

Specimen Tree Table

Note: Trees were tagged with a metal tag corresponding to the numbers below. Tags were placed approximately 5' from the ground with colored flagging attached. Tree locations are approximate. Tree tag numbers begin at #1.

Tag #	Common Name	Scientific Name	DBH (inches)	Remarks / Condition	Disposition
1	Willow oak	<i>Quercus phellos</i>	33	Good	Removed
2	Willow oak	<i>Quercus phellos</i>	31	Good	Removed
3	Pin oak	<i>Quercus palustris</i>	31	Fair	Removed
4	White oak	<i>Quercus alba</i>	32	Fair	Removed
5	Willow oak	<i>Quercus phellos</i>	31	Fair, double lead	Removed

NOTE: SPECIMEN TREES WERE FIELD LOCATED.

TREE PRESERVATION AREAS

- TREE PRESERVATION AREA #1 - 0.76 AC.
 - TREE PRESERVATION AREA #2 - 0.16 AC.
 - TREE PRESERVATION AREA #3 - 0.28 AC.
 - TREE PRESERVATION AREA #4 - 0.13 AC.
 - TREE PRESERVATION AREA #5 - 0.68 AC.
 - TREE PRESERVATION AREA #6 - 0.43 AC.
 - TREE PRESERVATION AREA #7 - 0.20 AC.
 - TREE PRESERVATION AREA #8 - 0.20 AC.
 - TREE PRESERVATION AREA #9 - 0.14 AC.
 - TREE PRESERVATION AREA #10 - 0.33 AC.
- TOTAL - 3.31 ACRES**

TCPII WORKSHEET

Woodland Conservation Worksheet for Prince George's County

Zone: R-U
Gross Tract: 32.34
Floodplain: 0.13
Previously Dedicated Land: 0.00
Net Tract (NTA): 32.21

Property Description or Subdivision Name: Montpelier Hills
Is this site subject to the 1989 Ordinance? N
Reforestation Requirement Reduction Questions
Is this one (1) single family lot? (y/n) N
Are there prior TCP approvals which include a combination of this lot and/or other lots. (y/n) Y
Is this a Mitigation Bank N
Break-even Point (preservation) = 9.54 acres
Clearing permitted w/o reforestation = 12.39 acres

Woodland Conservation Calculations:
Existing Woodland 21.93
Woodland Conservation Threshold (NTA) = 20.00% 6.44
Smaller of a or b 6.44
Woodland above WCT 15.49
Woodland cleared 18.21
Smaller of d or e 15.49
Clearing above WCT (0.25 : 1) replacement requirement 3.97
Clearing below WCT (2.1 replacement requirement) 2.72
Afforestation Threshold (AFT) = 15.00% 0.00
Off-site Mitigation being provided on this property 0.00
Woodland Conservation Required 13.27

Woodland Conservation Provided: (acres)
Woodland Preservation 3.31
Afforestation / Reforestation 0.00
Area approved for forest-hill 6.06
Credits for Off-site Mitigation on another property 4.90
Off-site Mitigation being provided on this property 0.00
Total Woodland Conservation Provided 13.27

Area of woodland not cleared 3.72 acres
Woodland retained not part of requirements: 0.41 acres

Prepared by: [Signature] 8.31.07
Signed Date

Call "Miss Utility" at 1-800-257-7777, 48 hours prior to the start of work.
The excavator must notify all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with requirements of Chapter 36A of the Montgomery County Code.

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OWNER / DEVELOPER
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BECCO Building West
5410 Edison Lane Suite 220
Rockville, MD 20852
Contact: Brian E. Berman
(301) 818-1555

#1	Revised Plan per MNCPPC comments	FCJ	10/18/17
#2	Revised Plan to reflect current site plan	FCJ	9/13/16
#3	Revised Worksheet to Reflect Changes to Tree Preservation Area #6 (MHG)	AR	8/30/07
#4	REVISED WORKSHEET DUE TO VARIOUS REVISIONS TO PLANS	TNK	8/29/06
#5	ADDRESSED RESOLUTION (8/18/06) COMMENTS	TNK	8/30/06
#6	REMOVED TREE PRESERVATION AREAS ON PARCELS K & K-1	TNK	5/8/06
#7	ADDRESSED REFERRAL COMMENTS FROM APRIL 3, 2006 MEMORANDUM	TNK	4/5/06
#8	REVISING	BY DATE	
NO.	JULY 2006	CAD Standards Version	V8 - 2000
Designed	TNK	Technician	TNK
Checked	WKD		

COVER SHEET

GENERAL NOTES

- THIS PLAN WAS PREPARED FROM THE BEST AVAILABLE INFORMATION AND BASED UPON BEST ENGINEERING JUDGEMENT.
- PROPERTY LINES AS SHOWN HEREON TAKEN FROM BOUNDARY SURVEY CONDUCTED BY LOEDERMAN SOLTESZ ASSOCIATES IN THE DATUM OF THE WASHINGTON SUBURBAN SANITARY COMMISSION.
- TOTAL NUMBER OF UNITS PROPOSED IS 211 (SEE SIMPLE).
- EXISTING WATER CATEGORY: W-3
- EXISTING SEWER CATEGORY: S-3
- ALL LOTS SHALL BE SERVED BY PUBLIC WATER AND SEWER.
- SOILS ON SITE ARE: E-Elston Silty Loam, KGB2-Keokuk silty loam, SBB2-Sunnyside fine sandy loam, SVCS-Sunnyside sandy clay loam, SWC-Sunnyside Urban Land Complex, WBB2-woodtown sandy loam.
- ALL DIMENSIONS SHOWN ON THIS PLAN ARE SCALED AND SUBJECT TO FINAL COMPUTATIONS AT THE TIME OF FINAL PLATTING.
- TOPOGRAPHY SHOWN HEREON IS BASED ON FIELD RUN TOPO CONDUCTED BY LOEDERMAN SOLTESZ ASSOCIATES.
- PROPERTY IS SHOWN ON TAX MAPS 14-D2, 14-D3, 14-E2 & 14-E3
- WSSC GRID: 215NE08 & 216NE08
- THE ILLUSTRATED INVENTORY OF HISTORIC SITES, PRINCE GEORGE'S COUNTY, SHOWS NO KNOWN HISTORIC OR CULTURAL RESOURCES ON THE SITE.
- ALL EXISTING STRUCTURES ON SITE TO BE RAISED AND ANY EXISTING WELL AND/OR SEPTIC SYSTEMS FOUND DURING DEMOLITION TO BE PROPERLY ABANDONED.
- ABANDONED SHALLOW WELLS MUST BE BACKFILLED AND SEALED IN ACCORDANCE WITH COMAR 26.04.04 BY A LICENSED WELL DRILLER OR WITNESSED BY A REPRESENTATIVE OF THE HEALTH DEPARTMENT PRIOR TO RAISE PERMIT APPLICANT.
- ANY ABANDONED SEPTIC TANK MUST BE PUMPED OUT BY A LICENSED SEWER/SEWER AND EITHER REMOVED OR BACKFILLED AND SEALED IN ACCORDANCE WITH PRINCE GEORGE'S COUNTY HEALTH DEPARTMENT REGULATIONS.
- NO CEMETERIES HAVE BEEN OBSERVED ON THE PROPERTY BASED ON RECORDS MADE AVAILABLE TO LOEDERMAN SOLTESZ ASSOCIATES.
- SITE ROADWAYS ARE PROPOSED TO BE PRIVATE, EXCEPT AS NOTED.

SHEET INDEX

SHEET 1	COVER SHEET
SHEET 2	PLAN VIEW
SHEET 3	PLAN VIEW
SHEET 4	PLAN VIEW
SHEET 5	PLAN VIEW
SHEET 6	PLAN VIEW
SHEET 7	PLAN VIEW
SHEET 8	PLAN VIEW
SHEET 9	NOTES & DETAILS

TYPE 2 TREE CONSERVATION (TCP2) PLAN APPROVAL BLOCK

Approved by	Date	DRD #	Reason for Revision
00	Lon Shirley	10/26/2006	SDP-0510 N/A
01	Lon Shirley	9/10/2007	N/A N/A
02	Man Sub	11/27/2017	SDP-0510-01
03			
04			
05			

MISS UTILITY NOTE

INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHOEVER IS LESS CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

SITE DEVELOPMENT NOTES

SITE ACREAGE:	
GROSS TRACT	32.34 ACRES
FLOODPLAIN AREA	0.13 ACRES
NET TRACT	32.21 ACRES
EXISTING ZONE	R-U
TOTAL PROPOSED TOWNHOUSE UNITS	211
PROPOSED SITE RESIDENTIAL DENSITY - 211 UNITS/32.21 AC.	6.55 UNITS/ACRE

PARCELS:

- PARCEL "A" - 2.50 ACRES
- PARCEL "B-1" - 5.11 ACRES
- PARCEL "B-2" - 4.80 ACRES
- PARCEL "E" - 3.78 ACRES
- PARCEL "K-3" - 3.42 ACRES
- PARCEL "L" - 3.78 ACRES
- PARCEL "S" - 3.71 ACRES
- PARCELS "J" & "K" PLUS ABANDONED MUIRKIRK ROAD R.O.W. - 5.10 ACRES
- PARCEL "K-1" - 0.16 ACRES

PARKING CALCULATIONS

PARKING REQUIRED: 211 UNITS x 2.04 SPACES PER UNIT = 431 SPACES
PARKING PROVIDED:
211 UNITS x 2 SPACES PER UNIT = 422 SPACES
115 GUEST PARKING SPACES
537 TOTAL PARKING SPACES PROVIDED
7 HANDICAP PARKING SPACES PROVIDED - 8 ARE VAN ACCESSIBLE

LEGEND	
	WOODLAND PRESERVATION
	WOODLAND PRESERVED NOT COUNTED
	EXISTING 65 dBA NOISE CONTOUR
	EXISTING UNMITIGATED 65 dBA NOISE CONTOUR
	FUTURE MITIGATED GL 65 dBA NOISE CONTOUR
	FUTURE MITIGATED UL 65 dBA NOISE CONTOUR
	FUTURE MITIGATED GROUND LEVEL 65 dBA NOISE CONTOUR
	FUTURE MITIGATED UPPER LEVEL 65 dBA NOISE CONTOUR

Noise mitigation to be provided at time of building permit. Acoustical design techniques to be incorporated into the building design and construction. See Phoenix Noise & Vibration, LLC Noise Analysis dated August 31, 2017.

OWNERS CERTIFICATE

I/We, Kevin Berman hereby acknowledge that we are aware of this Type 2 Tree Conservation Plan (TCP2) and that we understand the requirements as set forth in this TCP 2.
Signed: [Signature] Date: 10/18/2017
Owner or Owners Representative

QUALIFIED PROFESSIONAL CERTIFICATION

This complies with the current requirements of Prince George's County Code and the Environmental Technical Manual.
Signed: [Signature] Date: 10/18/2017
Frank C. Johnson
9220 Wightman Rd Suite 120
Montgomery Village, MD 20886
301-670-0840
fjohnson@mhga.com

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Rockville
Lanham
Frederick
Waldorf
Leonardtown
Chantilly

#1 Revised Plan per MNCPPC comments
#2 Revised Plan to reflect current site plan
#3 REVISED WORKSHEET DUE TO VARIOUS REVISIONS TO PLANS
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#5 REMOVED TREE PRESERVATION AREAS ON PARCELS K & K-1
#6 ADDRESSED REFERRAL COMMENTS FROM APRIL 3, 2006 MEMORANDUM
#7 REVISING
NO. JULY 2006
Designed: TNK

Technician: TNK

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Permitted Use Number 2041957
Map 4 Grid H 12
Zone Category: R-U
14 D-2,3
14 E-2,3
M-1000PC 200' Sheet
215NE08
216NE08
WSSC 200' Sheet
215NE08
216NE08

TREE CONSERVATION PLAN TYPE II MONTPELIER HILLS LAUREL(10th) ELECTION DISTRICT PRINCE GEORGE'S COUNTY, MARYLAND

LS
SHEET 1 OF 9
PROJECT NO. 1622-00-00

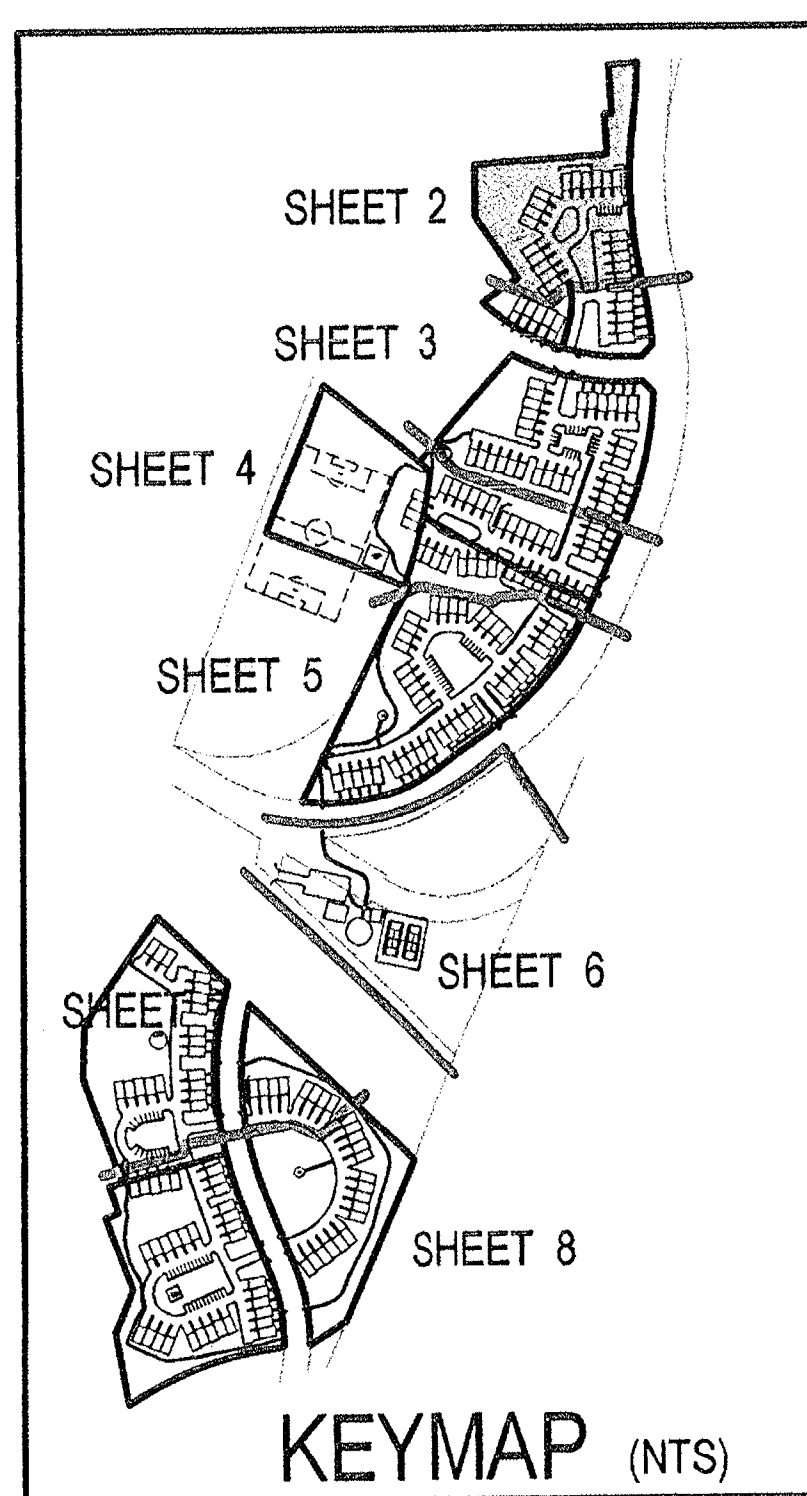
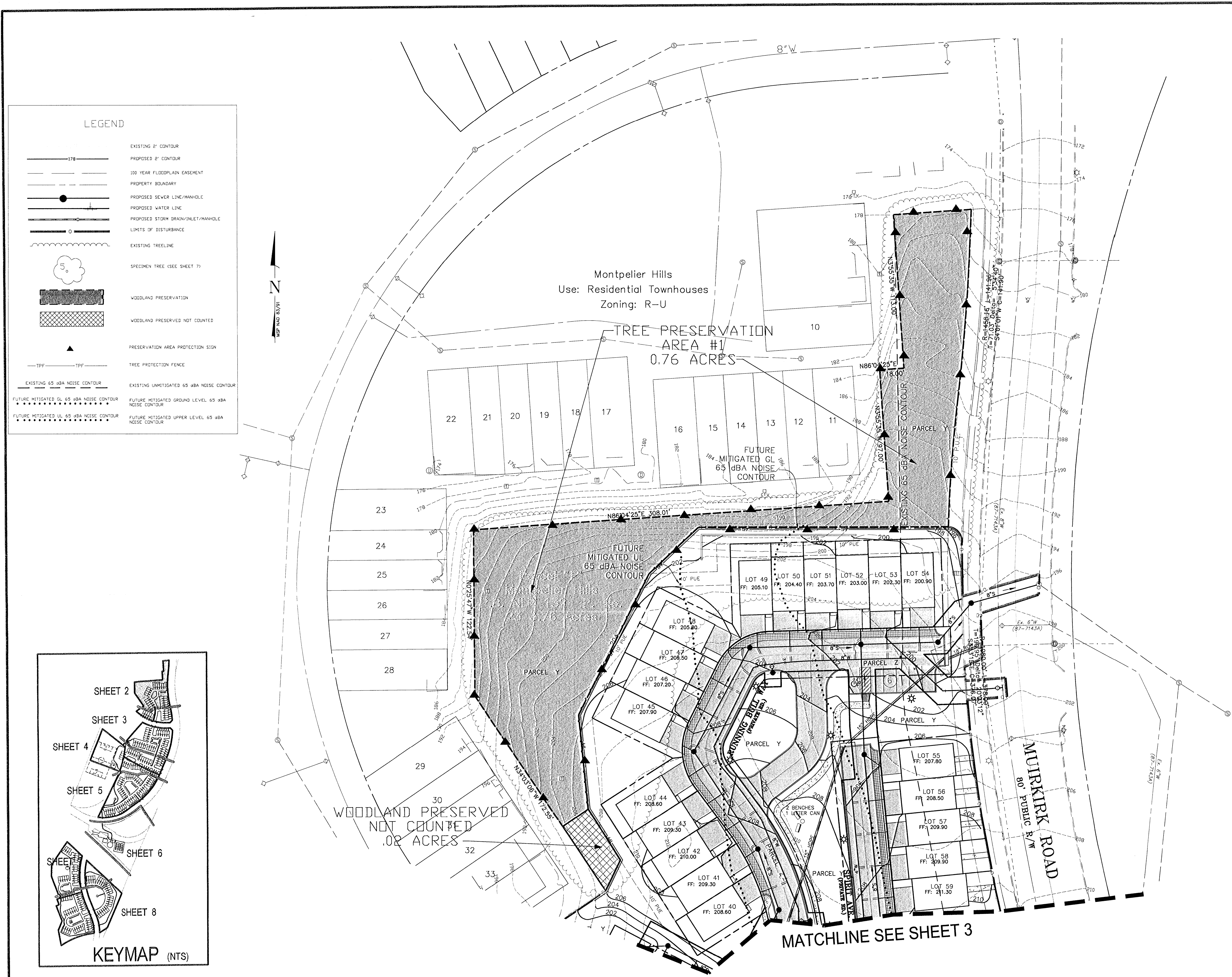


Table B-1. General Information Table

Layer Category	Layer Name	Value
Zone	Aviation Policy Area (APA) 1	R-U
Administrative	Tax Grid (TMG)	14-D2 & D-3, 14-E2 & E-3
Administrative	WSSC Grid (Sheet 20)	215NE08
Administrative	Policy Analysis Zone (PAZ)	262C
Administrative	Planning Area (Plan Area)	62
Administrative	Election District (ED)	10
Administrative	Councilmanic District (CD)	1
Administrative	General Plan 2002 Tier (Tier)	Developing
Administrative	Traffic Analysis Zone (COG) (TAZ-COG)	1191
Administrative	PG Traffic Analysis Zone (TAZ-PG)	2248

* If the site is within an APA, enter the name of the airport. If the site is not within an APA, enter "N/A"

TYPE 2 TREE CONSERVATION (TCP2) PLAN APPROVAL BLOCK

Prince George's County Planning Department, M-NCPPC
Environmental Planning Section
TYPE 2 TREE CONSERVATION PLAN APPROVAL
TCP2 - 35 - 06-00

Approved by	Date	DRD #	Reason for Revision
00 Lori Shirley	10/26/2006	SDP-0510-01	N/A
01 Lori Shirley	9/10/2007	N/A	N/A
02 <i>Marc Dubois</i>	11/17/2012	SDP-0510-01	
03			
04			
05			

OWNERS CERTIFICATE

I/We Kevin Berman hereby acknowledge that we are aware of this Type 2 Tree Conservation Plan (TCP2) and that we understand the requirements as set forth in this TCP 2.

Signed: *Kevin Berman* Date: 10/18/2017

Owner or Owners Representative

QUALIFIED PROFESSIONAL CERTIFICATION

This complies with the current requirements of Prince George's County Code and the Environmental Technical Manual.

Signed: *Frank C. Johnson* Date: 10/18/2017

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fjohnson@mhgpa.com

OWNER / DEVELOPER
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Contact: Brian E. Berman
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TREE CONSERVATION PLAN TYPE II
MONTPELIER HILLS
LAUREL(10th) ELECTION DISTRICT
PRINCE GEORGE'S COUNTY, MARYLAND

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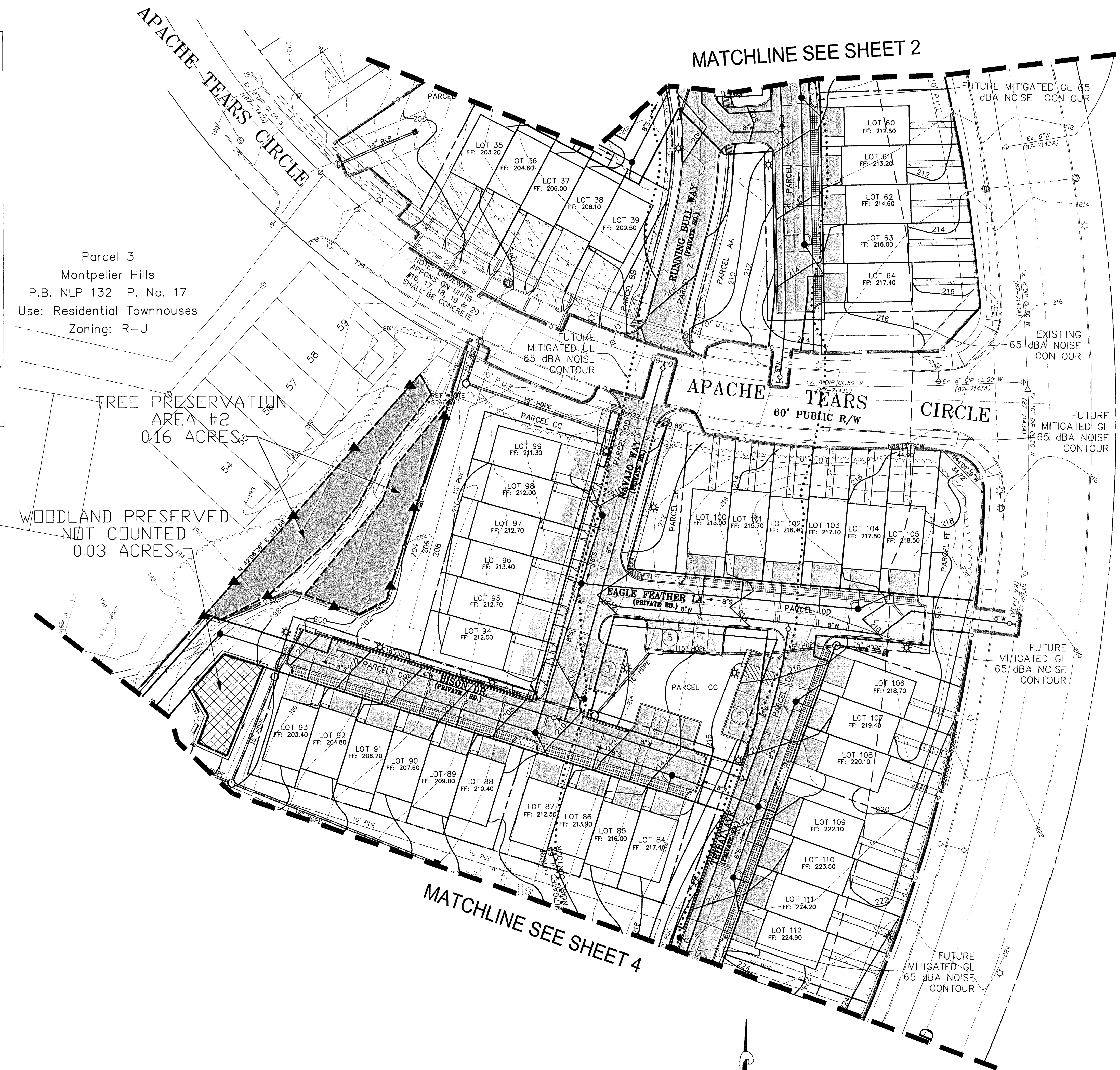
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REVISIONS		NO.		DATE	
#6	Revised Plan per MNCPPC comments	FCJ	10/18/17		
#5	Revised Plan to reflect current site plan	FCJ	9/13/16		
#4	INCREASED ACREAGE OF TREE PRES. AREA #1	TNK	8/28/06		
#3	ADDED RESOLUTION (6/16/06) COMMENTS	TNK	8/30/06		
#2	REMOVED TREE PRESERVATION AREAS ON PARCELS K & K-1	TNK	5/8/06		
#1	ADDED REFERRAL COMMENTS FROM APRIL 3, 2006 MEMORANDUM	TNK	4/5/06		
Date: JULY 2006		CAD Standards Version: V8 - 2000		Checked: WKO	
Designed: TNK		Technician: TNK			

Copyright © 2017 The Map People Permitted Use Number 2041157		Map		Zoning Category	
4 Grid		14 D-2.3		R-U	
		14 E-2.3			
		MNCPPC 200 Sheet			
		215NE08			
		216NE08			
		215NE08			
		216NE08			

LEGEND

EXISTING 2' CONTOUR
PROPOSED 2' CONTOUR
100 YEAR FLOODPLAIN EASEMENT
PROPERTY BOUNDARY
PROPOSED SEWER LINE/MANHOLE
PROPOSED WATER LINE
PROPOSED STORM DRAIN/LET/MANHOLE
LIMITS OF DISTURBANCE
EXISTING TREELINE
SPECIMEN TREE (SEE SHEET 7)
WOODLAND PRESERVATION
WOODLAND PRESERVED NOT COUNTED
PRESERVATION AREA PROTECTION SIGN
TREE PROTECTION FENCE
EXISTING 65 dBA NOISE CONTOUR
EXISTING UNMITIGATED 65 dBA NOISE CONTOUR
FUTURE MITIGATED GL 65 dBA NOISE CONTOUR
FUTURE MITIGATED GROUND LEVEL 65 dBA NOISE CONTOUR
FUTURE MITIGATED UL 65 dBA NOISE CONTOUR
FUTURE MITIGATED UPPER LEVEL 65 dBA NOISE CONTOUR



Parcel "F"
Bentley Grove
P.B. 91 P. No. 78
Use: Residential Townhouses
Zoning: R-T

Parcel 3
Montpelier Hills
P.B. NLP 132 P. No. 17
Use: Residential Townhouses
Zoning: R-U

TREE PRESERVATION
AREA #2
0.16 ACRES
WOODLAND PRESERVED
NOT COUNTED
0.03 ACRES

FOR OFFICIAL USE ONLY
OR other parties that this plan
meets conditions of final approval
by the Planning Board, its designee
or the District Council.
M-NCPPC
APPROVAL
PROJECT NAME: MONTEPELIER HILLS
PROJECT NUMBER: SDP-0510-01
For Conditions of Final Use Use Plan Cover Sheet or Approval Sheet
Amendment Number must be included in the Project Number

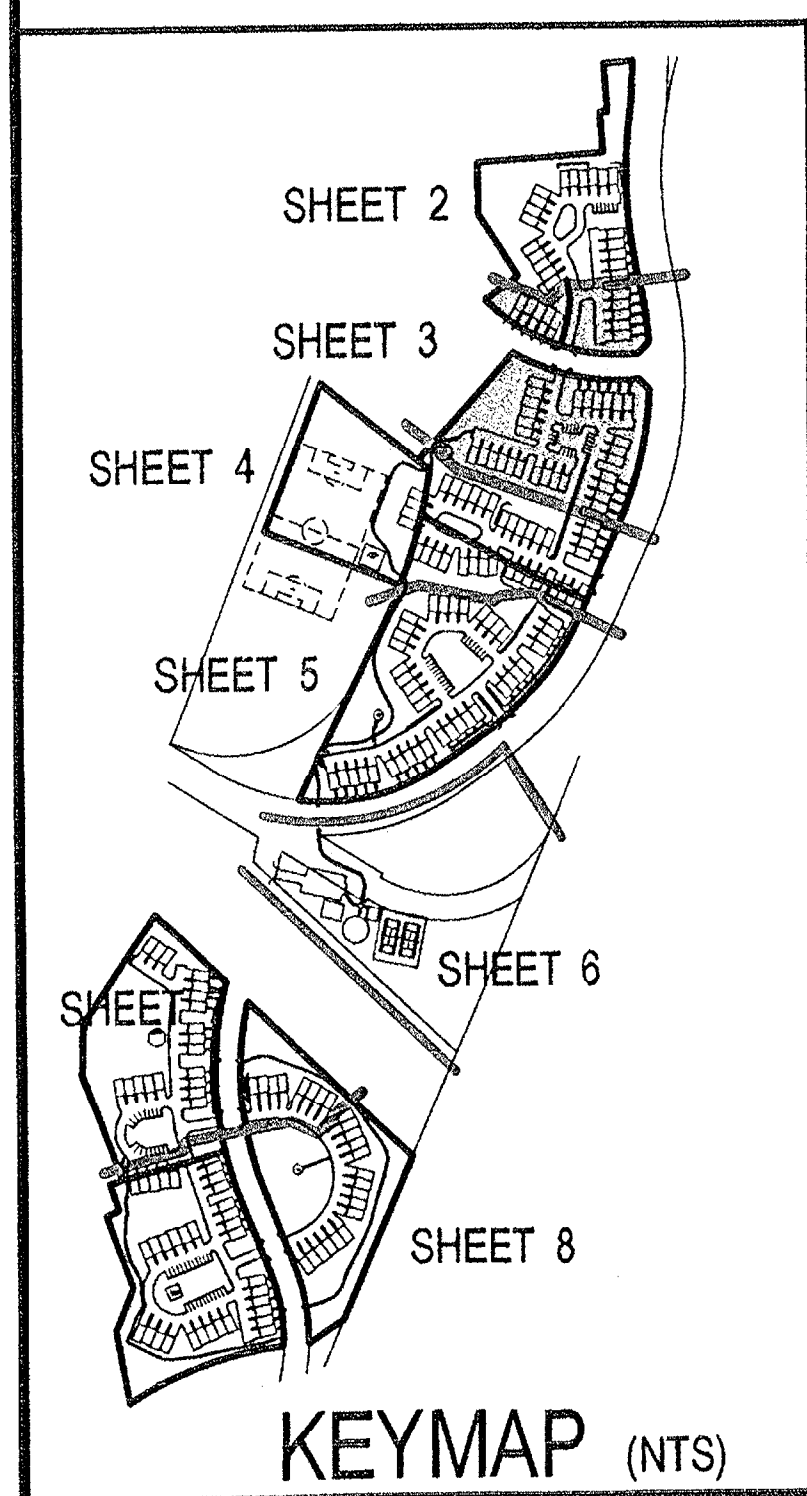
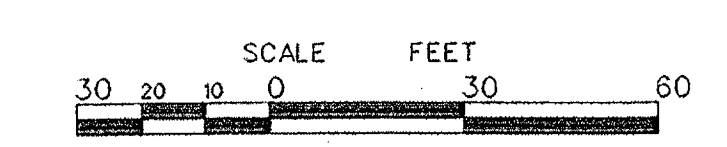
**TYPE 2 TREE CONSERVATION (TCP2) PLAN
APPROVAL BLOCK**

Prince George's County Planning Department, M-NCPPC Environmental Planning Section TYPE 2 TREE CONSERVATION PLAN APPROVAL TCP2 - 35 - 06-00			
Approved by	Date	DRD #	Reason for Revision
00 Lori Shirley	10/26/2006	SDP-0510	N/A
01 Lori Shirley	9/10/2007	N/A	N/A
02 <i>Man John</i>	11/6/2017	SDP-0510-01	
03			
04			
05			

OWNERS CERTIFICATE
I/We Kevin Berman hereby acknowledge that we are aware of this Type 2 Tree Conservation Plan (TCP2) and that we understand the requirements as set forth in this TCP 2.
Signed: *Kevin Berman* Date: 10/18/2017
Owner or Owners Representative

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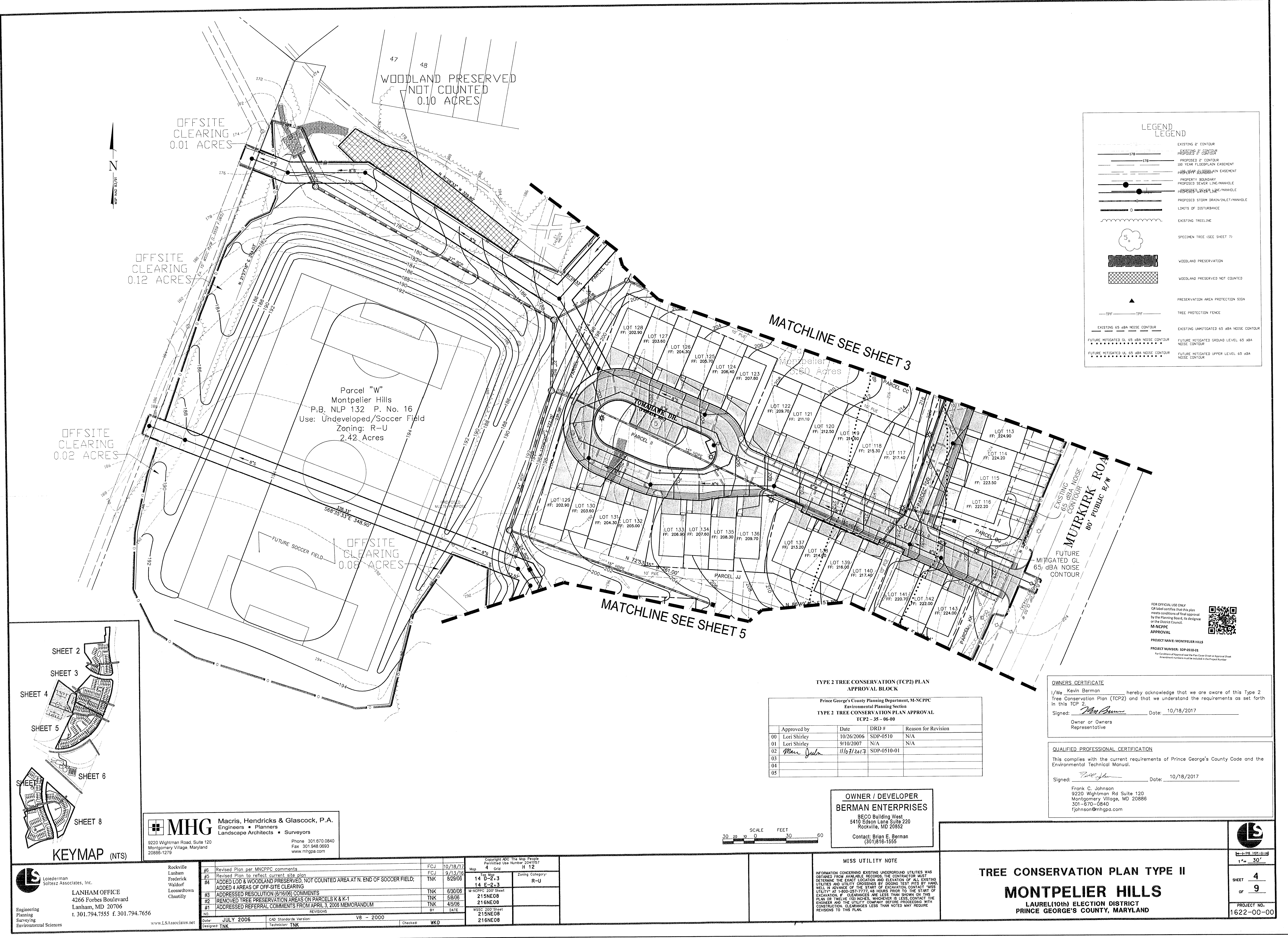


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				4		H 12	
				Map		4	
#6	Revised Plan per MNPPC comments			FCJ	10/18/17	Tax Map	
#5	Revised Plan for current site plan			FCJ	9/13/16	14 E-2-3	
#4	INCREASED ACRESAGE OF TREE PRES. AREA #2			TNK	8/29/08	R-U	
#3	ADDED RESOLUTION (8/16/06) COMMENTS			TNK	8/30/06	M-NPPC 200' Sheet	
#2	REMOVED TREE PRESERVATION AREAS ON PARCELS K & K-1			TNK	5/8/06	215NE08	
#1	ADDED REFERRAL COMMENTS FROM APRIL 3, 2008 MEMORANDUM			TNK	4/5/06	216NE08	
NO REVISIONS				BY	DATE	WSSC 200' Sheet	
						215NE08	
						216NE08	
Date: JULY 2006		CAD Standards Version		V8 - 2000			
Designed: TNK		Technician: TNK		Checked: WKD			

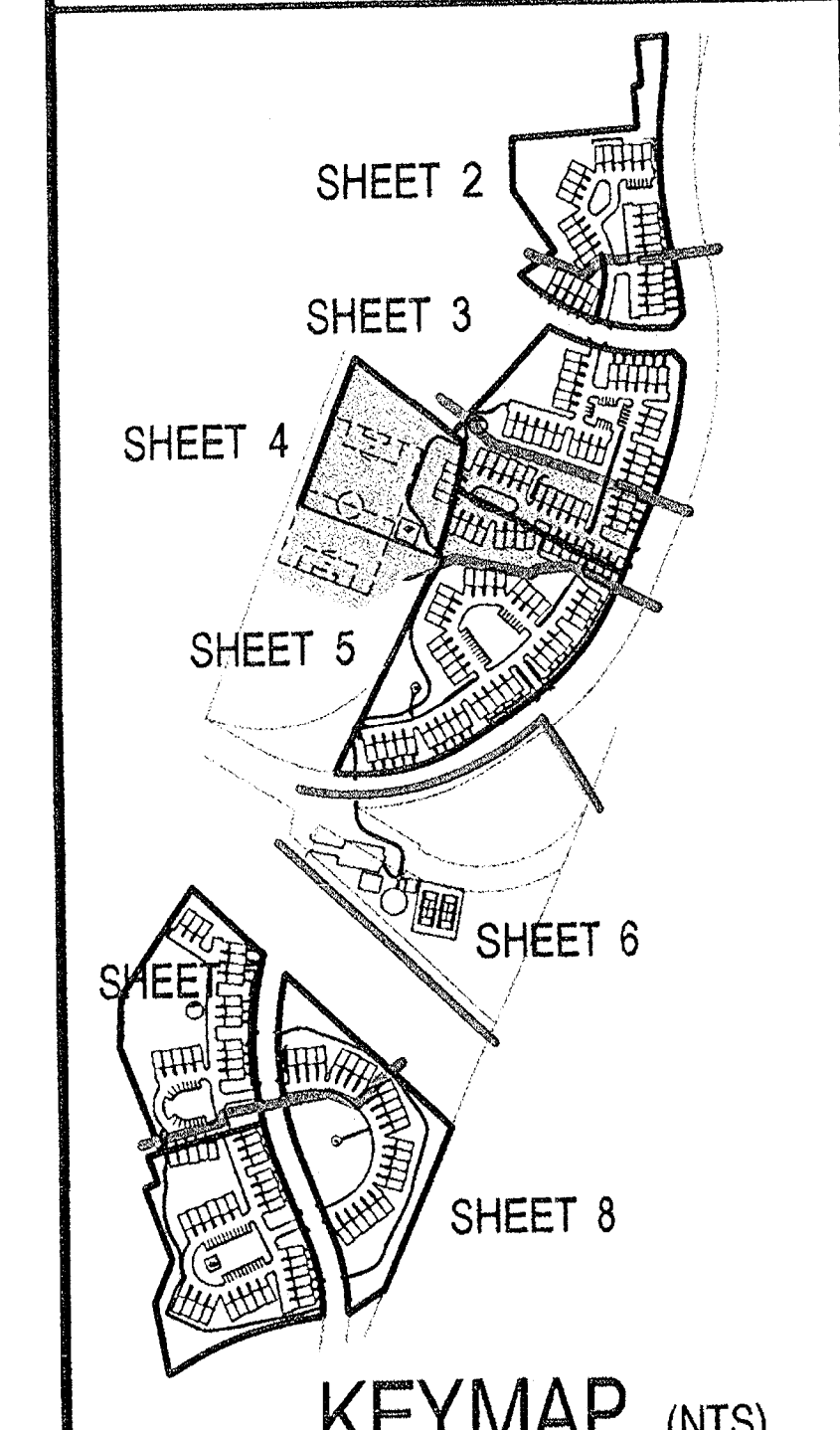
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**TREE CONSERVATION PLAN TYPE II
MONTEPELIER HILLS**
LAUREL(10th) ELECTION DISTRICT
PRINCE GEORGE'S COUNTY, MARYLAND



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EXISTING 2' CONTOUR
PROPOSED 2' CONTOUR
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PROPOSED STORM DRAIN/INLET/MANHOLE
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#6	Revised Plan per MNCPPC comments	FCJ	10/18/17
#5	Revised Plan to reflect current site plan	FCJ	9/13/16
#4	ADDED LOD & WOODLAND PRESERVED, NOT COUNTED AREA AT N. END OF SOCCER FIELD; ADDED 4 AREAS OF OFF-SITE CLEARING	TNK	8/28/06
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NO.	REVISIONS	BY	DATE
1	JULY 2006	CAD Standards Version	VB - 2000
2	Designed: TNK	Technician: TNK	Checked: WKO

Copyright ABC The Map People Permitted Use Number 2041157 4 Grid H 12 Tax Map 14 D-2-3 M-NCPPC 200 Sheet 215NE08 216NE08 215NE08 216NE08	Zoning Category: R-U
------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------

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Prince George's County Planning Department, M-NCPPC Environmental Planning Section			
TYPE 2 TREE CONSERVATION PLAN APPROVAL			
TCP2 - 35 - 06-00			
Approved by	Date	DRD #	Reason for Revision
00 Lori Shirley	10/26/2006	SDP-0510	N/A
01 Lori Shirley	9/10/2007	N/A	N/A
02 <i>Man Jula</i>	11/3/2017	SDP-0510-01	
03			
04			
05			

OWNER / DEVELOPER
BERMAN ENTERPRISES
BECO Building West
5410 Edson Lane Suite 220
Rockville, MD 20852
Contact: Brian E. Berman
(301)816-1555

OWNERS CERTIFICATE
I/We Kevin Berman hereby acknowledge that we are aware of this Type 2 Tree Conservation Plan (TCP2) and that we understand the requirements as set forth in this TCP 2.
Signed: *Kevin Berman* Date: 10/18/2017
Owner or Owners Representative

QUALIFIED PROFESSIONAL CERTIFICATION
This complies with the current requirements of Prince George's County Code and the Environmental Technical Manual.
Signed: *Frank C. Johnson* Date: 10/18/2017
Frank C. Johnson
9220 Wightman Rd Suite 120
Montgomery Village, MD 20886
301-670-0840
fjohnson@mhga.com

TREE CONSERVATION PLAN TYPE II
MONTPELIER HILLS
LAUREL(10th) ELECTION DISTRICT
PRINCE GEORGE'S COUNTY, MARYLAND
PROJECT NO. 1622-00-00

LEGEND

EXISTING 2' CONTOUR
PROPOSED 2' CONTOUR
100 YEAR FLOODPLAIN EASEMENT
PROPERTY BOUNDARY
PROPOSED SEWER LINE/MANHOLE
PROPOSED WATER LINE
PROPOSED STORM DRAIN/INLET/MANHOLE
LIMITS OF DISTURBANCE
EXISTING TREELINE
SPECIMEN TREE (SEE SHEET 7)
WOODLAND PRESERVATION
WOODLAND PRESERVED NOT COUNTED
PRESERVATION AREA PROTECTION SIGN
TREE PROTECTION FENCE
EXISTING 65 dBA NOISE CONTOUR
FUTURE MITIGATED GL 65 dBA NOISE CONTOUR
FUTURE MITIGATED UL 65 dBA NOISE CONTOUR
FUTURE MITIGATED UPPER LEVEL 65 dBA NOISE CONTOUR

Parcel "D"
Bentley Grove
P.B. WWW 87 P. No. 57
Use: Undeveloped/Soccer Field
4.24 Acres

TREE PRESERVATION
AREA #3
0.28 ACRES

OFFSITE
CLEARING
0.01 ACRES

Parcel "A-1"
Montpelier Hills
LP 132 P. No. 13
Use: Undeveloped

Parcel "F"
Bentley Grove
P.B. 91 P. No. 78
Use: Undeveloped

MATCHLINE SEE SHEET 6

MATCHLINE SEE SHEET 4

KEYMAP (NTS)

SHEET 2
SHEET 3
SHEET 4
SHEET 5
SHEET 6
SHEET 7
SHEET 8

MHG Macris, Hendricks & Glascock, P.A.
Engineers • Planners
Landscape Architects • Surveyors
9220 Wightman Road, Suite 120
Montgomery Village, Maryland
20886-1279
Phone: 301.670.0840
Fax: 301.948.0693
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Waldorf
Leonardtown
Chantilly
LANHAM OFFICE
4266 Forbes Boulevard
Lanham, MD 20706
t. 301.794.7555 f. 301.794.7656
www.LSAssociates.net

NO.	REVISIONS	DATE	BY	DATE
#1	ADDRESSED REFERRAL COMMENTS FROM APRIL 3, 2008 MEMORANDUM	4/8/08	TNK	
#2	REMOVED TREE PRESERVATION AREAS ON PARCELS K & K-1	5/8/08	TNK	
#3	ADDRESSSED RESOLUTION (8/16/08) COMMENTS	8/29/08	TNK	
#4	INCREASED ACREAGE OF TREE PRES. AREA #3	9/13/08	FCJ	
#5	Revised Plan to reflect current site plan	9/13/08	FCJ	
#6	Revised Plan per MNCPPC comments	10/18/17	FCJ	

Copyright © 2008 The Map People
Permitted Use Number 2041105
Map 4 Grid H 12
Tox Map 14 D-2+3
14 E-2+3
MNCPPC 200 Sheet 215NE08
216NE08
215NE08
216NE08
WSSG 200 Sheet 215NE08
216NE08

Date: JULY 2006 CAD Standard Version: V8 - 2000
Designed: TNK Technician: TNK Checked: WKD

OWNER / DEVELOPER
BERMAN ENTERPRISES
BECO Building West
5410 Edson Lane Suite 220
Rockville, MD 20852
Contact: Brian E. Berman
(301)818-1555

MISS UTILITY NOTE
INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MISS UTILITY" AT 1-800-251-7171, 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHATEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

TYPE 2 TREE CONSERVATION (TCP2) PLAN APPROVAL BLOCK

Prince George's County Planning Department, M-NCPPC
Environmental Planning Section
TYPE 2 TREE CONSERVATION PLAN APPROVAL
TCP2 - 35 - 06-00

Approved by	Date	DRD #	Reason for Revision
00 Lori Shirley	10/26/2006	SDP-0510	N/A
01 Lori Shirley	9/10/2007	N/A	N/A
02 Marc Jule	11/01/2017	SDP-0510-01	
03			
04			
05			

OWNERS CERTIFICATE
I/We, Kevin Berman, hereby acknowledge that we are aware of this Type 2 Tree Conservation Plan (TCP2) and that we understand the requirements as set forth in this TCP 2.
Signed: *Kevin Berman* Date: 10/18/2017
Owner or Owners Representative

QUALIFIED PROFESSIONAL CERTIFICATION
This complies with the current requirements of Prince George's County Code and the Environmental Technical Manual.
Signed: *Frank C. Johnson* Date: 10/18/2017
Frank C. Johnson
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Montgomery Village, MD 20886
301-670-0840
fjohnson@mhga.com

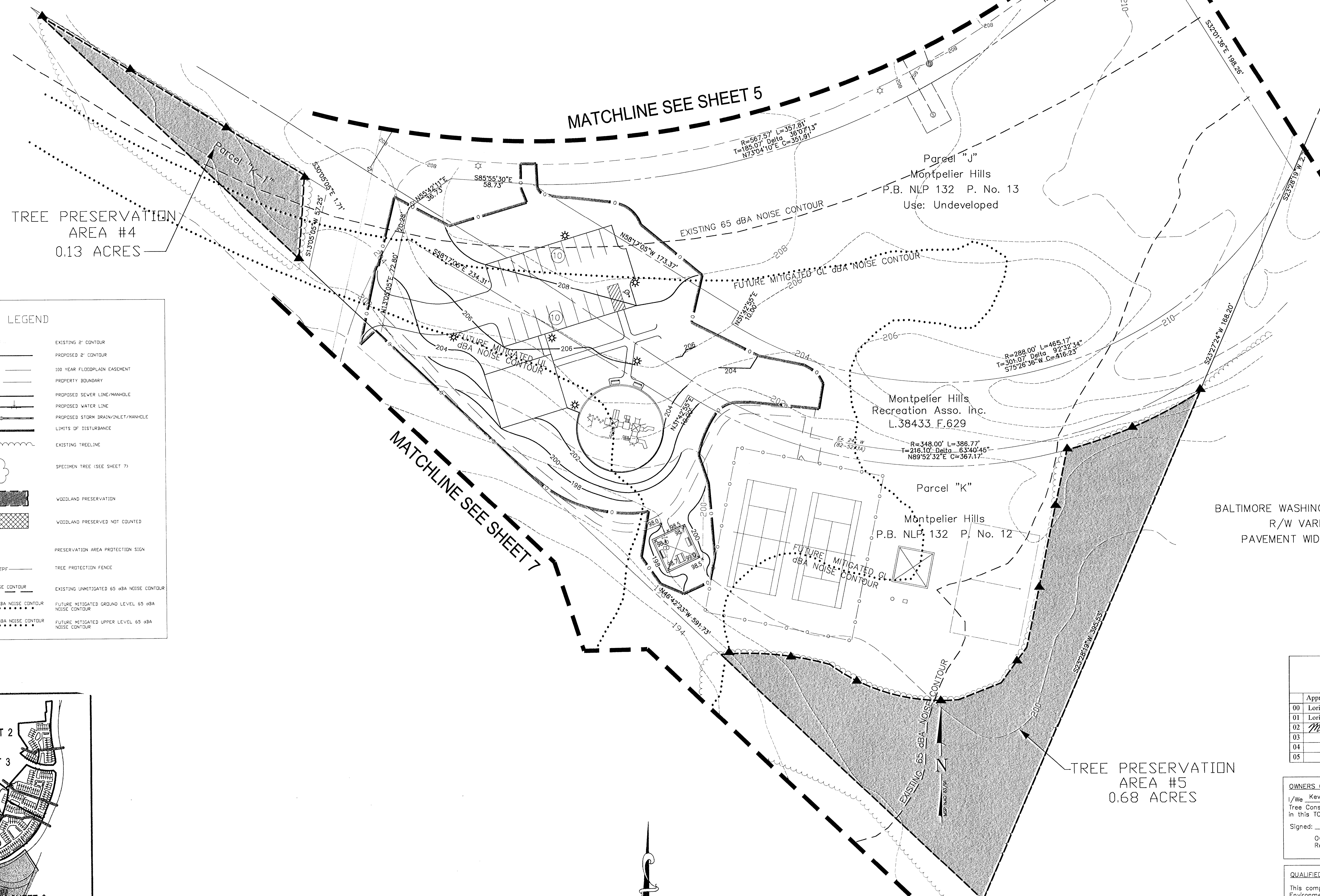
TREE CONSERVATION PLAN TYPE II
MONTPELIER HILLS
LAUREL(10th) ELECTION DISTRICT
PRINCE GEORGE'S COUNTY, MARYLAND

PROJECT NO.
1622-00-00

SHEET
5
OF
9

FOR OFFICIAL USE ONLY
QR label certifies that this plan meets conditions of final approval by the Planning Board, its designee or the District Council.
M-NCPPC APPROVAL
PROJECT NAME: MONTPELIER HILLS
PROJECT NUMBER: SDP-0510-01
For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet.
Amendment numbers must be included in the Project Number.

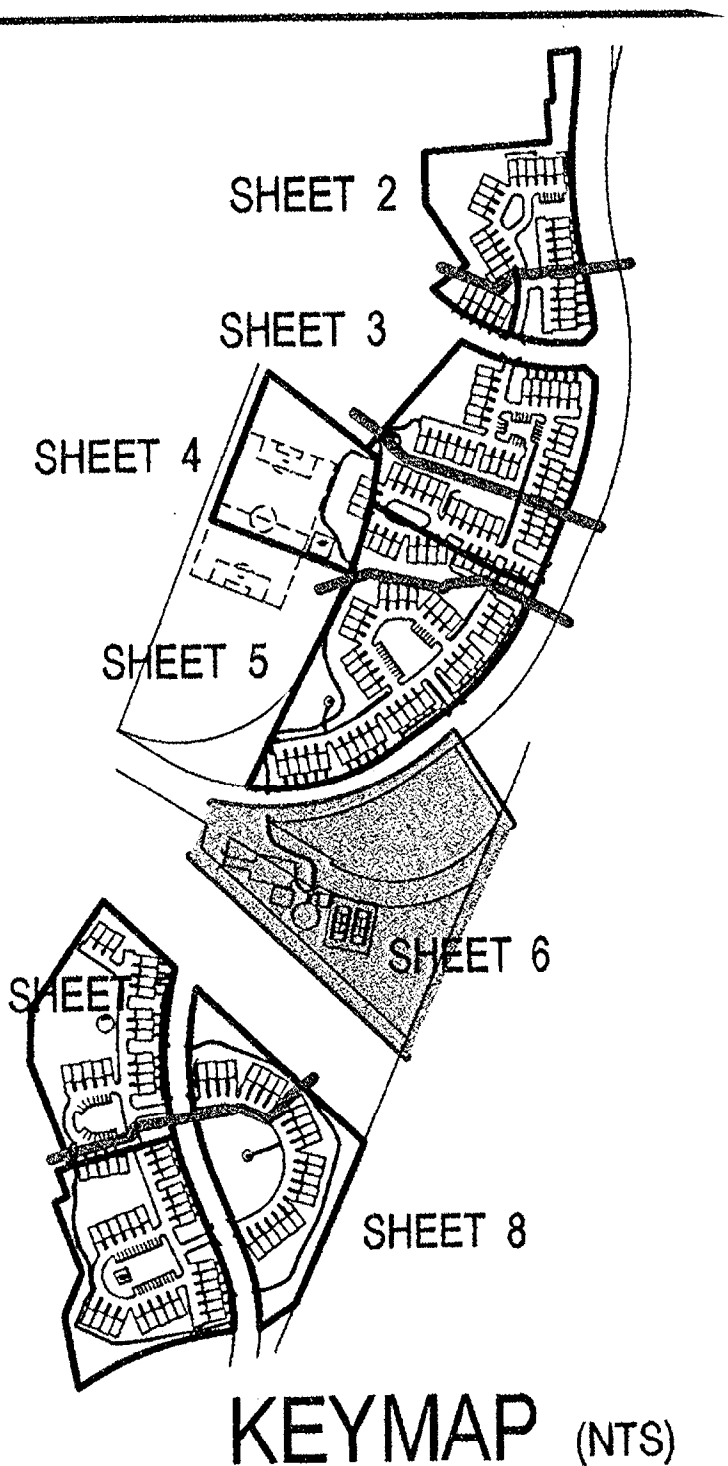
Parcel "F"
Bentley Grove
P.B. 91 P. No. 78
Use: Undeveloped



TREE PRESERVATION
AREA #4
0.13 ACRES

LEGEND

- EXISTING 2' CONTOUR
- PROPOSED 2' CONTOUR
- 100 YEAR FLOODPLAIN EASEMENT
- PROPERTY BOUNDARY
- PROPOSED SEWER LINE/MAIN/OLE
- PROPOSED WATER LINE
- PROPOSED STORM DRAIN/OLE/MAIN/OLE
- LIMITS OF DISTURBANCE
- EXISTING TREELINE
- SPECIMEN TREE (SEE SHEET 7)
- WOODLAND PRESERVATION
- WOODLAND PRESERVED NOT COUNTED
- PRESERVATION AREA PROTECTION SIGN
- TREE PROTECTION FENCE
- EXISTING 65 dBA NOISE CONTOUR
- EXISTING UNMITIGATED 65 dBA NOISE CONTOUR
- FUTURE MITIGATED GL 65 dBA NOISE CONTOUR
- FUTURE MITIGATED UL 65 dBA NOISE CONTOUR
- FUTURE MITIGATED GL 65 dBA NOISE CONTOUR
- FUTURE MITIGATED UL 65 dBA NOISE CONTOUR



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Fax: 301.948.0693
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BERMAN ENTERPRISES
BECC Building West
5410 Edson Lane Suite 220
Rockville, MD 20852
Contact: Brian E. Berman
(301)818-1555

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BALTIMORE WASHINGTON PARKWAY
R/W VARIABLE
PAVEMENT WIDTH VARIES

FOR OFFICIAL USE ONLY
QR label certifies that this plan
meets conditions of final approval
by the Planning Board, its designee
or the District Council.
M-NCPPC
APPROVAL
PROJECT NAME: MONTEPIELER HILLS
PROJECT NUMBER: SDP-0510-01
For Conditions of Approval use the Plan Cover Sheet or Approval Sheet.
Approval numbers must be included on the Project Number.

TYPE 2 TREE CONSERVATION (TCP2) PLAN APPROVAL BLOCK

Prince George's County Planning Department, M-NCPPC Environmental Planning Section TYPE 2 TREE CONSERVATION PLAN APPROVAL TCP2 - 35 - 06-00			
Approved by	Date	DRD #	Reason for Revision
00 Lori Shirley	10/26/2006	SDP-0510	N/A
01 Lori Shirley	9/10/2007	N/A	N/A
02 <i>Man Jahn</i>	11/10/2017	SDP-0510-01	
03			
04			
05			

OWNERS CERTIFICATE

I/We Kevin Berman hereby acknowledge that we are aware of this Type 2 Tree Conservation Plan (TCP2) and that we understand the requirements as set forth in this TCP 2.
Signed: *Kevin Berman* Date: 10/18/2017
Owner or Owners Representative

QUALIFIED PROFESSIONAL CERTIFICATION

This complies with the current requirements of Prince George's County Code and the Environmental Technical Manual.

Signed: *Frank C. Johnson* Date: 10/18/2017
Frank C. Johnson
9220 Wightman Rd Suite 120
Montgomery Village, MD 20886
301-670-0840
fjohnson@mhga.com

TREE CONSERVATION PLAN TYPE II

MONTEPIELER HILLS
LAUREL(10th) ELECTION DISTRICT
PRINCE GEORGE'S COUNTY, MARYLAND

PROJECT NO.
1622-00-00

Loiederman
Soltész Associates, Inc.
LANHAM OFFICE
4266 Forbes Boulevard
Lanham, MD 20706
t. 301.794.7555 f. 301.794.7656
www.LSAssociates.net

Rockville
Lanham
Frederick
Waldorf
Leonardtown
Chantilly

Revisions			
NO.	DATE	BY	DATE
#5	Revised Plan per MNCPPC comments	FCJ	10/18/17
#4	Revised Plan to reflect current site plan	FCJ	9/13/16
#3	MISC. REVISIONS - ADDRESSING RESOLUTION	TNK	6/30/06
#2	MISC. REVISIONS	TNK	5/8/06
#1	MISC. REVISIONS	TNK	4/5/06

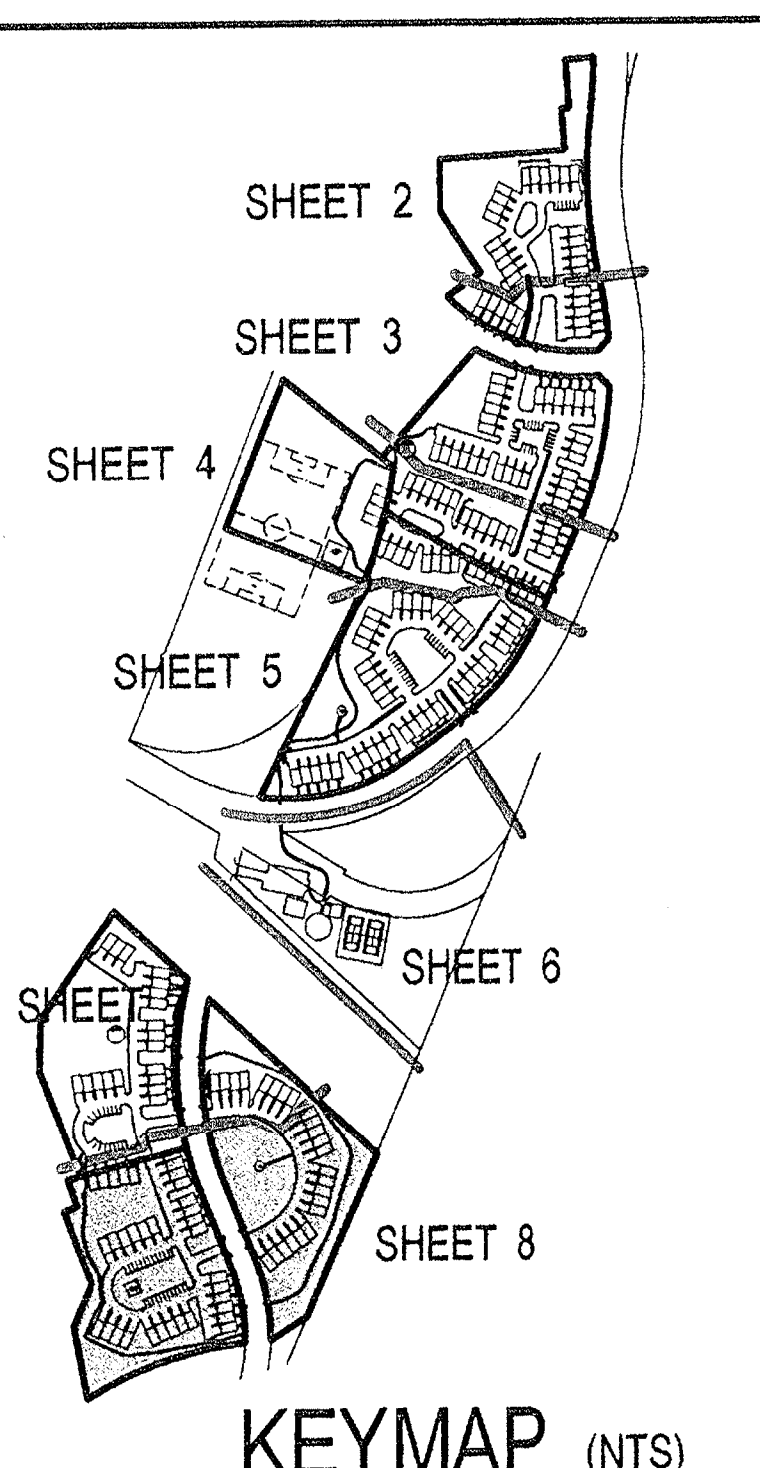
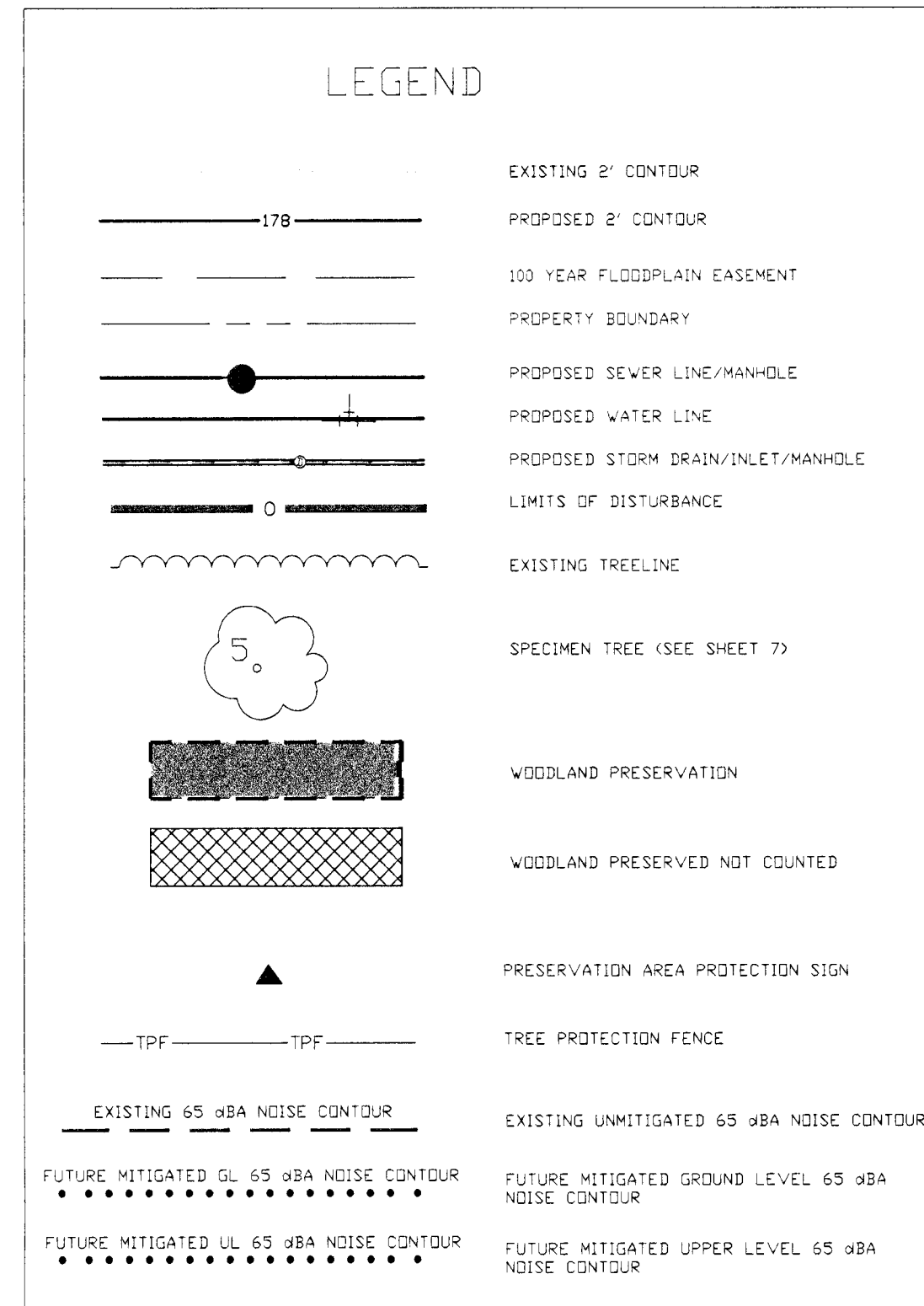
Copyright 2007 The Map People Permitted Use Number 2041507 4 Grid H 12			
Map	Scale	Grid	Zoning Category
14	0-2.3		R-U
14	0-2.3		R-U
M-NCPPC 200 Sheet	215NE08		
M-NCPPC 200 Sheet	216NE08		
M-NCPPC 200 Sheet	215NE08		
M-NCPPC 200 Sheet	216NE08		

Revisions			
NO.	DATE	BY	DATE
JULY 2006	CAD Standards Version	V8 - 2000	
Designed: TNK	Technician: TNK	Checked: WKO	

LEGEND

- EXISTING 2" CONTOUR
- PROPOSED 2" CONTOUR
- 100 YEAR FLOODPLAIN EASEMENT
- PROPERTY BOUNDARY
- PROPOSED SEWER LINE/MAIN/POLE
- PROPOSED WATER LINE
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20886-1279
Phone: 301.670.0840
Fax: 301.948.0693
www.mhga.com

Part of Parcel 1
Montpelier Hills
Plat Book NLP-132-Plat Number 11
Use: Residential Townhouses
Zoning: R-T

OWNER / DEVELOPER
BERMAN ENTERPRISES
BECO Building West
5410 Edson Lane Suite 220
Rockville, MD 20852
Contact: Brian E. Berman
(301)816-1555

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TREE CONSERVATION PLAN TYPE II
MONTPELIER HILLS
LAUREL(10th) ELECTION DISTRICT
PRINCE GEORGE'S COUNTY, MARYLAND

SHEET 8
OF
9
PROJECT NO.
1622-00-00

WOODLAND PRESERVED
NOT COUNTED
0.14 ACRES

TREE PRESERVATION
AREA #9
0.14 ACRES

WOODLAND PRESERVED
NOT COUNTED
0.01 ACRES

TREE PRESERVATION
AREA #10
0.33 ACRES

WOODLAND PRESERVED
NOT COUNTED
0.05 ACRES

**TYPE 2 TREE CONSERVATION (TCP2) PLAN
APPROVAL BLOCK**

Prince George's County Planning Department, M-NCPPC Environmental Planning Section			
TYPE 2 TREE CONSERVATION PLAN APPROVAL TCP2 - 35 - 06-00			
Approved by	Date	DRD #	Reason for Revision
00 Lori Shirley	10/26/2006	SDP-0510	N/A
01 Lori Shirley	9/10/2007	N/A	N/A
02 <i>Marc Dub</i>	11/16/2017	SDP-0510-01	
03			
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FOR OFFICIAL USE ONLY
City Use verifies that this plan meets conditions of Final approval by the Planning Board, its designee or the District Council.
M-NCPPC APPROVAL
PROJECT NAME: MONTPELIER HILLS
PROJECT NUMBER: SDP-0510-01
For questions of approval use the Fax Cover Sheet or Approval Sheet. Amendment numbers must be included on the Project Number.



MATCHLINE SEE SHEET 7

HERMOSA DRIVE
60' PUBLIC R/W

BALTIMORE WASHINGTON PARKWAY - ROUTE 295

