signage required by this plan shall be installed prior to commencement of clearing and grading of the site and shall remain in place until the bond is released for the project. Failure to install and maintain temporary or permanent tree protective devices is a violation of this TCP2.
- 14 Woodland preservation areas shall be posted with signage as shown on the plans at the time of removal of the temporary TPF installation. These signs must remain in perpetuity.
- 15 The developer and/or builder is responsible for the complete preservation of all forested areas shown on the approved plan to remain undisturbed. Only trees or parts thereof designated by the county as dead, dying, or hazardous may be removed.
- 16 A tree is considered hazardous if a condition is present which leads a Certified Arborist or Licensed Tree Expert to believe that the tree or a portion of the tree has a potential to fall and strike a structure, parking area, or other high use area and result in personal injury or property damage.
- 17 During the initial stages of clearing and grading, if hazardous trees are present, or trees are present that are not hazardous but are leaning into the disturbed area, the permittee shall remove said trees using a chain saw. Corrective measures requiring the removal of the hazardous tree or portions thereof shall require authorization by the county inspector. Only after approval by the inspector may the tree be cut by chainsaw to near the existing ground level. The stump shall not be removed or covered with soil, mulch or other materials that would inhibit sprouting.
- 18 If a tree or trees become hazardous prior to bond release for the project, due to storm events or other situations not resulting from an action by the permittee, prior to removal, a Certified Arborist or a Licensed Tree Expert must certify that the tree or the portion of the tree in question has a potential to fall and strike a structure, parking area, or other high use area and may result in personal injury or property damage. If a tree or portions thereof are in imminent danger of striking a structure, parking area, or other high use area and may result in personal injury or property damage then the certification is not required and the permittee shall take corrective action immediately. The condition of the area shall be fully documented through photographs prior to corrective action being taken. The photos shall be submitted to the inspector for documentation of the damage.

Afforestation and Reforestation Notes

- 19 All afforestation and reforestation bonds, based on square footage, shall be posted with the county prior to the issuance of any permits. These bonds will be retained as surety until all required activities have been satisfied or the required timeframe for maintenance has passed, whichever is longer.
- 20 The planting of afforestation or reforestation areas shall be completed prior to the issuance of the first building permit. (This standard note may be modified as necessary to address which building permits are adjacent to the proposed planting area.) Seeding planting is to occur from November through May only. No planting shall be done while ground is frozen. Planting with larger caliper stock or containerized stock may be done at any time provided a detailed maintenance schedule is provided.
- 21 If planting cannot occur due to planting conditions, the developer or property owner shall install the fencing and signage in accordance with the approved Type 2 Tree Conservation Plan. Planting shall then be accomplished during the next planting season. If planting is delayed beyond the transfer of the property title to the homeowner, the developer or builder shall obtain a signed statement from the purchaser indicating that they understand that the reforestation area is located on their property and that reforestation will occur during the next planting season. A copy of that document shall be presented to the Grading Inspector and the county.
- 22 Reforestation areas shall not be mowed. The management of competing vegetation around individual trees and the removal of noxious, invasive, and non-native vegetation within the reforestation areas is acceptable.
- 23 All required temporary tree protection fencing shall be installed prior to the clearing and grading of the site and shall remain in place until the permanent tree protection fencing is installed with the required planting. The temporary fencing is not required to be installed if the permanent fencing is installed prior to clearing and grading of the site. Failure to install and maintain temporary or permanent tree protective fencing is a violation of this TCP2.
- 24 Afforestation/reforestation areas shall be posted with notification signage, as shown on the plans, at the same time as the permanent protection fencing installation. These signs shall remain in perpetuity.
- 25 The county inspector shall be notified prior to soil preparation or initiation of any tree planting on this site.
- 26 At time of issuance of the first permit, the following information shall be submitted to the M-NCPPC Planning Department regarding the contractor responsible for implementation of this plan: contractor name; business name (if different); address; and phone number. Results of annual survival checks for each of the required four years after tree planting shall be reported to the M-NCPPC, Planning Department.
- 27 Failure to establish the afforestation or reforestation within the prescribed time frame will result in the forfeiture of the reforestation bond and/or a violation of this plan including the associated \$9.00 per square foot penalty unless the county inspector approves a written extension.

Planting Specification Notes

1. Quantity: (See Plant Schedule)
2. Type: (See Plant Schedule)
3. Plant Quality Standards: The plants selected shall be healthy and sturdy representatives of their species. Seedlings shall have a minimum top growth of 18". The diameter of the root collar (the part of the root just below ground level) shall be at least 3/8". The roots shall be well developed and at least 8" long. No more than twenty-five percent (25%) of the root system (both primary and auxiliary/fibrous roots) shall be present.
- Plants that do not have an abundance of well developed terminal buds on the leaders and branches shall be rejected.
- Plants shall be shipped by the nursery immediately after lifting from the field or removal from the green house, and planted immediately upon receipt by the landscape contractor.
- If the plants cannot be planted immediately after delivery to the reforestation site, they shall be stored in the shade with their root masses protected from direct exposure to sun and wind by the use of straw, peat moss, compost, or other suitable material and shall be maintained through periodic watering, until the time of planting.
4. Plant Handling: the quantity of seedlings taken to the field shall not exceed the quantity that can be planted in a day. Seedlings, once removed from the nursery or temporary storage area shall be planted immediately.
5. Timing of Planting: The best time to plant seedlings is while they are dormant, prior to spring budding. The most suitable months for planting are March and April, when the soil is moist, but may be planted from March through November. No planting shall be done while ground is frozen. Planting shall occur within one growing season of the issuance of grading /building permits and/or reaching the final grades and stabilization of planting areas.
6. Seeding Planting: Tree seedlings shall be hand planted using a dibble bar or sharp-shooter shovel. It is important that the seedling be placed in the hole so that the roots can spread out naturally; they should not be twisted, balled up or bent. Moist soil should then be packed firmly around the roots. Seedlings should be planted at a depth where their roots lie just below the ground surface. Air pockets should not be left after closing the hole which would allow the roots to dry out. See planting details for further explanation. If the contractor wishes to plant by another method, the preparer of this tree conservation plan must be contacted and give his approval before planting may begin.
7. Spacing: See Plant Schedule and/or Planting Plan for spacing requirements. Also refer to the Planting Layout detail for a description of the general planting theory.
8. Soil: Upon the completion of all grading operations, a soil test shall be conducted to determine what soil preparation and soil amendments, if any, are necessary to create good tree growing conditions. Soil samples shall be taken at a rate that provides one soil sample for each area that appears to have a different soil type (if the entire area appears uniform, then only one sample is necessary), and submitted for testing to a private company. The company of choice shall make recommendations for improving the existing soil. The soil will be tested and recommended for corrections of soil texture, pH, magnesium, phosphorus, potassium, calcium and organic matter.
9. Soil Improvement Measures: the soil shall then be improved according to the recommendations made by the testing company.
10. Fencing and Signage: Final protective fencing shall be placed on the visible and/or development side of planting areas. The final protective fence shall be installed upon completion of planting operations unless it was installed during the initial stages of development. Signs shall be posted per the signage detail on this sheet.
11. Planting method: Consult the Planting Detail(s) shown on this plan.
12. Mulching: Apply two-inch thick layer of woodchip or shredded hardwood mulch (as noted) to each planting site (see detail shown on this plan).
13. Groundcover Establishment: the remaining disturbed area between seedling planting sites shall be seeded and stabilized with white clover seed at the rate of 5 lbs/acre.
14. Mowing: No mowing shall be allowed in any planting area.
15. Survival Check for Bond Release: The seedling planting is to be checked at the end of each year for four years to assure that no less than 75% of the original planted quantity survives. If the minimum number has not been provided the area must be supplemented with additional seedlings to reach the required number at time of planting.
16. Source of Seedlings: state name, address, and phone number of nursery or supplier.

Natural Regeneration Notes

- All areas designated for reforestation shall be reforested by natural regeneration. The following requirements and conditions apply:
- All existing turf, ground covers, and invasive species shall be exterminated using a general broadcast herbicide such as "Round-Up" or equivalent. Secondary applications shall be applied as necessary.
 - Care shall be taken to avoid spraying any hardwood seedlings or saplings.
 - Root-killing of turf areas and manual removal of invasive vines shall be completed two weeks after chemical treatments are completed.
 - Reforestation signs and permanent tree protection fencing shall be installed along all vulnerable edges.
 - Reforestation internal to the site shall be posted as required in the direction of any trails used to reach those areas.
 - Natural regeneration shall be encouraged by semi-annual maintenance of the designated areas. The maintenance shall, at a minimum, require removal of competitive and invasive species from the desired indigenous hardwoods. This maintenance shall occur for a period of two years.
 - After one and two years all desirable seedlings and saplings shall be counted and flagged with surveyors tape in the late fall.
 - If after two years there is less than one seedling per 60 square feet and there are indications that natural regeneration is not occurring adequately then the owners shall plant those areas with container grown seedlings at a rate of one per 60 square feet. Only naturally occurring species already present within the site shall be used.

A Four-Year Management Plan for Re/Afforestation shall be added to the plan as follows:

Four-Year Management Plan for Re/Afforestation Areas

Field check the re-afforestation area according to the following schedule:

- Year 1: Site preparation and Tree Planting
Survival check once annually (September-November) see Note 1)
Watering is needed (2 x month)
Control of undesirable vegetation as needed (1 x in June and 1 x in September min.)
- Year 2-3: Reinforcement planting is needed (See Note 2)
Survival check once annually (September-November)
Control of undesirable vegetation if needed (1 x in May and 1 x in August min.)
- Year 4: Reinforcement planting if needed. (See Note 2)
Survival check (September - November)
- Survival Check: Check planted stock against plant list (or as-built) by walking the site and taking inventory. Plants must show vitality. Submit field data forms (Condition Check Sheets) to owner after each inspection. Remove all dead plants.
 - Reinforcement Planting: Replace dead or missing plants in sufficient quantity to bring the total number of live plants to at least 75% of the number originally planted. If a particular species suffers unusually high mortality, replace with an alternative plant type.
 - Miscellaneous: Fertilization or watering during years 1 through 3 will be done on an as needed basis. Special return operations or recommendations will be conducted on an as needed basis.

POST CONSTRUCTION NOTES

When woodlands and/or specimen, historic or champion trees are to remain:

- a. If the developer or builder no longer has an interest in the property and the new owner desires to remove a hazardous tree or portion thereof, the new owner shall obtain a written statement from a Certified Arborist or Licensed Tree Expert identifying the hazardous condition and the proposed corrective measures prior to having the work conducted. After proper documentation has been completed per the handout "Guidance for Prince George's County Property Owners, Preservation of Woodland Conservation Areas", the arborist or tree expert may then remove the tree. The stump shall be cut as close to the ground as possible and left in place. The removal or grinding of the stumps in the woodland conservation area is not permitted.
- If a tree or portions thereof are in imminent danger of striking a structure, parking area, or other high use area and may result in personal injury or property damage then the certification is not required and the permittee shall take corrective action immediately. The condition of the area shall be fully documented through photographs prior to corrective action being taken. The photos shall be submitted to the inspector for documentation of the damage.
- Tree work to be completed within a road right-of-way requires a permit from the Maryland Department of Natural Resources unless the tree removal is shown within the approved limits of disturbance on a TCP2. The work is required to be conducted by a Licensed Tree Expert.
- b. The removal of noxious, invasive, and non-native plant species from any woodland preservation area shall be done with the use of hand-held equipment only (pruners or a chain saw). These plants may be cut near the ground and material less than two inches diameter may be removed from the area and disposed of appropriately. All material from these noxious, invasive, and non-native plants greater than two (2) inches diameter shall be cut to allow contact with the ground, thus encouraging decomposition.
- c. The use of broadcast spraying of herbicides is not permitted. However, the use of herbicides to discourage re-sprouting of invasive, noxious, or non-native plants is permitted if done as an application of the chemical directly to the cut stump immediately following cutting of plant tops. The use of any herbicide shall be done in accordance with the label instructions.
- d. The use of chainsaws is extremely dangerous and should not be conducted with poorly maintained equipment, without safety equipment, or by individuals not trained in the use of this equipment for the pruning and/or cutting of trees.

Protection of Reforestation and Afforestation Areas by Individual Homeowners

- a. Reforestation fencing and signage shall remain in place in accordance with the approved Type 2 Tree Conservation Plan.
- b. Reforestation areas shall not be mowed; however, the management of competing vegetation and removal of noxious, invasive, and non-native vegetation around individual trees is acceptable.

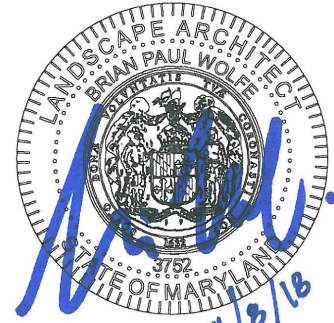
Size	Number Required per Acre	Approximate Spacing feet on center	Survivability Requirement At the end of the second growing season
Bare Root Seedlings or Whips	700	8 x 8	75% 825
Container Grown Seedling Tubes (Minimum Cavity Width 1.5")	500	10 x 10	75% 375
Container Grown 1, 2, 3 Gallon	400	12 x 12	75% 300
Container Grown 5, 7 Gallon or 1" Caliper B & B	300	15 x 15	85% 255
Container Grown 15, 25 Gallon or 1.5 - 2" Caliper B & B	150	20 x 20	100% 150

- Notes:
- These stocking and survival requirements are the minimum numbers estimated to meet the definition of forest from bare land.
 - In certain circumstances, any combination of the above mentioned stocking options, dry seeding, tree shelters, transplants, and/or natural regeneration may be appropriate strategies to fulfill the requirements of an approved TCP. They will be evaluated on a case-by-case basis by the approving authority.
 - Spacing does not imply that trees or shrubs must be planted in a grid pattern.

Site Stocking

QTY.	SCIENTIFIC NAME	COMMON NAME	CONDITION	% OF TOTAL
418	LIRIODENDRON TULIPIFERA	TULIP POPLAR	BARE ROOT	20%
418	BLACK LOCUST	ROBINIA PSEUDOACACIA	BARE ROOT	20%
419	BLACK CHERRY	PRUNUS SEROTINA	BARE ROOT	20%
419	SWEETGUM	LIQUIDAMBAR STYRACIFLUA	BARE ROOT	20%
419	SWAMP OAK	QUERCUS BICOLOR	BARE ROOT	20%

NOTE: 2093 BARE ROOT SEEDLINGS OR EQUIVALENT NUMBERS IN ONE OR MORE OTHER SIZES (SEE "SITE STOCKING" CHART)



Prince George's County Planning Department, M-NCPPC Environmental Planning Section TREE CONSERVATION PLAN APPROVAL TCP2-029-2015			
Approved by	Date	DRD #	Reason for Revision
00 K. Finch	5/19/2016	NA	Staff Level Approval
01 Kim A. Finch	11/9/2018		Updated Site Grading & LOD
02			
03			
04			
05			
06			

ESA PROJECT NO.:
2018-33/Magnolia Cove

BPW	BPW	BPW
DESIGN	DRAWN	CHECKED

SCALE:

DATE: November 1, 2018

SHEET: 7 of 7

TYPE 2 TREE CONSERVATION PLAN

MAGNOLIA COVE

PHASE II

11TH ELECTION DISTRICT

PRINCE GEORGE'S COUNTY

MARYLAND

Owner /Applicant:

Magnolia Cove Investment

Group, LLC

14503 Main Street

Upper Marlboro, MD 20772

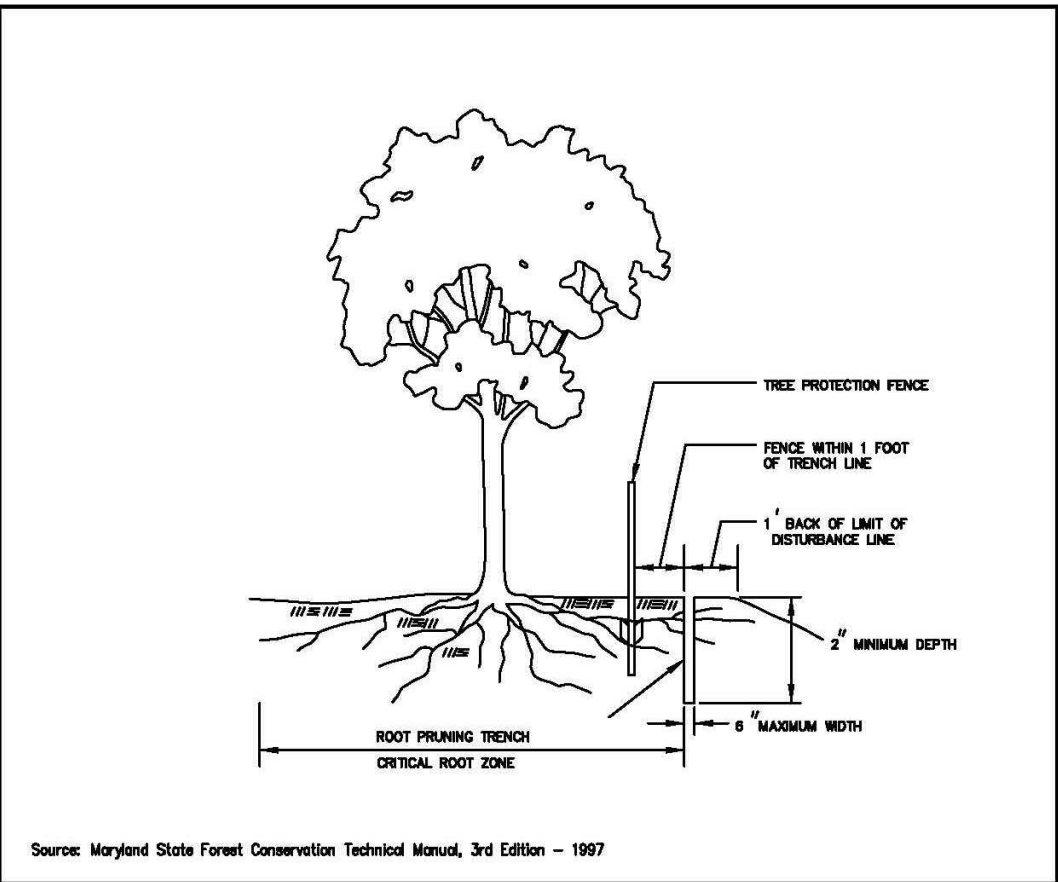
Phone: 301-252-8261

Prepared by:



esa

Environmental
Systems
Analysis, Inc.
Natural Resources Management
Ecological Restoration
2141 Priest Bridge Drive, Suite 1
Crofton, Maryland 21114

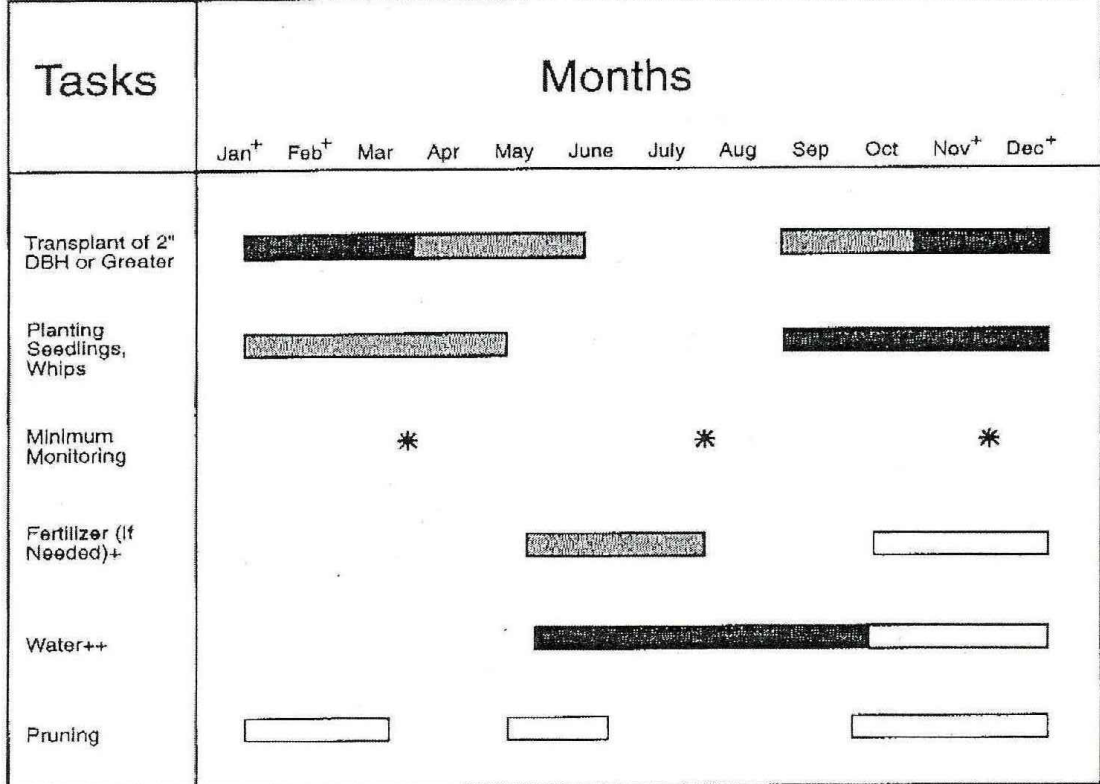


- NOTES:
- RETENTION AREAS TO BE ESTABLISHED AS PART OF THE FOREST CONSERVATION PLAN REVIEW PROCESS.
 - BOUNDARIES OF RETENTION AREAS SHOULD BE STAKED, FLAGGED AND/OR FENCED PRIOR TO TRENCHING.
 - EXACT LOCATION OF TRENCH SHOULD BE IDENTIFIED.
 - TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH SOIL REMOVED OR OTHER HIGH ORGANIC SOIL.
 - ROOTS SHOULD BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT.

ROOT PRUNING

August 2010

A-4, DET-10



- Legend for Tasks and Months:
- Recommended, Optimal time
 - Recommended with Additional Care
 - Recommended
 - Dependent Upon Site Conditions
 - Dependent Upon Site Conditions: Weekly Watering is Strongly Recommended From May Through October Unless Weekly Rainfall Equals 1"

- Notes:
- Activities during November through February depend on ground conditions.
 - No fall planting of oaks and pines.
 - The planting and care of trees is most successful when coordinated with the local conditions. This calendar summarizes some of the recommended time frames for basic reforestation and stress reduction activities.

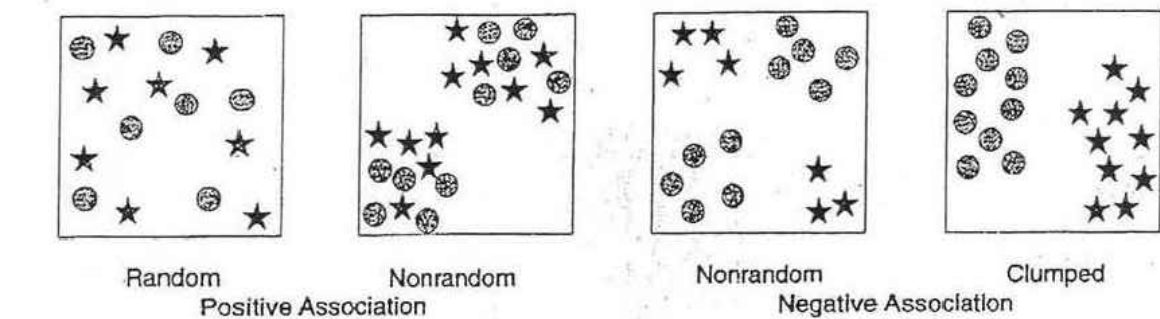
Source: Adapted from Forest Conservation Manual, 1991

Tree Planting and Maintenance Calendar

August 2010

A-4, DET-13

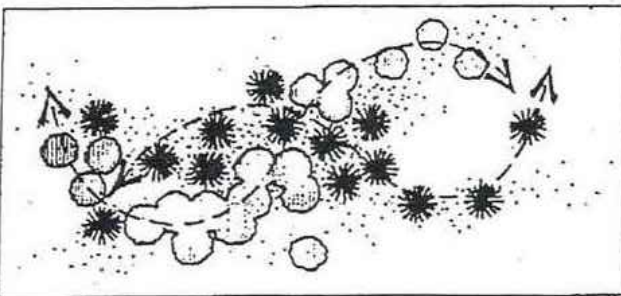
Typical Forest Tree Distribution Patterns



Note: Naturally occurring populations of trees tend to be found in informal groupings. A cluster of trees is really a mosaic of different species groups. The objective of an afforestation/reforestation plan is to select the appropriate species and distribution pattern for a chose site that mimic natural patterns.

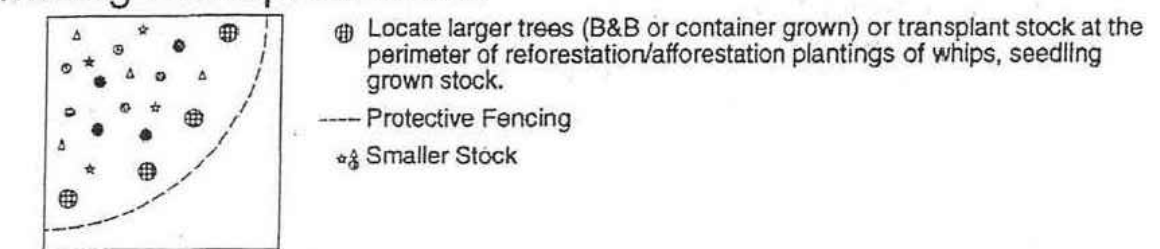
Source: Prince Georges County Woodland Conservation Manual.

Aggregate Distribution Drift



Source: EQR, Inc.

Mixing Transplant Stock



Source: Adapted from Forest Conservation Manual, 1991

Planting Distribution Patterns