# Specimen Tree Table

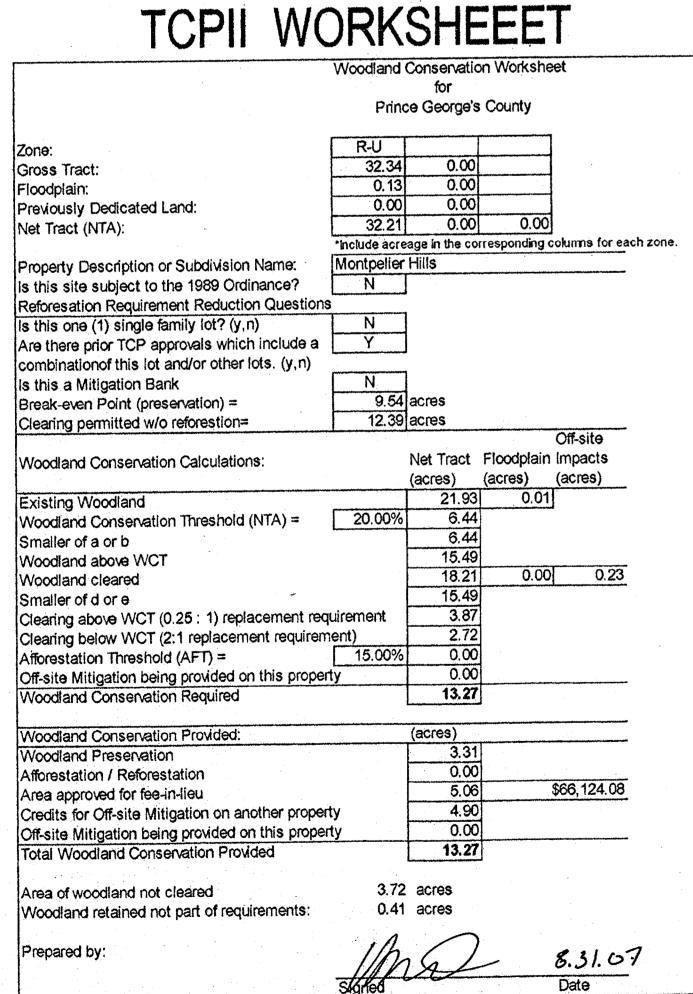
the n	umbers belo	tagged with a me ow. Tags were p with colored fl oximate. Tree ta	laced applagging at	roximately 5' tached. Tree	
Tag #	Common Name	Scientific Name	DBH (inches)	Remarks / Condition	Disposition
1	Willow oak	Quercus phellos	33	Good	Removed
2	Willow oak	Quercus phellos	31	Good	Removed
3	Pin oak	Quercus palustris	31	Fair	Removed
4	White oak	Quercus alba	32	Fair	Removed
5	Willow oak	Quercus phellos	31	Fair, double lead	Removed

NOTE: SPECIMEN TREES WERE FIELD LOCATED.

# TREE PRESERVATION AREAS

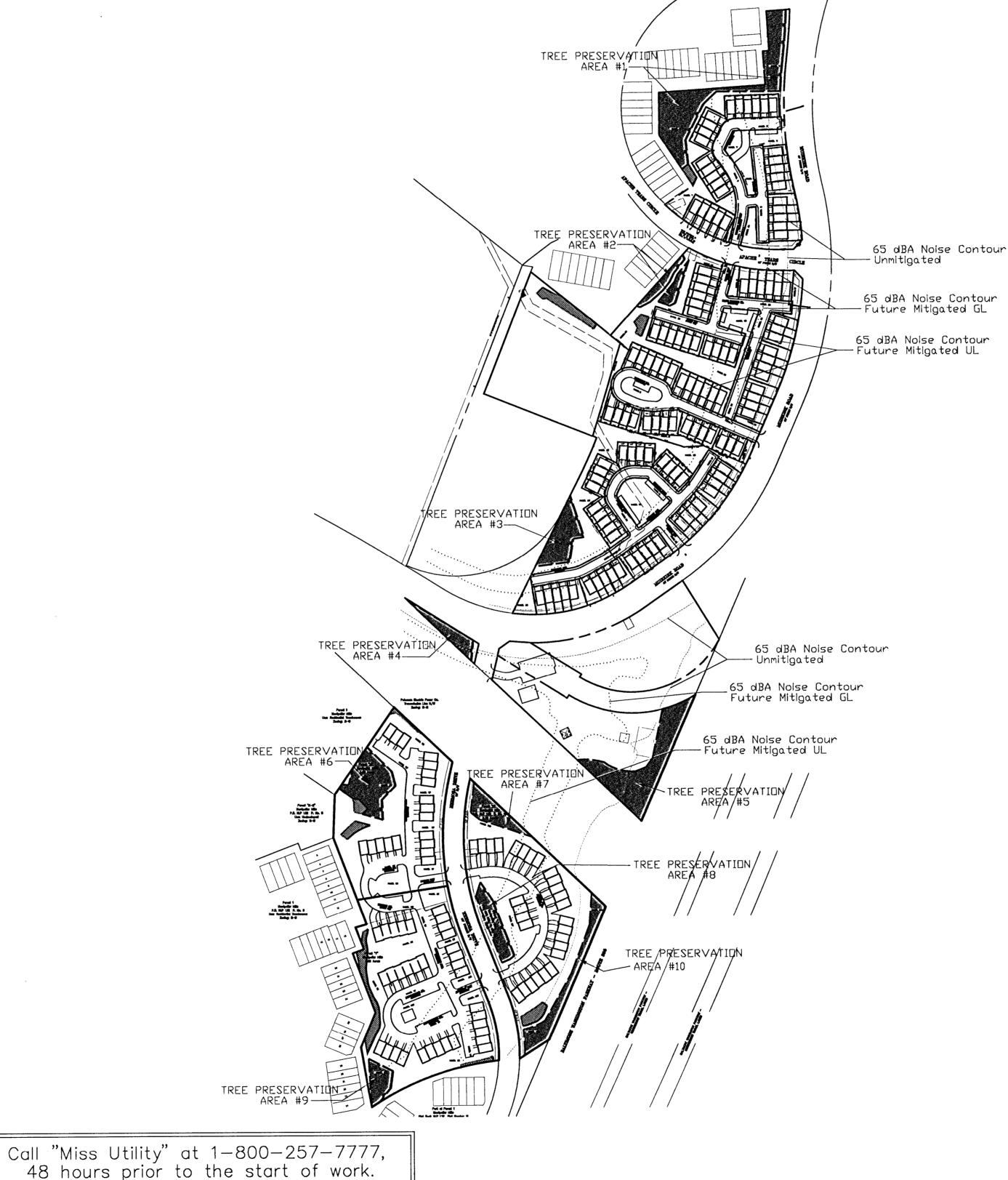
TREE PRESERVATION AREA #1 - 0.76 AC. TREE PRESERVATION AREA #2 - 0.16 AC. TREE PRESERVATION AREA #3 - 0.28 AC. TREE PRESERVATION AREA #4 - 0.13 AC. TREE PRESERVATION AREA #5 - 0.68 AC. TREE PRESERVATION AREA #6 - 0.43 AC. TREE PRESERVATION AREA #7 - 0.20 AC. TREE PRESERVATION AREA #8 - 0.20 AC. TREE PRESERVATION AREA #9 - 0.14 AC. TREE PRESERVATION AREA #10 - 0.33 AC.

TOTAL - 3.31 ACRES



# TREE CONSERVATION PLAN TYPE II

LAUREL(10th) ELECTION DISTRICT PRINCE GEORGE'S COUNTY, MARYLAND



TYPE 2 TREE CONSERVATION (TCP2) PLAN APPROVAL BLOCK Prince George's County Planning Department, M-NCPPO

	TYPE	2 TREE CONSE TCP:	ERVATION PLA 2 – 35 – 06-00	N APPROVAL
	Approved by	Date	DRD#	Reason for Revision
00	Lori Shirley	10/26/2006	SDP-0510	N/A
01	Lori Shirley	9/10/2007	N/A	N/A
02	Mary Outa	11/07/2017	SDP-0510-01	
03				
04				
05				

PROPERTY LINES AS SHOWN HEREON TAKEN FROM BOUNDARY SURVEY TOTAL NUMBER OF UNITS PROPOSED IS: 211 (FEE SIMPLE)

ALL LOTS SHALL BE SERVED BY PUBLIC WATER AND SEWER. - SOILS ON SITE ARE: Ek-Elkton Silt Loam, KpB2-Keyport silt loam, StB2-Sunnyside fine sandy loam, SvC3-Sunnyside sandy clay loam, SwC-Sunnyside Urban Land Complex,

- ALL DIMENSIONS SHOWN ON THIS PLAN ARE SCALED AND SUBJECT TO FINAL COMPUTATIONS AT THE TIME OF FINAL PLATTING.

- PROPERTY IS SHOWN ON TAX MAPS 14-D2, 14-D3, 14-E2 & 14-E3 - THE ILLUSTRATED INVENTORY OF HISTORIC SITES, PRINCE GEORGE'S COUNTY,

- NO CEMETERIES HAVE BEEN OBSERVED ON THE PROPERTY BASED ON RECORDS

## **GENERAL NOTES**

THIS PLAN WAS PREPARED FROM THE BEST AVAILABLE INFORMATION AND

EXISTING SEWER CATEGORY: S-3

SHEET INDEX

**COVER SHEET** 

**PLAN VIEW** 

PLAN VIEW

**PLAN VIEW** 

**PLAN VIEW** 

**PLAN VIEW** 

**PLAN VIEW** 

**PLAN VIEW** 

**NOTES & DETAILS** 

MADE AVAILABLE TO LOIEDERMAN SOLTESZ ASSOCIATES. - SITE ROADWAYS ARE PROPOSED TO BE PRIVATE, EXCEPT AS NOTED.

SHEET

SHEET 2

SHEET 3

SHEET 4

SHEET 5

SHEET 6

SHEET 7

SHEET 8

SHEET 9

SITE ACREAGE: 32.34 ACRES 0.13 ACRES FLOODPLAIN AREA 32.21 ACRES NET TRACT R-U **EXISTING ZONE** 211 TOTAL PROPOSED TOWNHOUSE UNITS

SITE DEVELOPMENT NOTES

PROPOSED SITE RESIDENTIAL DENSITY - 211 UNITS/32.21 AC.

PARCEL "B-1" - 5.11 ACRES PARCEL "E" - 3.76 ACRES PARCEL "K-3" - 3.42 ACRES PARCEL "L" - 3.78 ACRES PARCEL "S" - 3.71 ACRES

PARCELS "J" & "K" PLUS ABANDONED MUIRKIRK ROAD R.O.W. - 5.10 ACRES PARCEL "K-1" - 0.16 ACRES

# PARKING CALCULATIONS

PARKING REQUIRED: 211 UNITS x 2.04 SPACES PER UNIT = 431 SPACES

PARKING PROVIDED:
211 UNITS x 2 SPACES PER UNIT = 422 SPACES
115 GUEST PARKING SPACES
537 TOTAL PARKING SPACES PROVIDED

7 HANDICAP PARKING SPACES PROVIDED - 6 ARE VAN ACCESSIBLE

WOODLAND PRESERVED NOT COUNTED

LEGEND

EXISTING 65 dBA NOISE CONTOUR

EXISTING UNMITIGATED 65 ABA NOISE CONTOUR FUTURE MITIGATED GROUND LEVEL 65 aBA NDISE CONTOUR FUTURE MITIGATED GL 65 ABA NOISE CONTOUR

WOODLAND PRESERVATION

VICINITY MAP

SCALE 1" = 2,000'

6.55 UNITS/ACRE

FUTURE MITIGATED UL 65 ABA NOISE CONTOUR FUTURE MITIGATED UPPER LEVEL 65 dBA NOISE CONTOUR

Noise mitigation to be provided at time of building permit Acoustical design techniques to be incorporated into the building design and construction. See Phoenix Noise & Vibration, LLC Noise Analysis dated August 31, 2017.

		E 2 TREE CONSE	ntal Planning Secti	on
	Approved by	Date	DRD#	Reason for Revision
00	Lori Shirley	10/26/2006	SDP-0510	N/A
01	Lori Shirley	9/10/2007	N/A	N/A
02	Mary Outra	11/07/2017	SDP-0510-01	
03	7			
04				
05				

OWNERS CERTIFICATE hereby acknowledge that we are aware of this Type 2 Tree Conservation Plan (TCP2) and that we understand the requirements as set forth in this TCP 2. Signed: Men Benn Owner or Owners Representative

# QUALIFIED PROFESSIONAL CERTIFICATION

This complies with the current requirements of Prince George's County Code and the Environmental Technical Manual.

Frank C. Johnson 9220 Wightman Rd Suite 120 Montgomery Village, MD 20886 301-670-0840

TREE CONSERVATION PLAN TYPE II

fjohnson@mhgpa.com

LAUREL(10th) ELECTION DISTRICT PRINCE GEORGE'S COUNTY, MARYLAND

- ONE INCH-1"= 200' SHEET .

Loiederman

Environmental Sciences

Planning

Surveying

Soltesz Associates, Inc. Engineering

LANHAM OFFICE 4266 Forbes Boulevard Lanham, MD 20706 t. 301.794.7555 f. 301.794.7656

Rockville Lanham Frederick Waldorf Leonardtow Chantilly

Revised Plan per MNCPPC comments Revised Plan to reflect current site plan Revised Worksheet To Reflect Changes To Tree Preservation Area #6 (MHG)
REVISED WORKSHEET DUE TO VARIOUS REVISIONS TO PLANS #3 ADDRESSED RESOLUTION (6/16/06) COMMENTS REMOVED TREE PRESERVATION AREAS ON PARCELS K & K-1 ADDRESSED REFERRAL COMMENTS FROM APRIL 3, 2006 MEMORANDUM CAD Standards Version: www.LSAssociates.ne

14 E-2.3 215NE08 216NE08 WSSC 200' Sheet 215NE08 DATE V8 - 2000 216NE08 Checked:

9220 Wightman Road, Suite 120

Montgomery Village, Maryland

The excavator must notify all public utility companies with underground facilities

in the area of proposed excavation and have those facilities located by the utility

companies prior to commencing excavation. The excavator is responsible for

compliance with requirements of Chapter 36A of the Montgomery County Code.

Macris, Hendricks & Glascock, P.A.

Landscape Architects • Surveyors

Phone 301.670.0840

Fax 301.948.0693

www.mhgpa.com

COVER SHEET

OWNER / DEVELOPER

BERMAN ENTERPRISES

BECO Building West 5410 Edson Lane Suite 220 Rockville, MD 20852

Contact: Brian E. Berman (301)816-1555

MISS UTILITY NOTE INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

MONTPELIER HILLS

PROJECT NO.

1622-00-00

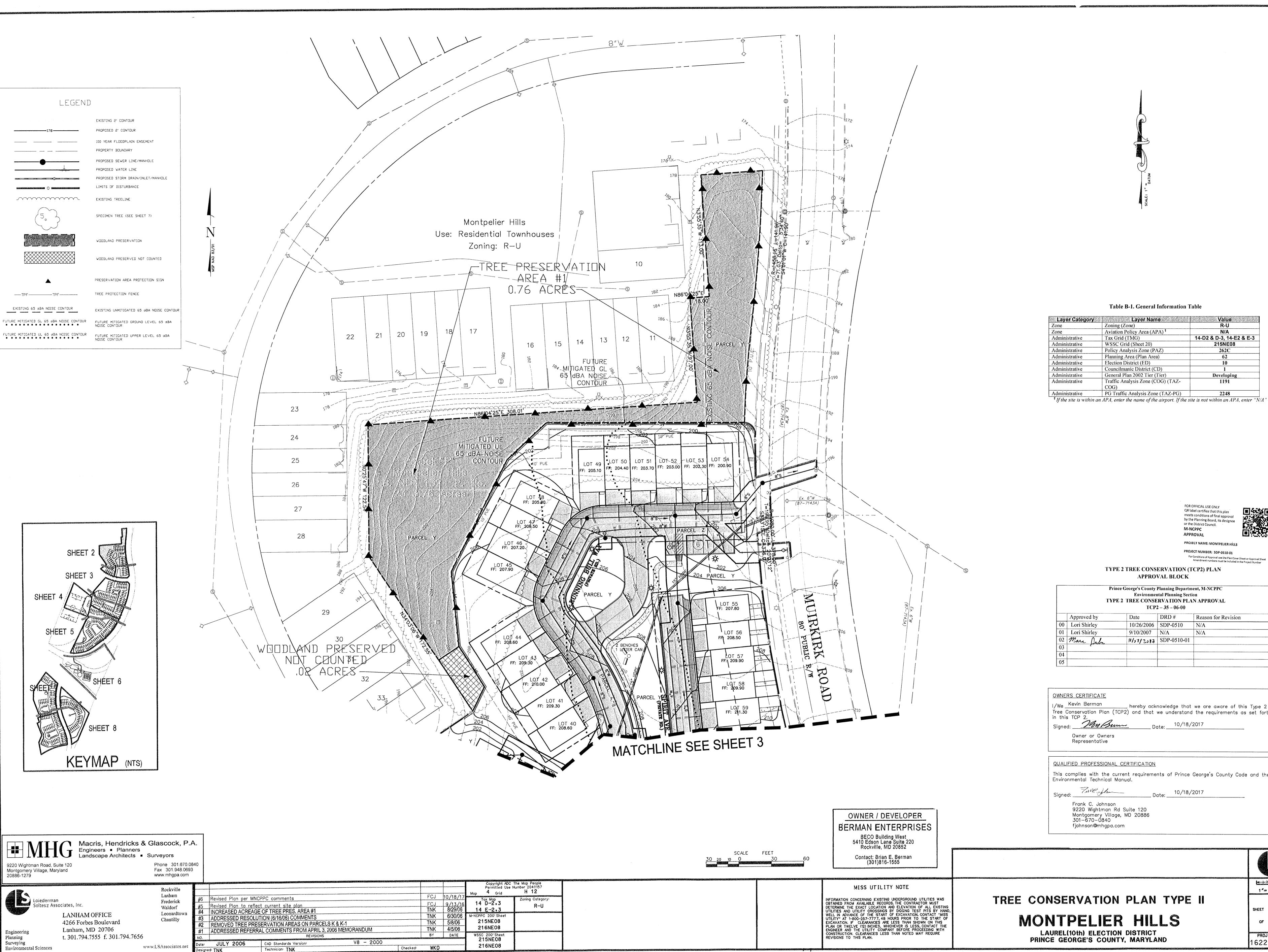


Table B-1. General Information Table

Layer Category	Layer Name	Value
Zone	Zoning (Zone)	R-U
Zone	Aviation Policy Area (APA) <sup>1</sup>	N/A
Administrative	Tax Grid (TMG)	14-D2 & D-3, 14-E2 & E-3
Administrative	WSSC Grid (Sheet 20)	215NE08
Administrative	Policy Analysis Zone (PAZ)	262C
Administrative	Planning Area (Plan Area)	62
Administrative	Election District (ED)	10
Administrative	Councilmanic District (CD)	1
Administrative	General Plan 2002 Tier (Tier)	Developing
Administrative	Traffic Analysis Zone (COG) (TAZ-	1191
	COG)	
Administrative	PG Traffic Analysis Zone (TAZ-PG)	2248

FOR OFFICIAL USE ONLY QR label certifies that this plan meets conditions of final approval by the Planning Board, its designee or the District Council. M-NCPPC APPROVAL PROJECT NAME: MONTPELIER HILLS

PROJECT NUMBER: SDP-0510-01 For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet

TYPE 2 TREE CONSERVATION (TCP2) PLAN APPROVAL BLOCK

Prince George's County Planning Department, M-NCPPC Environmental Planning Section TYPE 2 TREE CONSERVATION PLAN APPROVAL TCP2 – 35 – 06-00				
	Approved by	Date	DRD#	Reason for Revision
00	Lori Shirley	10/26/2006	SDP-0510	N/A
01	Lori Shirley	9/10/2007	N/A	N/A
02	Mare July	11/07/2017	SDP-0510-01	
03	6			
04				
05				

OWNERS CERTIFICATE \_ hereby acknowledge that we are aware of this Type 2 Tree Conservation Plan (TCP2) and that we understand the requirements as set forth in this TCP 2. Owner or Owners Representative

QUALIFIED PROFESSIONAL CERTIFICATION

This complies with the current requirements of Prince George's County Code and the Environmental Technical Manual.

Frank C. Johnson 9220 Wightman Rd Suite 120 Montgomery Village, MD 20886 301-670-0840 fjohnson@mhgpa.com

- 1-ONE INCH-

1"= 30'



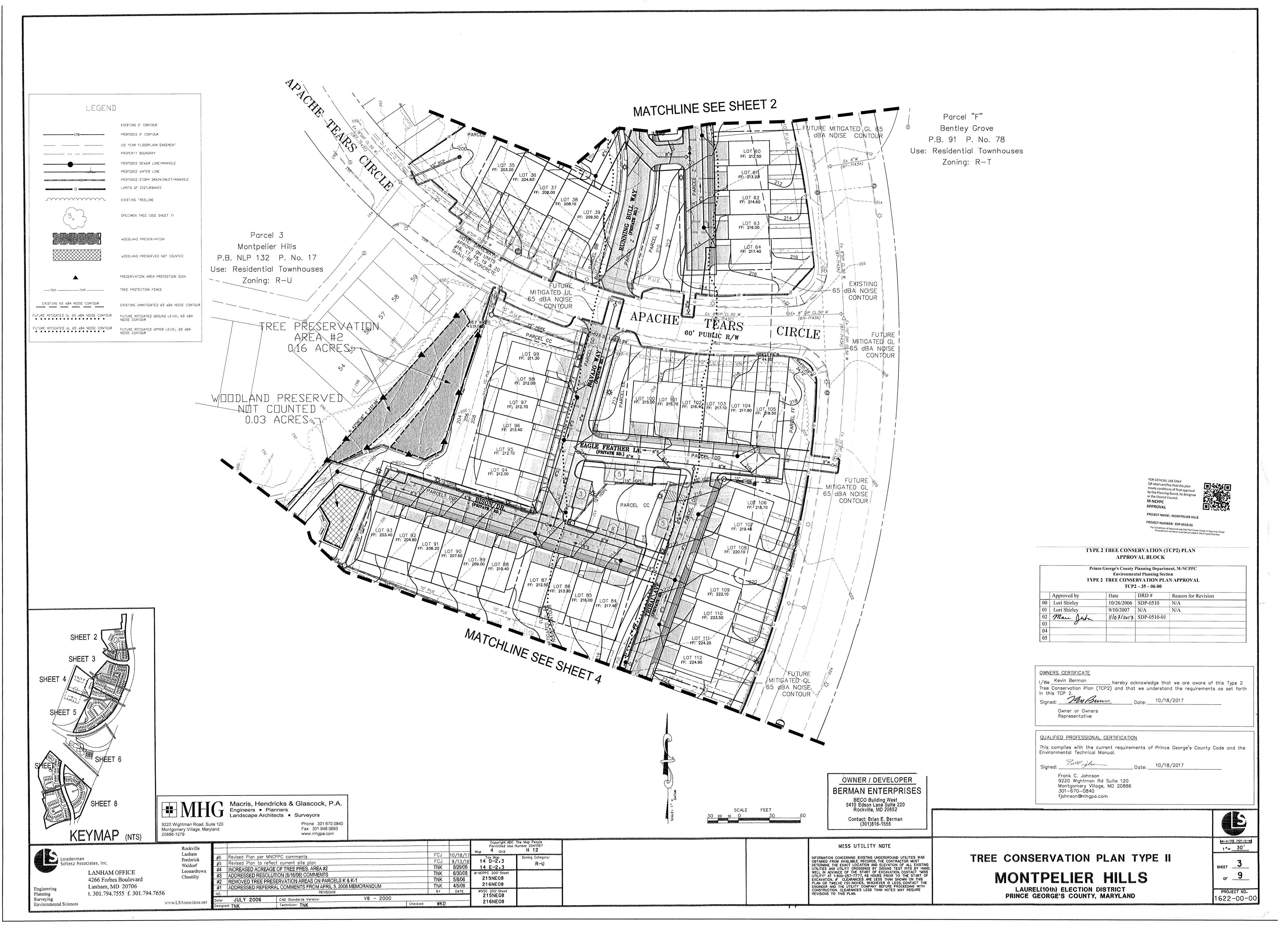
Designed: TNK

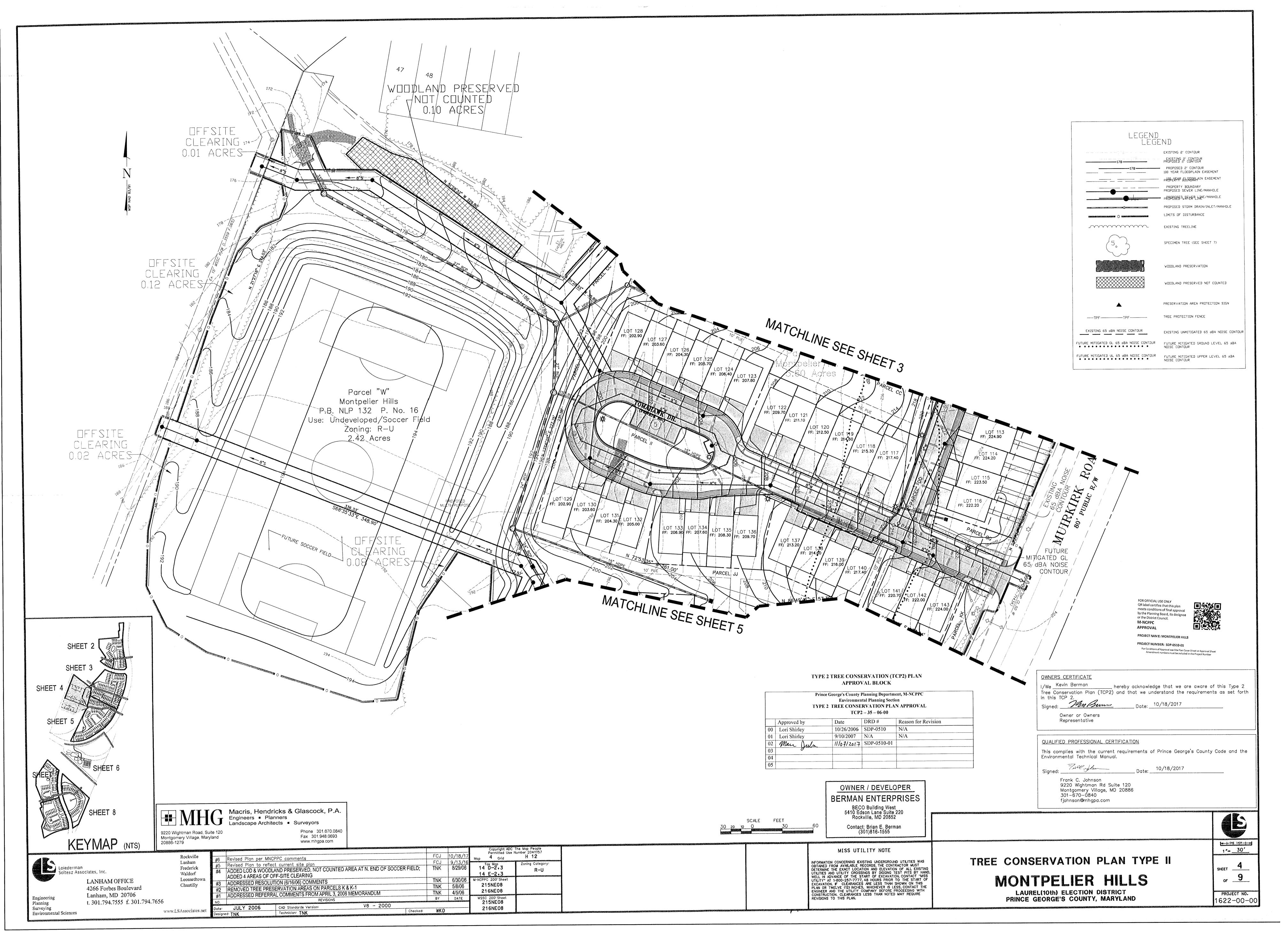
TREE CONSERVATION PLAN TYPE II

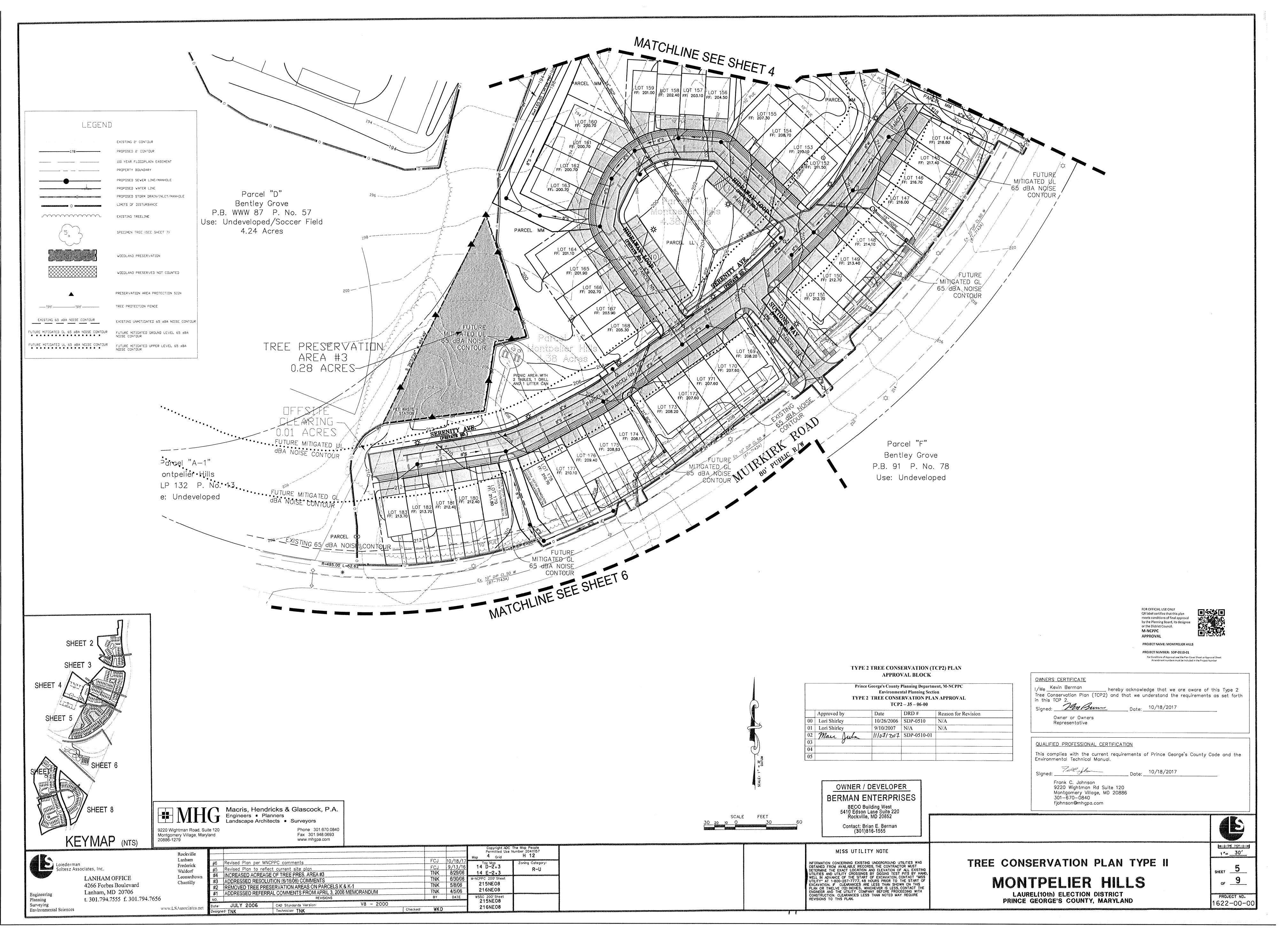
MONTPELIER HILLS

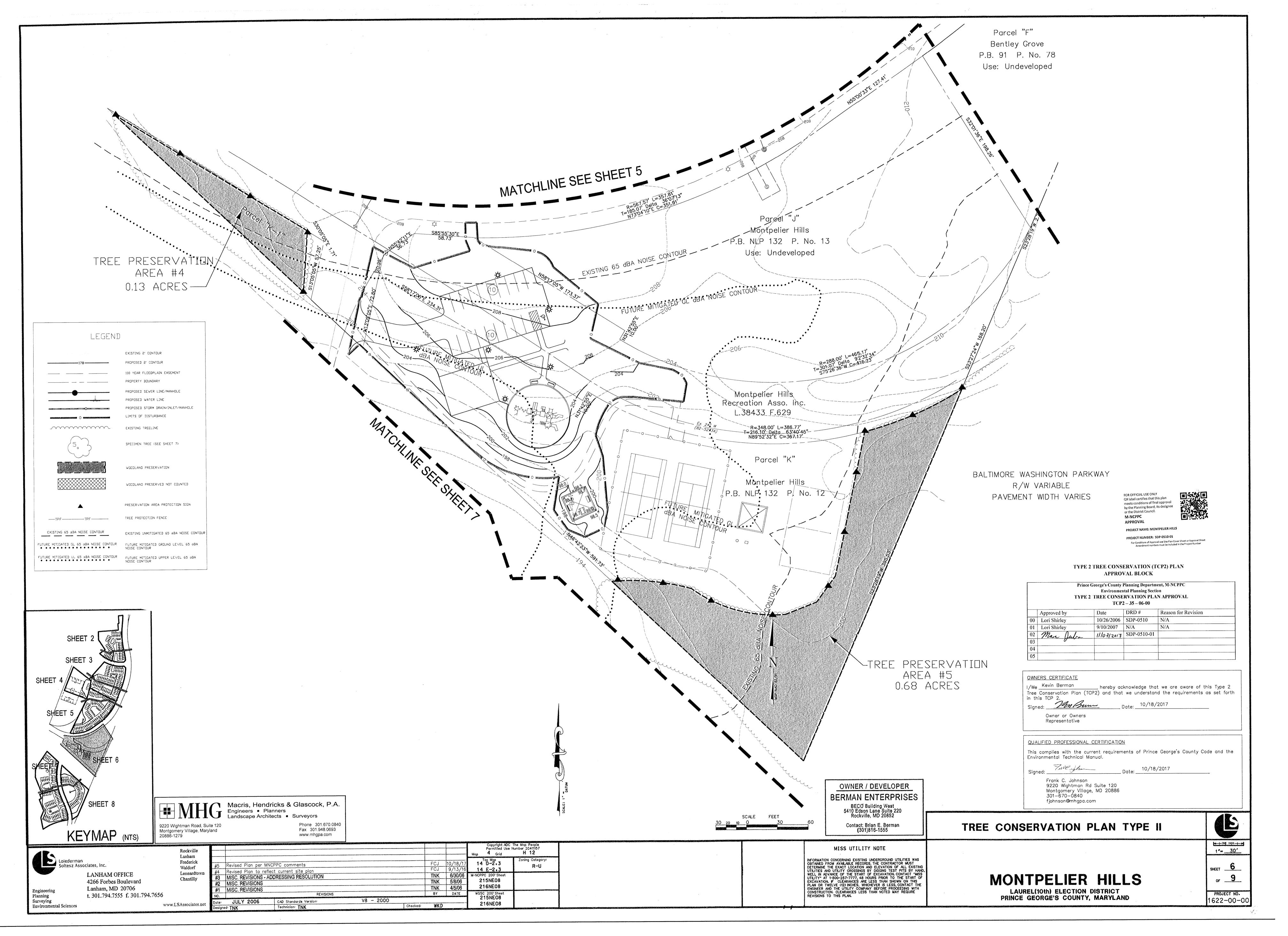
SHEET \_\_\_\_ of <u>9</u>

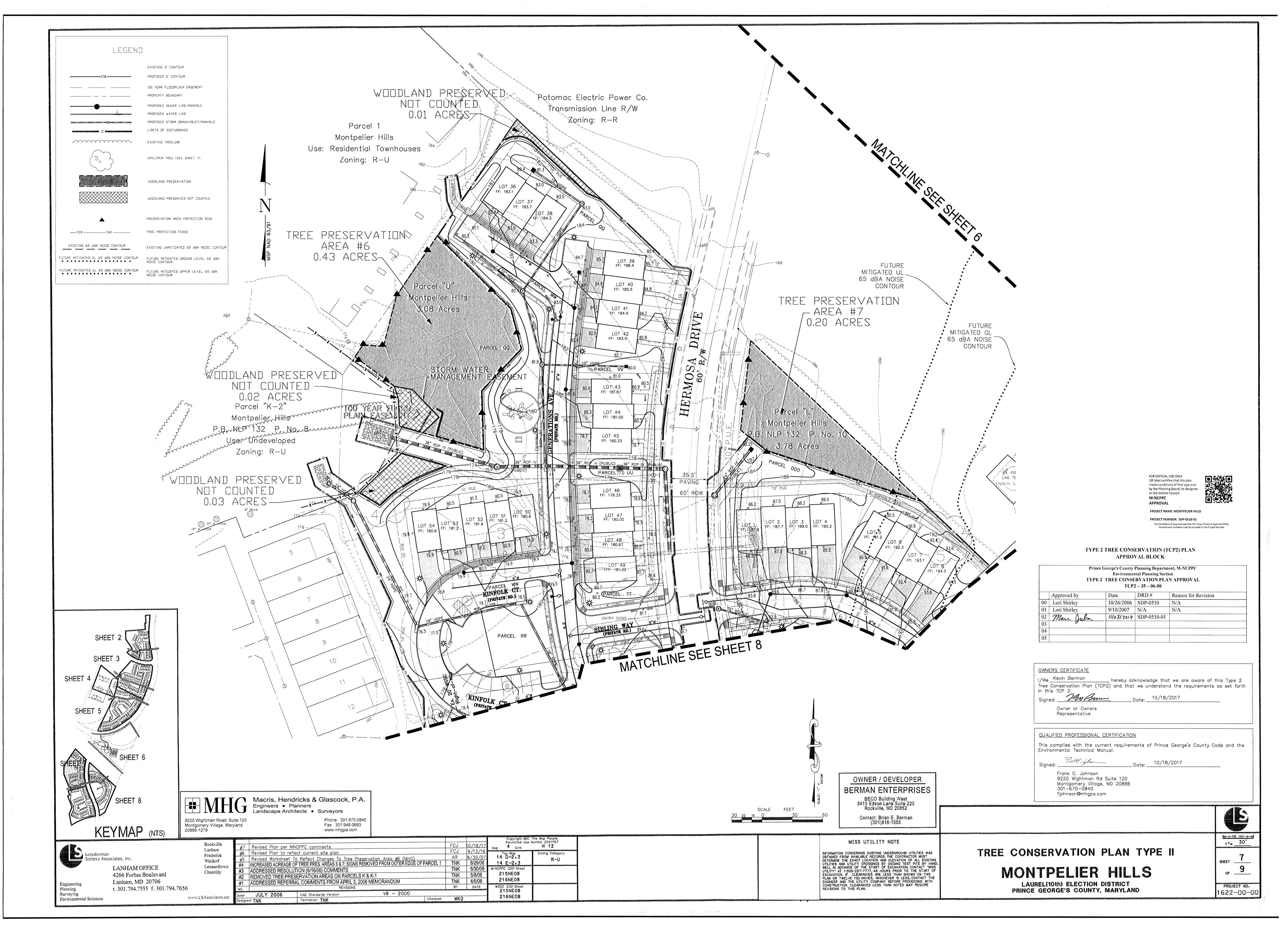
PROJECT NO. 1622-00-00

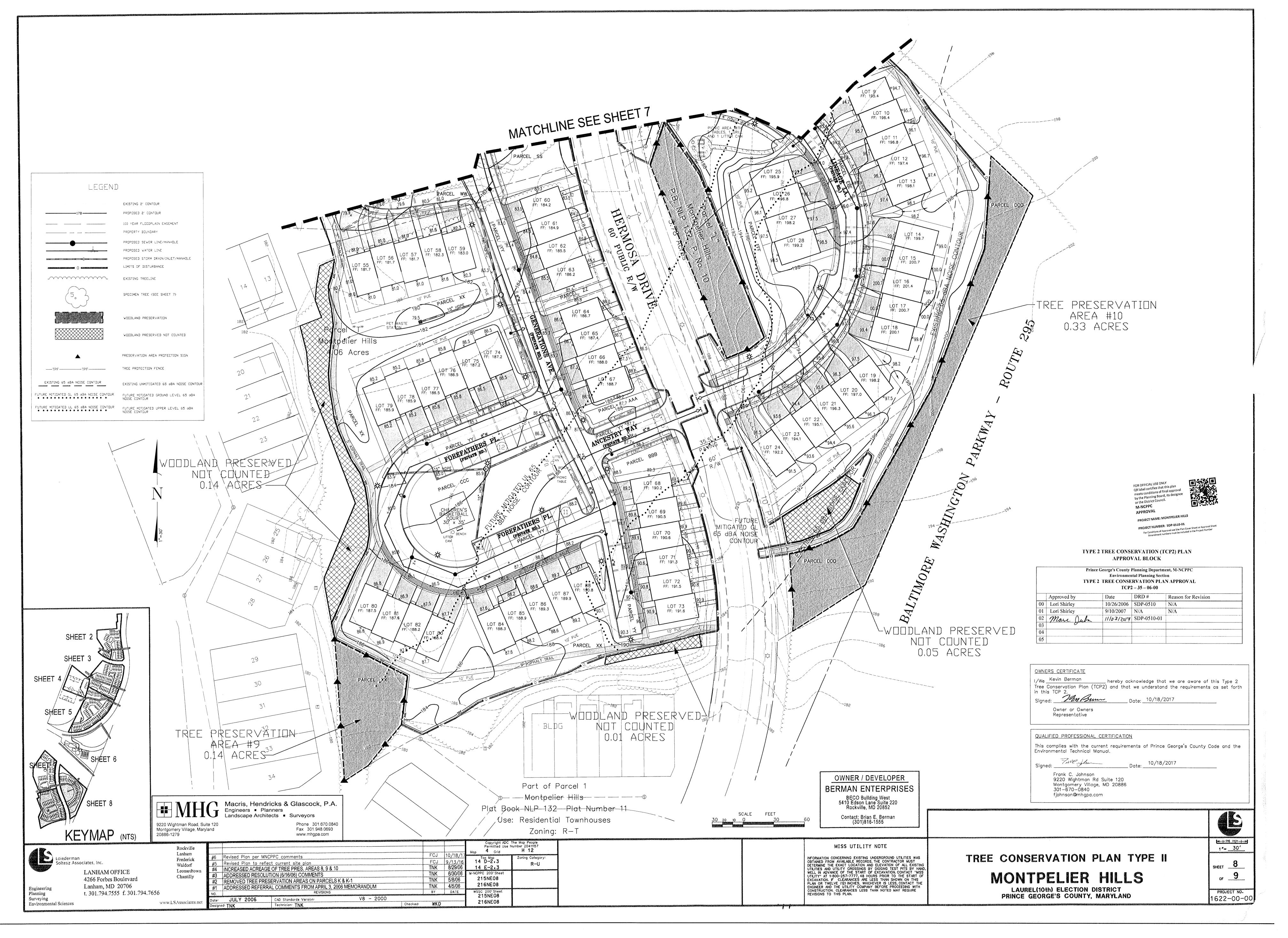












REMOVAL OF HAZARDOUS TREES OR HAZARDOUS LIMBS BY DEVELOPERS OR BUILDERS

THE DEVELOPER AND/OR BUILDER IS RESPONSIBLE FOR THE COMPLETE PRESERVATION OF ALL FORESTED AREAS SHOWN ON THE APPROVED PLAN TO REMAIN UNDISTURBED. ONLY TREES OR PARTS THEREOF DESIGNATED BY THE DEPARTMENT OF ENVIRONMENTAL RESOURCES AS DEAD, DYING, OR HAZARDOUS MAY BE REMOVED.

1. A TREE IS CONSIDERED HAZARDOUS IF A CONDITION IS PRESENT WHICH LEADS A LICENSED ARBORIST OR A LICENSED TREE EXPERT TO BELIEVE THAT THE TREE OR A PORTION OF THE TREE HAS A POTENTIAL TO FALL AND STRIKE A STRUC-

TURE, PARKING AREA, OR OTHER HIGH USE AREA AND RESULT IN A PERSONAL INJURY OR PROPERTY DAMAGE.

2. IF A HAZARDOUS CONDITION MAY BE ALLEVIATED BY CORRECTIVE PRUNING, THE LICENSED ARBORIST OR A LICENSED TREE EXPERT MAY PROCEED WITHOUT FURTHER AUTHORIZATION. THE PRUNING MUST BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE ANSI A-300 PRUNING STANDARDS ("TREE, SHRUB, AND OTHER WOODY PLANT MAINTENANCE - STANDARD PRACTICES").

3. CORRECTIVE MEASURES REQUIRING THE REMOVAL OF THE HAZARDOUS TREE OR PORTIONS THEREOF SHALL REQUIRE AUTHORIZATION BY THE BUILDING OR GRADING INSPECTOR IF THERE IS A VALID GRADING OR BUILDING PERMIT FOR THE SUBJECT LOTS OR PARCELS ON WHICH THE TREES ARE LOCATED. ONLY AFTER APPROVAL OF THE APPROPRIATE INSPECT-OR MAY THE TREE BE CUT BY CHAINSAW TO NEAR THE EXISTING GROUND LEVEL. THE STUMP MAY NOT BE REMOVED OR COVERED WITH SOIL, MULCH OR OTHER MATERIALS THAT WOULD INHIBIT SPROUTING.

4. DEBRIS FROM THE TREE REMOVAL OR PRUNING THAT OCCURS WITHIN 35 FEET OF THE WOODLAND EDGE MAY BE RE-MOVED AND PROPERLY DISPOSED OF BY RECYCLING, CHIPPING OR OTHER ACCEPTABLE METHODS. ALL DEBRIS THAT IS MORE THAN 35 FEET FROM THE WOODLAND EDGE SHALL BE CUT UP TO ALLOW CONTACT WITH THE GROUND, THUS EN-COURAGING DECOMPOSITION. THE SMALLER MATERIALS SHALL BE PLACED INTO BRUSH PILES THAT WILL SERVE AS WILD-

REMOVAL OF HAZARDOUS TREES, HAZARDOUS LIMBS, NOXIOUS PLANTS, INVASIVE PLANTS OR NON-NATIVE PLANTS IN WOODLAND CONSERVATION AREAS OWNED BY INDIVIDUAL HOMEOWNERS

. IF THE DEVELOPER OR BUILDER NO LONGER HAS AN INTEREST IN THE PROPERTY THE HOME OWNER SHALL OBTAIN A WRITTEN STATEMENT FROM THE LICENSED ARBORIST OR LICENSED TREE EXPERT IDENTIFYING THE HAZARDOUS CON-DITION AND THE PROPOSED CORRECTIVE MEASURES PRIOR TO HAVING THE WORK CONDUCTED. THE TREE MAY THEN BE REMOVED BY THE ARBORIST OR TREE EXPERT. THE STUMP SHALL BE CUT AS CLOSE TO THE GROUND AS POSSIBLE AND LEFT IN PLACE. THE REMOVAL OR GRINDING OF THE STUMPS IN THE WOODLAND CONSERVATION AREA IS NOT PER-

2. THE REMOVAL OF NOXIOUS, INVASIVE, AND NON-NATIVE PLANT SPECIES FROM THE WOODLAND CONSERVATION AREAS MAY BE DONE WITH THE USE OF HAND-HELD EQUIPMENT ONLY SUCH AS PRUNERS OR A CHAIN SAW. THESE PLANTS MAY BE CUT NEAR THE GROUND AND THE MATERIAL LESS THAN TWO (2) INCHES DIAMETER SHALL BE CUT TO ALLOW CONTACT WITH THE GROUND, THUS ENCOURAGING DECOMPOSITION.

3. THE USE OF BROADCAST SPRAYING OF HERBICIDES IS NOT PERMITTED. HOWEVER, THE USE OF HERBICIDES TO DIS-COURAGE RE-SPROUTING OF INVASIVE, NOXIOUS, OR NON-NATIVE PLANTS IS PERMITTED IF DONE AS AN APPLICATION OF THE CHEMICAL DIRECTLY TO THE CUT STUMP IMMEDIATELY FOLLOWING CUTTING OF PLANT TOPS. THE USE OF ANY HERBICIDE SHALL BE DONE IN ACCORDANCE WITH THE LABEL INSTRUCTIONS.

NOTE: THE USE OF CHAINSAWS IS EXTREMELY DANGEROUS AND SHOULD NOT BE CONDUCTED WITH POORLY MAINTAINED EQUIPMENT, WITHOUT SAFETY EQUIPMENT, OR BY INDIVIDUALS NOT TRAINED IN THE USE OF THIS EQUIPMENT FOR THE PRUNING AND/OR CUTTING OF TREES.

PROTECTION OF REFORESTATION AND AFFORESTATION AREAS BY DEVELOPERS OR BUILDERS

. REFORESTATION AND AFFORESTATION AREAS SHALL BE PLANTED PRIOR TO THE OCCUPANCY OF THE NEAREST BUILD-ING OR RESIDENCE. IF PLANTING CANNOT OCCUR DUE TO PLANTING CONDITIONS, THE DEVELOPER OR PROPERTY OWNER SHALL INSTALL THE FENCING AND SIGNAGE IN ACCORDANCE WITH THE APPROVED TYPE II TREE CONSERVATION PLAN. PLANTING SHALL THEN BE ACCOMPLISHED DURING THE NEXT PLANTING SEASON. IF PLANTING IS DELAYED BEYOND THE TRANSFER OF THE PROPERTY TITLE, TO THE HOMEOWNER, THE DEVELOPER SHALL OBTAIN A SIGNED STATEMENT FROM THE PURCHASER INDICATING THAT THEY UNDERSTAND THAT THE REFORESTATION AREA IS LOCATED ON THEIR PROPERTY AND THAT REFORESTATION WILL OCCUR DURING THE NEXT PLANTING SEASON. A COPY OF THAT DOCUMENT SHALL BE PRESENTED TO THE GRADING INSPECTOR AND THE ENVIRONMENTAL PLANNING SECTION.

REFORESTATION AREAS SHALL NOT BE MOWED, HOWEVER, THE MANAGEMENT OF COMPETING VEGETATION AROUND INDIVIDUAL TREES IS ACCEPTABLE.

WOODLAND AREAS NOT COUNTED AS PART OF THE WOODLAND CONSERVATION REQUIREMENTS

. A REVISED TREE CONSERVATION PLAN IS REQUIRED PRIOR TO CLEARING ANY WOODLAND AREA WHICH IS NOT SPECIFI-CALLY IDENTIFIED TO BE CLEARED ON THE MOST RECENTLY APPROVED TYPE II TREE CONSERVATION (TCP) ON FILE IN THE OFFICE OF THE M-NCPPC, ENVIRONMENTAL PLANNING SECTION LOCATED ON THE 4TH FLOOR OF THE COUNTY AD-MINISTRATION BUILDING AT 14741 GOVERNOR ODEN BOWIE DRIVE, UPPER MARLBORO, MARYLAND 2072, PHONE 301 952-3650. ADDITIONAL MITIGATION WILL BE REQUIRED FOR THE CLEARING OF ALL WOODLANDS BEYOND THAT REFLECT-ED ON THE APPROVED PLANS. ALTHOUGH CLEARING MAY BE ALLOWED, IT MAY BE SUBJECT TO ADDITIONAL REPLACE-MENT REQUIREMENTS, MITIGATION, AND FEES WHICH MUST BE REFLECTED ON TCP REVISIONS APPROVED BY THE M-NCPPC ENVIRONMENTAL PLANNING SECTION.

. HOMEOWNERS OR PROPERTY OWNERS MAY REMOVE TREES LESS THAN TWO (2) INCHES DIAMETER, SHRUBS, AND VINES IN WOODLAND AREAS WHICH ARE SAVED BUT NOT PART OF THE WOODLAND CONSERVATION REQUIREMENTS AFTER ALL PERMITS HAVE BEEN RELEASED FOR THE SUBJECT PROPERTY. THIS AREA MAY NOT BE TILLED OR HAVE OTHER GROUND DISTURBANCES WHICH WOULD RESULT IN DAMAGE TO THE TREE ROOTS. RAKING THE LEAVES AND OVER SEEDING WITH NATIVE GRASSES INCLUDING ANY VARIETY OF KENTUCKY 31 FESCUE IS NOT ACCEPTABLE.

# EDGE MANAGEMENT NOTES

1. ALL NON-NATIVE, NOXIOUS OR INVASIVE SPECIES MAY BE SELECTIVELY CLEARED FROM TREE SAVE AREAS BY CUTTING AT GROUND LEVEL WITH A SAW OR CLIPPERS AND THEN IMMEDIATELY APPLYING A HERBICIDE TO THE CUT SURFACE IN ACCORDANCE WITH THE METHOD APPROVED FOR THAT REGIS-TERED HERIBICIDE.

BELOW IS A LIST OF SPECIES FITTING THIS CLASSIFICATION:

GARLIC MUSTARD COMMON REED LESSER CELANDINE CLIMBING EUONYMUS ENGLISH IVY JAPANESE BARBERRY WINGED EUONYMUS BAMBOO MULTIFLORA ROSE

CORALBERRY

WHITE MULBERRY

TALL FESCUE K31 FESCUE JAPANESE KNOTWEED PORCELINE BERRY WINTERCREEPER JAPANESE

PERIWINKLE RUSSIAN OLIVE PRIVET COMMON BUCKTHORN WINEBERRY NORWAY MAPLE EMPRESS TREE

HONEYSUCKLE KUDZU WESTERIA AUTUMN OLIVE BUSH HONEYSUCKLES EUROPEAN BUCKTHORN JAPANESE SPIRAEA TREE OF HEAVEN SWEET CHERRY

IN ADDITION THE FOLLOWING NATIVE SPECIES MAY BE CLEARED WITHIN 75 FEET OF AN EDGE DUE TO THE NUISANCE NATURE OF THE PLANTS WHEN GROWING IN THE PROXIMITY OF RESIDENCES.

POISON IVY

GREENBRIER

**BLACKBERRY** 

SERICEA LESPEDEZA

MILE-A-MINUTE VINE

CINNAMON VINE

2. ALL HAZARDOUS TREES WITHIN 75 FEET OF AN EDGE MAY BE PRUNED BY A PROFESSIONAL ARBORIST OR A LICENSED TREE EXPERT IN ORDER TO CORRECT THE POTENTIAL PROBLEM. IN THE EVENT THE PROBLEM CANNOT BE CORRECTED BY PRUNING, THE TREE MAY BE REMOVED. A TREE IS CONSIDERED HAZARDOUS IF THERE IS A POTENTIAL FOR PROPERTY DAMAGE OR THE POSSIBILITY OF PERSONAL INJURY. A 50 FOOT TALL TREE THAT IS 75 FEET FROM AN EDGE AND 120 FEET FROM A TARGET IS NOT A HAZARDOUS TREE. A HAZARDOUS TREE MUST EXHIBIT CHARACTERISTICS THAT WOULD LEAD TO THE FAILURE OF ONE OR MORE PARTS OF THE TREE WHICH WOULD THEN IMPACT THE TARGET AREA.

3. IF TREE REMOVALS REDUCE THE STOCKING LEVELS BELOW 65 SQUARE FEET OF BASAL AREA PER ACRE THE PROPERTY OWNER SHALL REPLANT TREES IN THE DISTURBED AREA IN ORDER TO RETURN THE STOCK LEVELS TO 65 SQUARE FEET OF BASAL AREA WITHIN FIVE (5) YEARS.

4. TREES MAY BE PRUNED IN ACCORDANCE WITH APPROVED ARBORICULTURAL STANDARDS. PRUNING SHALL NOT BE DONE IN SUCH A MANNER AS TO BE INJURIOUS TO THE TREE. THE STATE OF MARYLAND REQUIRES THAT PRUNING NOT DONE BY THE PROPERTY OWNER SHALL BE DONE BY A PROFESSIONAL ARBORISTS OR A LICENSED TREE EXPERT.

TILLING THE SOILS IN THE FOREST CONSERVATION AREAS IN ORDER TO SEED WITH GRASSES IS NOT PERMITTED. HOWEVER, THE PROPERTY OWNER MAY SOW WITH SHADE TOLERANT GRASSES WITHIN 30 FEET OF AN EDGE. THE USE OF KENTUCKY 31 FESCUE IS NOT ACCEPTABLE.

TREE/WOODLAND CONSERVATION AREA MANAGEMENT GUIDANCE FOR HOMEOWNERS

PREPARED BY THE ENVIRONMENTAL PLANNING SECTION, PLANNING DEPARTMENT,

REMOVAL OF HAZARDOUS TREES, HAZARDOUS LIMBS, NOXIOUS PLANTS, INVASIVE PLANTS OR NON-NATIVE PLANTS IN WOODLAND CONSERVATION AREAS OWNED BY INDIVIDUAL HOMEOWNERS

1. IF THE DEVELOPER OR BUILDER NO LONGER HAS AN INTEREST IN THE PROPERTY THE HOMEOWNER SHALL OBTAIN A WRITTEN STATEMENT FROM THE LICENSED ARBORIST OR LICENSED TREE EXPERT IDENTIFYING THE HAZARDOUS CONDITION AND THE PRO-POSED CORRECTIVE MEASURES PRIOR TO HAVING THE WORK CONDUCTED. THE TREE MAY THEN BE REMOVED BY THE ARBORIST OR TREE EXPERT. THE STUMP SHALL BE CUT AS CLOSE TO THE GROUND AS POSSIBLE AND LEFT IN PLACE. THE REMOVAL OR GRIND-ING OF THE STUMPS IN THE WOODLAND CONSERVATION AREA IS NOT PERMITTED.

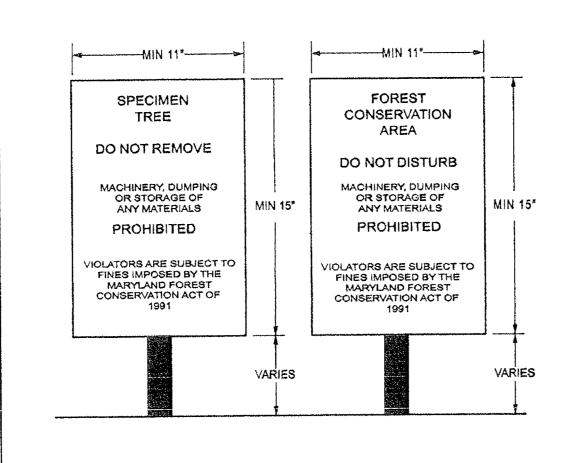
THE REMOVAL OF NOXIOUS, INVASIVE, AND NON-NATIVES PLANT SPECIES FROM THE WOODLAND CONSERVATION AREAS MAY BE DONE WITH THE USE OF HAND-HELD EQUIP-MENT ONLY SUCH AS PRUNERS OR A CHAIN SAW. THESE PLANTS MAY BE CUT NEAR THE GROUND AND THE MATERIAL LESS THAN TWO INCHES IN DIAMETER MAY BE REMOVED FROM THE AREA AND DISPOSED OF APPROPRIATELY. ALL MATERIAL FROM THESE NOX-IOUS, INVASIVE, AND NON-NATIVE PLANTS GREATER THAN TWO (2) INCHES DIAMETER SHALL BE CUT TO ALLOW CONTACT WITH THE GROUND, THUS ENCOURAGING DECOM-

. THE USE OF BROADCAST SPRAYING OF HERBICIDES IS NOT PERMITTED. HOWEVER, THE USE OF HERBICIDES TO DISCOURAGE RE-SPROUTING OF INVASIVE, NOXIOUS, OR NON-NATIVE PLANTS IS PERMITTED IF DONE AS AN APPLICATION OF THE CHEMICAL DIRECTLY TO THE CUT STUMP IMMEDIATELY FOLLOWING CUTTING OF PLANT TOPS. THE USE OF ANY HERBICIDE SHALL BE DONE IN ACCORDANCE WITH THE LABEL INSTRUCTIONS.

NOTE: THE USE OF CHAINSAWS IS EXTREMELY DANGEROUS AND SHOULD NOT BE CONDUCT-ED WITH POORLY MAINTAINED EQUIPMENT, WITHOUT SAFETY EQUIPMENT, OR BY INDIVI-DUALS NOT TRAINED IN THE USE OF THIS EQUIPMENT FOR THE PRUNING AND/OR CUTTING

EXCEPT FOR THE REMOVAL OF HAZARDOUS TREES OR LIMBS AS DESCRIBED ABOVE, A REVISED TREE CONSERVATION PLAN IS REQUIRED PRIOR TO CLEARING ANY WOODLAND AREA WHICH IS NOT SPECIFICALLY IDENTIFIED TO BE CLEARED ON THE MOST RECENTLY APPROVED TYPE II TREE CONSERVATION (TCP) ON FILE IN THE OFFICE OF THE M-NCPPC, ENVIRONMENTAL PLANNING SECTION LOCATED ON THE 4TH FLOOR OF THE COUNTY ADMINISTRATION BUILDING AT 14741 GOVERNOR ODEN BOWIE DRIVE, UPPER MARLBORO MARYLAND 20772, PHONE 301-952-3650. ADDITIONAL MITIGATION WILL BE REQUIRED FOR THE CLEARING OF ALL WOODLANDS BEYOND THAT REFLECTED ON THE APPROVED PLANS. ALTHOUGH CLEARING MAY BE ALLOWED, IT MAY BE SUBJECT TO ADDITIONAL REPLACE-MENT REQUIREMENTS, MITIGATION, AND FEES WHICH MUST BE REFLECTED ON TCP RE-VISIONS APPROVED BY THE M-NCPPC ENVIRONMENTAL PLANNING SECTION.

PREPARED: APRIL 21, 2003



1. BOTTOM OF SIGNS TO BE HIGHER THAN TOP OF TREE PROTECTION FENCE.
2. SIGNS TO BE PLACED APPROXIMATELY 50' APART. CONDITIONS ON SITE AFFECTING VISIBILITY MAY WARRANT PLACING SIGNS CLOSER OR FARTHER APART. 3. ATTACHMENT OF SIGNS TO TREES IS PROHIBITED.

CONSTRUCTION SIGNS

Call "Miss Utility" at 1-800-257-7777,

48 hours prior to the start of work.

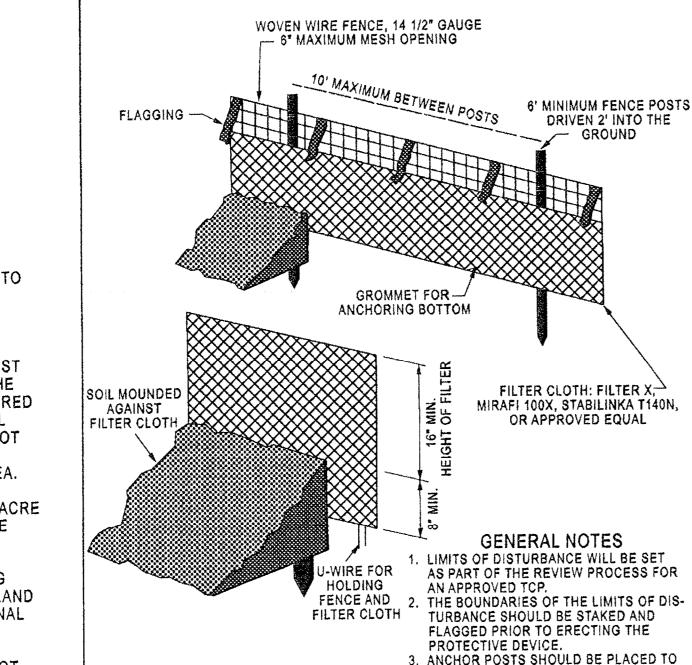
The excavator must notify all public utility companies with underground facilities

in the area of proposed excavation and have those facilities located by the utility

companies prior to commencing excavation. The excavator is responsible for

compliance with requirements of Chapter 36A of the Montgomery County Code.

SOURCE: ADAPTED FROM FOREST CONSERVATION MANUAL, 1991



TREE PROTECTIVE DEVICE FILTER CLOTH ON WIRE MESH

AVOID SEVERING OR DAMAGING LARGE

4. FENCING MATERIAL SHOULD BE FASTENED

OPTION 1

SECURELY TO THE ANCHOR POSTS.

OWNER / DEVELOPER BERMAN ENTERPRISES BECO Building West 5410 Edson Lane Suite 220 Rockville, MD 20852

Contact: Brian E. Berman

(301)816-1555

MISS UTILITY NOTE

INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION, CONTACT "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF

EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE

ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

NOTIFY THE PURCHASER OF THE PROPERTY OF ANY WOODLAND CONSERVATION AREAS. ALL APPROPRIATE BONDS SHALL BE POSTED WITH THE BUILDING OFFICIAL PRIOR TO THE ISSUANCE OF ANY PERMITS THESE BONDS WILL RETAINED AS SURETY BY THE BUILDING OFFICIAL UNTIL ALL REQUIRED ACTIVITIES HAVE BEEN SATISFIED. . ALL REQUIRED OFF-SITE MITIGATION SHALL BE IDENTIFIED ON AN APPROVED TCPII FOR THE OFF-SITE LOCATION AND

TYPE II TREE CONSERVATION PLAN NOTES

WRITTEN CONSENT OF THE PLANNING DIRECTOR OR DESIGNEE SHALL BE SUBJECT TO A \$1.50 PER SQUARE FOOT

PROPERTY OWNERS SHALL BE NOTIFIED BY THE DEVELOPER OR CONTRACTOR OF ANY WOODLAND CONSERVATION

. CUTTING OR CLEARING OF WOODLAND NOT IN CONFORMANCE WITH THIS PLAN OR WITHOUT THE EXPRESSED

2. THE DEPARTMENT OF ENVIRONMENTAL RESOURCES (DER) MUST BE CONTACTED PRIOR TO THE START OF ANY

WORK ON THE SITE TO ADDRESS IMPLEMENTATION OF TREE CONSERVATION MEASURES SHOWN ON THIS PLAN.

AREAS (TREE SAVE AREAS, REFORESTATION AREAS, AFFORESTATION AREAS, OR SELECTIVE CLEARING AREAS)

LOCATED ON THEIR LOT OR PARCEL OF LAND AND THE ASSOCIATED FINES FOR UNAUTHORIZED DISTURBANCE TO

THESE AREAS. UPON THE SALE OF THE PROPERTY THE OWNER / DEVELOPER OR OWNERS REPRESENTATIVE SHALL

SHALL BE RECORDED AS AN OFF-SITE EASEMENT IN THE LAND RECORDS OF PRINCE GEORGE'S COUNTY PRIOR TO ISSUANCE OF ANY PERMITS FOR THE SUBJECT PROPERTY. . THE LOCATION OF ALL TREE PROTECTIVE DEVICES (TPD'S) SHOWN ON THIS PLAN SHALL BE FLAGGED OR STAKED IN

THE FIELD PRIOR TO THE PRE-CONSTRUCTION MEETING WITH THE SEDIMENT AND EROSION CONTROL INSPECTOR INSPECTOR FROM DER. UPON APPROVAL OF THE FLAGGED OR STAKED TPD LOCATIONS BY THE INSPECTOR, INSTALL ATION OF THE TPD'S MAY BEGIN. TPD INSTALLATION SHALL BE COMPLETED PRIOR TO INSTALLATION OF INITIAL SEDI-MENT CONTROLS. NO CUTTING OR CLEARING OF TREES MAY BEGIN BEFORE FINAL APPROVAL OF TPD INSTALLATION. WOODLAND CONSERVATION - TREE SAVE AREAS AND/OR REFORESTATION AREAS SHALL BE POSTED AS SHOWN AT THE SAME TIME AS TREE PROTECTIVE DEVICE INSTALLATION AND/OR START OF REFORESTATION ACTIVITIES. THESE

SIGNS SHALL REMAIN IN PLACE IN PERPETUITY.

MITIGATION FEE.

COR OFFICIAL USE ONLY QR label certifies that this plan meets conditions of final approval by the Planning Board, its designee or the District Council. M-NCPPC APPROVAL

> PROJECT NAME: MONTPELIER HILLS For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet Amendment numbers must be included in the Project Number

TYPE 2 TREE CONSERVATION (TCP2) PLAN APPROVAL BLOCK

Prince George's County Planning Department, M-NCPPC **Environmental Planning Section** TYPE 2 TREE CONSERVATION PLAN APPROVAL TCP2 - 35 - 06-00DRD# Approved by Reason for Revision 10/26/2006 | SDP-0510 Lori Shirley 9/10/2007 N/A 12 Mare Huln 11/07/2017 SDP-0510-01

OWNERS CERTIFICATE \_ hereby acknowledge that we are aware of this Type 2 Tree Conservation Plan (TCP2) and that we understand the requirements as set forth in this TCP 2. Signed: Men Burn Owner or Owners

QUALIFIED PROFESSIONAL CERTIFICATION

Representative

This complies with the current requirements of Prince George's County Code and the Environmental Technical Manual. \_\_ Date: \_\_10/18/2017

Frank C. Johnson 9220 Wightman Rd Suite 120 Montgomery Village, MD 20886 301-670-0840 fjohnson@mhgpa.com

TREE CONSERVATION PLAN TYPE II

MONTPELIER HILLS LAUREL(10th) ELECTION DISTRICT

- ONE INCH -1"= NONE SHEET OF \_\_\_\_\_

PRINCE GEORGE'S COUNTY, MARYLAND

Engineering Planning Surveying **Environmental Sciences** 

20886-1279

9220 Wightman Road, Suite 120

Montgomery Village, Maryland

.oiederman Soltesz Associates, Inc. Waldorf LANHAM OFFICE 4266 Forbes Boulevard Lanham, MD 20706 t. 301.794.7555 f. 301.794.7656

Macris, Hendricks & Glascock, P.A.

Engineers • Planners
Landscape Architects • Surveyors

Lanham Frederick Leonardtown Chantilly www.LSAssociates.net

Rockville

Phone 301.670.0840

Fax 301.948.0693

www.mhgpa.com

H 12 4 Grid 14 D-2. loning Category: Revised Plan per MNCPPC comments R-U FCJ 9/13/ TNK 6/30/ 14 E-2.3 Revised Plan to reflect current site plan M-NCPPC 200' Shee ADDRESSED RESOLUTION (6/16/06) COMMENTS 215NE08 TNK 5/8/06 REMOVED TREE PRESERVATION AREAS ON PARCELS K & K-1 216NE08 ADDRESSED REFERRAL COMMENTS FROM APRIL 3, 2006 MEMORANDUM TNK 4/5/06 wssc 200' Sheet 215NE08 BY V8 - 2000 CAD Standards Version: 216NE08 Checked:

DETAIL SHEET

PROJECT NO. 1622-00-0