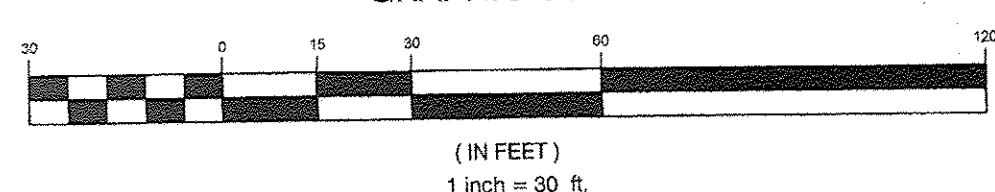


SYMBOL LEGEND

POB POINT OF BEGINNING
IPS IRON PIN SET
IPF IRON PIN FOUND
IBS IRON BAR SET
CMP CONCRETE MONUMENT FOUND
PP UTILITY POLE
LP LIGHT POLE
FP FLAG POLE
SSMH SANITARY SEWER MANHOLE
SDMH STORM DRAIN MANHOLE
INV INVERT
FH FIRE HYDRANT
EP EDGE OF PAVEMENT
TC TOP OF CURB
BC BACK OF CURB
TW TOP OF WALL
BW BOTTOM OF WALL
OU OVERHEAD UTILITY
UE UNDERGROUND UTILITY
CMP CORRUGATED METAL PIPE
RCP REINFORCED CONCRETE PIPE
PVC POLYVINYL CHLORIDE PIPE
GUY GUY WIRE ANCHOR
TR TRANSFORMER
JB JUNCTION BOX
SWCB SINGLE WING CATCH BASIN
DWCB DOUBLE WING CATCH BASIN
CLF CHAIN LINK FENCE
WV WATER VALVE
WM WATER METER
CO SEWER CLEAN-OUT
GV GAS VALVE
S.S. SAN. SEW. MANHOLE
S.D. STORM DRAIN MANHOLE
UTILITY POLE
LIGHT POLE
GLY GUY WIRE
WATER VALVE
WATER METER
GAS VALVE
GAS METER
FIRE HYDRANT
SANITARY SEWER CLEANOUT
GREASE TRAP MANHOLE

GRAPHIC SCALE



MAPPED SOIL TYPES

Map Unit	Soil Description	Hydrologic Soil Group	K-factor (whole soil)	Hydric Rating	Drainage Class
BuB	Beltsville-Urban land complex, 0-5% slopes	C	0.37	Predominantly hydric	Moderately Well
CwD	Croom-Marr complex, 10-15% slopes	B	0.10	No	Well
SdD	Sassafras-Croom-Urban land complex, 5-15% slopes	B	0.28	No	Well

General Information Table

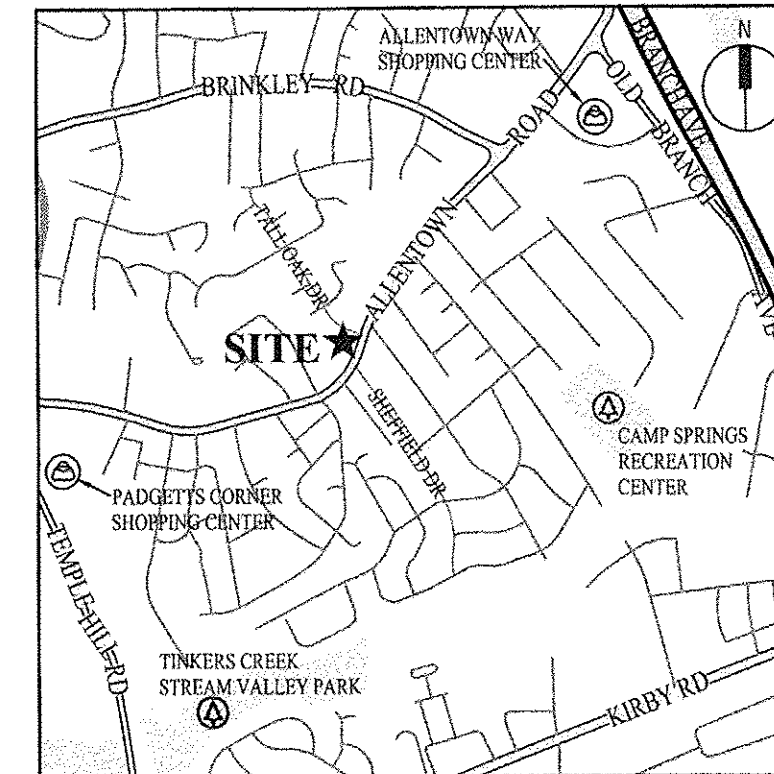
Layer Category	Layer Name	Value
Zone	Zoning (Zone)	R-80
Zone	Aviation Policy Area (APA)	N/A
Administrative	Tax Grid (TMG)	106 F1
Administrative	WSSC Grid (Sheet 20)	209 SE 05
Administrative	Policy Analysis Zone (PAZ)	76B
Administrative	Planning Area (Plan Area)	7
Administrative	Election District (ED)	6
Administrative	Councilmanic District (CD)	8
Administrative	General Plan 2002 Tier (Tier)	DEVELOPING
Administrative	Traffic Analysis Zone (COG) (TAZ-COG)	1343
Administrative	PG Traffic Analysis Zone (TAZ-PG)	2674

SPECIMEN TREE TABLE

No.	Common Name	Scientific Name	DBH (inches)	Condition	Condition Rating Score	Comments	Critical Root Zone Area to BE Preserved (Acres)	Post Construction Disposition
1	white oak	<i>Quercus alba</i>	30	Excellent	91	branches on one side of tree, slight lean	0.00 Acres	Removed
2	white oak	<i>Quercus alba</i>	31	Fair	72	exposed roots, leaning, injury healed over, numerous dead branches	0.11 Acres	Retained
3	American elm	<i>Ulmus americana</i>	41	Good	82	multi-stem trunk	0.00 Acres	Removed
4	white oak	<i>Quercus alba</i>	30	Good	82	vine cover, dead branches	0.09 Acres	Retained
5	white oak	<i>Quercus alba</i>	31	Good	88		0.16 Acres	Retained
Total Critical Root Zone (CRZ) Preserved							0.36 Acres	
Specimen Tree Credit = (CRZ) x 2							0.36(Acres) x 2 = 0.72 Acres	

SITE PLAN LEGEND

PROPOSED STRUCTURE	SYMBOL	EXISTING FEATURE	SYMBOL
LIMITS OF DISTURBANCE	LOD	SUBJECT SITE BOUNDARY	---
PROP. BUILDING	[Symbol]	ADJOINING PROPERTY BOUNDARY	---
PROP. PAVEMENT	[Symbol]	ROAD CENTERLINE	---
PROP. CONTOUR	100	BUILDING RESTRICTION LINE	25' BRL
PROP. SPOT ELEVATION	+526	EXISTING STRUCTURES	EX
PROP. GRAVEL DRYWELL	DW1	EXISTING CONTOURS (MINOR)	101
PROP. DOWNSPOUT LOCATION	DS 1	EXISTING CONTOURS (INDEX)	100
PROP. ROOF LEADER	6" PVC	EXISTING SEWER LINE	S
STABILIZED CONSTRUCTION ENTRANCE	SCE	EXISTING WATER LINE	W
SUPER SILT FENCE	SSF	EXISTING OVERHEAD WIRES	OH
TREE PROTECTION FENCE	TPF	EXISTING FENCE	X
PROP. WATER HOUSE CONNECTION	WHC	EXISTING TREELINE	---
PROP. SEWER HOUSE CONNECTION	SHC	EXISTING TREE	[Symbol]
WOODLAND PRESERVATION AREA & AREA OF FUTURE TREE CONSERVATION EASEMENT	[Symbol]	FOREST STAND	[Symbol]
Existing understory to be removed. No grading proposed	[Symbol]	SPECIMEN TREE WITH CRITICAL ROOT ZONE PROPOSED FOR REMOVAL	[Symbol]
SPECIMEN TREE SIGN	[Symbol]	SPECIMEN TREE WITH CRITICAL ROOT ZONE TO BE SAVED	[Symbol]
		EX. OVERHEAD WIRE	---
		SOIL TYPE BOUNDARY	[Symbol]



VICINITY MAP

SCALE: 1"=200'

TCP GENERAL SITE INFORMATION

EXISTING ZONING:	R-80
GROSS TRACT AREA:	1.67 AC.
NET TRACT AREA:	1.67 AC.
WOODLAND CONSERVATION REQUIRED:	0.45 AC.
WOODLAND CONSERVATION PROVIDED:	0.92 AC.

WOODLAND CONSERVATION SUMMARY TABLE (TCP-II)

LOT / PARCEL #	GROSS TRACK AREA (AC.)	100 YR FLOOD PLAIN (FP)	NET TRACT AREA (AC.) (NTA)	EXISTING WOODLAND (AC.) (FP)	WOODLAND CLEARED (AC.) (FP)	WOODLAND PRESERVED (AC.) (FP)	WOODLAND AFFORRESTATION (AC.) (FP)	WOODLAND RETAINED/NOT CREDITED (WR-NC)	WOODLAND RETAINED / ASSUMED CLEARED (AC.) (FP)
PARCEL 120 (LOT 1,2,3,4)	1.67	0.00	1.67	1.10	0.51	0.00	0.00	0.59	0.00

Standard Woodland Conservation Worksheet for Prince George's County

SECTION I-Establishing Site Information- (Enter acres for each zone)

Zone: R-80

Gross Tract: 1.67

Floodplain: 0.00

Previously Dedicated Land: 0.00

Net Tract (NTA): 1.67

0.00

0.00

TCP Number: 0

Property Description or Subdivision Name: LOTS 1-3, NEW HORIZON, 6905 Allentown Road

Is this site subject to the 1989 Ordinance? (Y/N): N

Is this one (1) single family lot? (Y/N): N

Are there prior TCP approvals which include a combination of this lot? (Y/N): N

Is any portion of the property in a WC Bank? N

Break-even point (preservation) = 0.49 acres

Clearing permitted w/o reforestation = 0.61 acres

SECTION II-Determining Requirements (Enter acres for each corresponding column)

	Column A WCT/AFT %	Column B Net Tract	Column C Floodplain (1:1)	Column D Off-Site Impacts (1:1)
Existing Woodland		1.10	0.00	
Woodland Conservation Threshold (WCT) =	20.00%	0.33		
Smaller of 13 or 14		0.33		
Woodland above WCT		0.77		
Woodland cleared		0.51	0.00	0.00
Woodland cleared above WCT (smaller of 13 or 17)		0.51		
Clearing above WCT (0.25 : 1) replacement requirement		0.13		
Woodland cleared below WCT		0.00		
Clearing below WCT (2.1 replacement requirement)		0.00		
Afforestation Required Threshold (AFT) =	15.00%	0.00		
Off-site WCA being provided on this property		0.00		
Woodland Conservation Required		0.48		

SECTION III-Meeting the Requirements (Enter acres for each corresponding column)

Woodland Preservation	0.00	Bond amount: \$
Afforestation / Reforestation	0.00	
Natural Regeneration	0.00	
Landscape Credits	0.00	
Specimen/Historic Tree Credit (CRZ area * 2.0)	0.36	0.72
Forest Enhancement Credit (Area * 25)	0.00	0.00
Street Tree Credit (Existing or 10-year canopy coverage)	0.00	0.00
Area approved for fee-in-lieu/PFA	0.00	Fee amount: \$0.00
Area approved for fee-in-lieu/non-PFA	0.00	Fee amount: \$0.00
Off-site WCA (preservation) being provided on this property	0.00	
Off-site WCA (afforestation) being provided on this property	0.00	
Woodland Conservation Provided	0.72	

Area of woodland not cleared: 0.59 acres

Net tract woodland retained not part of requirements: 0.59 acres

100-foot floodplain woodland retained: 0.00 acres

On-site woodland conservation provided: 0.36 acres

On-site woodland retained not credited: 0.59 acres

Prepared by: Kenneth R. Wallis

Signed: [Signature]

Date: 1-12-17

Property Owner's Awareness Certificate

I/We F&N Enterprises hereby acknowledge that we are aware of this Type 2 Tree Conservation Plan (TCP) and that we understand the requirements as set forth in this TCP2.

Property Owner: [Signature]

Date: 6/22/16

Qualified Professional Certification

This plan complies with the current requirements of Subtitle 25 and the Woodland and Wildlife Conservation Technical Manual.

Signed: [Signature]

Date: 1-12-17

Kenneth R. Wallis
Wetland Studies and Solutions, Inc.
1131 Beardsley Boulevard, Suite L
Millersville, MD 21108
Ph: (410) 672-5990 Fax: (410) 672-5993
E-mail: kwallis@wetlandstudies.com

Prince George's County Planning Department, M-NCPPC
Environmental Planning Section

TREE CONSERVATION PLAN APPROVAL
TCP2- 35-2016

Approved by	Date	DRD #	Reason for Revision
00 [Signature]	2/3/17		
01			
02			
03			
04			
05			
06			

TYPE 2 TREE CONSERVATION PLAN

LOTS 1-3, NEW HORIZON

PROJECT ADDRESS

6905 Allentown Road,
Temple Hills, Maryland 20748.

OWNER/ APPLICANT INFO

F&N Enterprises
6905 Allentown Rd.
Temple Hills, MD 20748
Phone: (703) 932 - 3905

ZONE: R-80
TAX ID # 06-0598755
TAX MAP: 106
PARCEL: 120
Liber: 30764/ Folio: 581
WSSC Grid: 209 SE 05

SIXTH ELECTION DISTRICT
PRINCE GEORGE'S COUNTY, MARYLAND

SEAL

RAZTEC ASSOCIATES, INC.
civil engineers & planners

3280 Urbana Pike
Jlansville, Maryland 21754

Tel: (301) 775-4394
email: raztecengr@comcast.net

DRAWN BY: MP
CHECKED BY: MR

DATE
JUNE
2016

SCALE
1" = 30'

SHEET NUMBER
1 of 2

GENERAL NOTES

1. This plan is submitted to fulfill the woodland conservation requirements for Grading Permits for Reaching Hearts International Church.
2. Cutting or clearing of woodland not in conformance with this plan or without the expressed written consent of the Planning Director or designee shall be subject to a \$9.00 per square foot mitigation fee.
3. A pre-construction meeting is required prior to the issuance of grading permits. The Department of Public Works and Transportation or the Department of Environmental Resources, as appropriate, shall be contacted prior to the start of any work on the site to conduct a pre-construction meeting where implementation of woodland conservation measures shown on this plan will be discussed in detail.
4. The developer or builder of the lots or parcels shown on this plan shall notify future buyers of any woodland conservation areas through the provision of a copy of this plan at time of contract signing. Future property owners are also subject to this requirement.
5. The owners of the property subject to this tree conservation plan are solely responsible for conformance to the requirements contained herein.
6. The property is within the Developing Tier and is zoned R-A.
7. The site is not adjacent to a roadway designated as scenic, historic, a parkway or a scenic by way.
8. The site is not adjacent to a roadway classified as arterial or greater.
9. This plan is not grandfathered under CB-27-2010, Section 25-117 (g).
10. Tree Preservation and Retention Notes
 - 10.a. All woodlands designated on this plan for preservation are the responsibility of the property owner. The woodland areas shall remain in a natural state. This includes the canopy trees and understory vegetation. A revised tree conservation plan is required prior to clearing woodland areas that are not specifically identified to be cleared on the approved TCP2.
 - 10.b. Tree and woodland conservation methods such as root pruning shall be conducted as noted on this plan.
 - 10.c. The location of all temporary tree protection fencing (TPFs) shown on this plan shall be flagged or staked in the field prior to the pre-construction meeting. Upon approval of the locations by the county inspector, installation of the TPFs may begin.
 - 10.d. All temporary tree protection fencing required by this plan shall be installed prior to commencement of clearing and grading of the site and shall remain in place until the bond is released for the project. Failure to install and maintain temporary or permanent tree protective devices is a violation of this TCP2.
 - 10.e. Woodland preservation areas shall be posted with signage as shown on the plans at the same time as the temporary TPF installation. These signs must remain in perpetuity.

Removal of Hazardous Trees or Limbs by Developers or Builders

- 10.f. The developer and/or builder is responsible for the complete preservation of all forested areas shown on the approved plan to remain undisturbed. Only trees or parts thereof designated by the county as dead, dying, or hazardous may be removed.
- 10.g. A tree is considered hazardous if a condition is present which leads a Certified Arborist or Licensed Tree Expert to believe that all or a portion of the tree has a potential to fall and strike a structure, parking area, or other high use area and result in personal injury or property damage.
- 10.h. During the initial stages of clearing and grading, if hazardous trees are present, or trees are present that are not hazardous but are leaning into the disturbed area, the permittee shall remove said trees using a chain saw. Corrective measures requiring the removal of the hazardous tree or portions thereof shall require authorization by the county inspector. Only after approval by the inspector may the tree be cut by chainsaw to near the existing ground level. The stump shall not be removed or covered with soil, mulch or other materials that would inhibit sprouting.
- 10.i. If a tree or trees become hazardous prior to bond release for the project, due to storm events or other situations not resulting from an action by the permittee, prior to removal, a Certified Arborist or a Licensed Tree Expert must certify that the tree or the portion of the tree in question has a potential to fall and strike a structure, parking area, or other high use area and may result in personal injury or property damage. If a tree or portions thereof are in imminent danger of striking a structure, parking area, or other high use area and may result in personal injury or property damage then the certification is not required and the permittee shall take corrective action immediately. The condition of the area shall be fully documented through photographs prior to corrective action being taken. The photos shall be submitted to the inspector for documentation of the damage.

If corrective pruning may alleviate a hazardous condition, the Certified Arborist or a Licensed Tree Expert may proceed without further authorization. The pruning must be done in accordance with the latest edition of the appropriate ANSI A-300 Pruning Standards. The condition of the area shall be fully documented through photographs prior to corrective action being taken. The photos shall be submitted to the inspector for documentation of the damage.

Debris from the tree removal or pruning that occurs within 35 feet of the woodland edge may be removed and properly disposed of by recycling, chipping or other acceptable methods. All debris that is more than 35 feet from the woodland edge shall be cut up to allow contact with the ground, thus encouraging decomposition. The smaller materials shall be placed into brush piles that will serve as wildlife habitat. The work to be completed within a road right-of-way requires a permit from the Maryland Department of Natural Resources unless the tree removal is shown within the approved limits of disturbance on a TCP2. The work is required to be conducted by a Licensed Tree Expert.

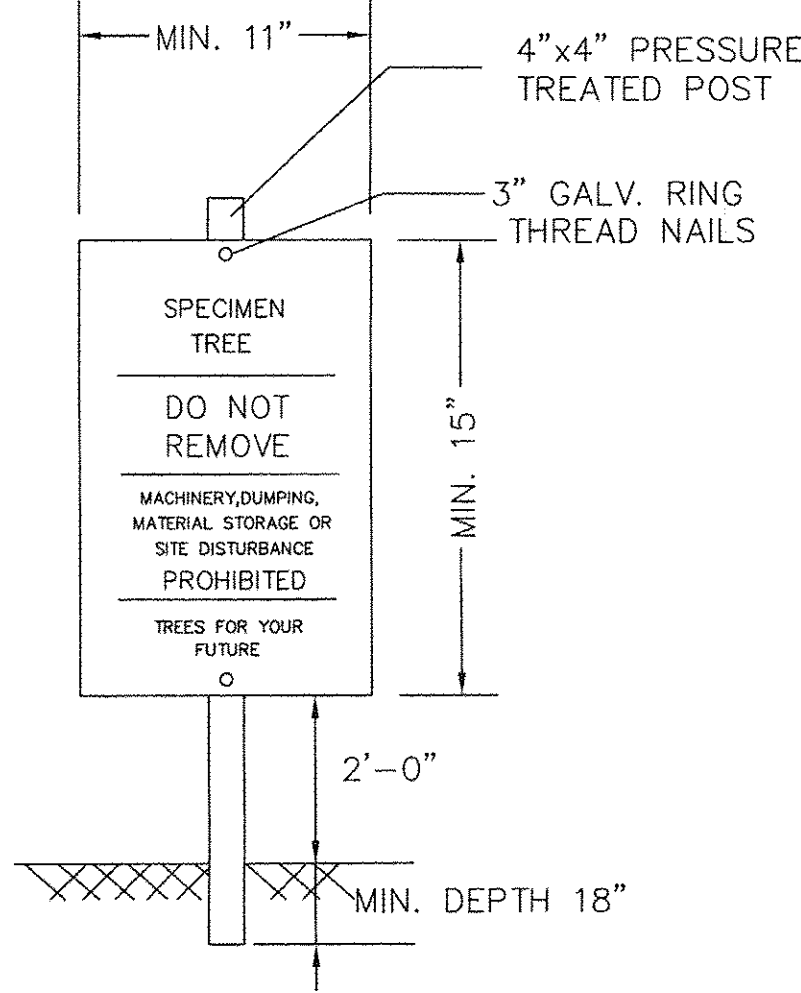
POST DEVELOPMENT NOTES

When woodlands and/or specimen, historic or champion trees are to remain:

- a. If the developer or builder no longer has an interest in the property and the new owner desires to remove a hazardous tree or portion thereof, the new owner shall obtain a written statement from a Certified Arborist or Licensed Tree Expert identifying the hazardous condition and the proposed corrective measures prior to having the work conducted. After proper documentation has been completed per the handout "Guidance for Prince George's County Property Owners, Preservation of Woodland Conservation Areas", the arborist or tree expert may then remove the tree. The stump shall be cut as close to the ground as possible and left in place. The removal or grinding of the stumps in the woodland conservation area is not permitted. If a tree or portions thereof are in imminent danger of striking a structure, parking area, or other high use area and may result in personal injury or property damage then the certification is not required and the permittee shall take corrective action immediately. The condition of the area shall be fully documented through photographs prior to corrective action being taken. The photos shall be submitted to the inspector for documentation of the damage. Tree work to be completed within a road right-of-way requires a permit from the Maryland Department of Natural Resources unless the tree removal is shown within the approved limits of disturbance on a TCP2. The work is required to be conducted by a Licensed Tree Expert.
- b. The removal of noxious, invasive, and non-native plant species from any woodland preservation area shall be done with the use of hand-held equipment only (pruners or a chain saw). These plants may be cut near the ground and material less than two inches diameter may be removed from the area and disposed of appropriately. All material from these noxious, invasive, and non-native plants greater than two (2) inches diameter shall be cut to allow contact with the ground, thus encouraging decomposition.
- c. The use of broadcast spraying of herbicides is not permitted. However, the use of herbicides to discourage re-sprouting of invasive, noxious, or non-native plants is permitted if done as an application of the chemical directly to the cut stump immediately following cutting of plant. The use of any herbicide shall be done in accordance with the label instructions.
- d. The use of chainsaws is extremely dangerous and should not be conducted with poorly maintained equipment, without safety equipment, or by individuals not trained in the use of this equipment for the pruning and/or cutting of trees.

Protection of Reforestation and Afforestation Areas by Individual Homeowners

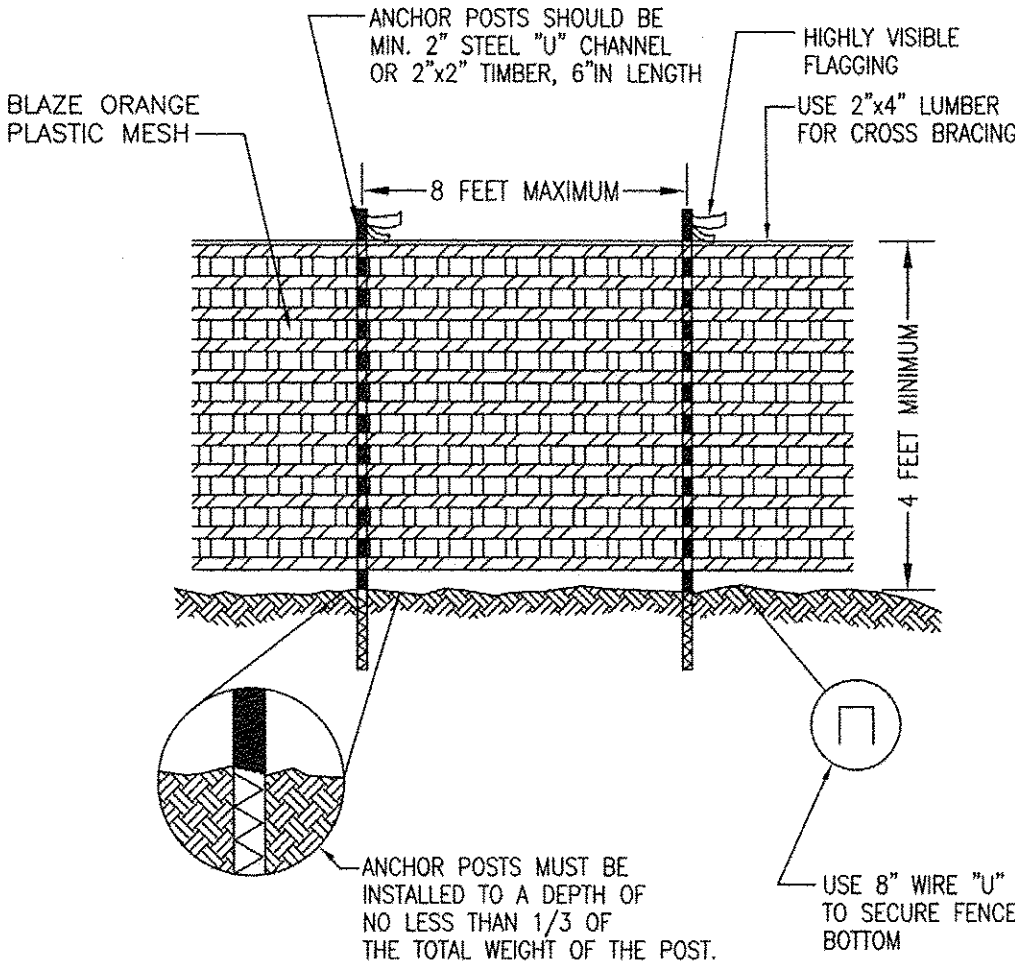
- a. Reforestation fencing and signage shall remain in place in accordance with the approved Type 2 Tree Conservation Plan.
- b. Reforestation areas shall not be mowed; however, the management of competing vegetation and removal of noxious, invasive, and non-native vegetation around individual trees is acceptable.



NOTES:

1. ATTACHMENT OF SIGNS TO TREES IS PROHIBITED.
2. SIGNS SHOULD BE PROPERLY MAINTAINED.
3. AVOID INJURY TO ROOTS WHEN PLACING POSTS FOR THE SIGNS.
4. SIGNS SHOULD BE POSTED TO BE VISIBLE TO ALL CONSTRUCTION PERSONNEL FROM ALL DIRECTIONS.
5. SIGNS SHOULD BE INSTALLED AT SAME TIME AS TREE PROTECTION DEVICE.
6. LOCATE SIGNS APPROXIMATELY EVERY 50 FEET ALONG FENCING.
7. SIGNS SHOULD BE IN PLACE IMMEDIATELY FOLLOWING STAKE OUT OF L.O.D., AND REMAIN IN PLACE IN PERPETUITY.

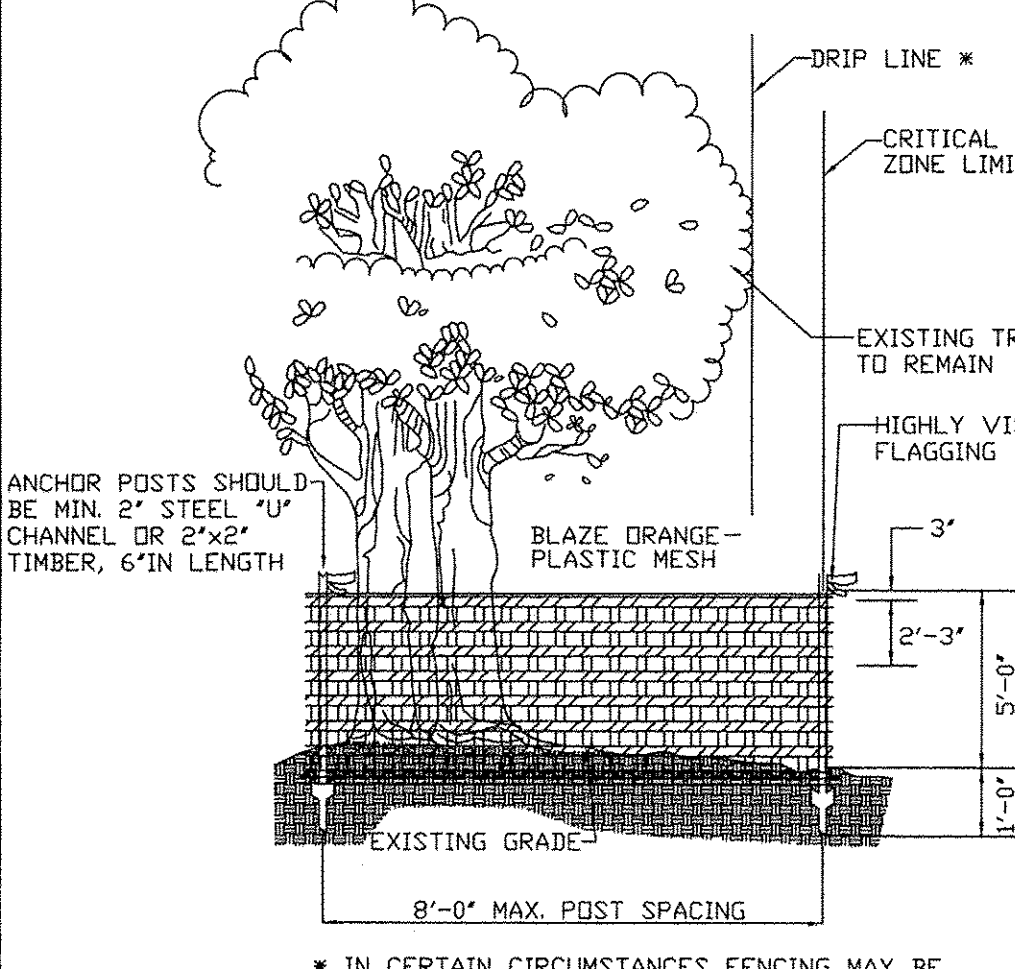
SPECIMEN TREE PROTECTION SIGN



NOTES: (MUST BE INCLUDED WITH DETAIL)

1. FOREST PROTECTION DEVICE ONLY.
2. RETENTION AREA WILL BE SET AS PART OF THE REVIEW PROCESS.
3. BOUNDARIES OF RETENTION AREA SHOULD BE STAKED AND FLAGGED PRIOR TO INSTALLING DEVICES.
4. AVOID ROOT DAMAGE WHEN PLACING ANCHOR POSTS.
5. DEVICE SHOULD BE PROPERLY MAINTAINED DURING CONSTRUCTION
6. PROTECTIVE SIGNAGE IS ALSO REQUIRED.

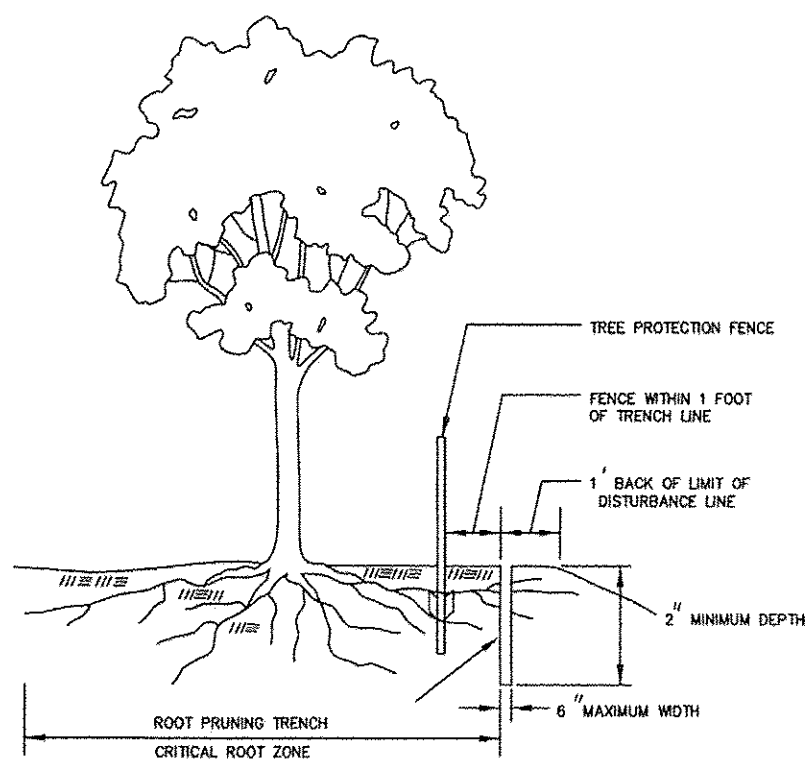
TYPE 1 (TEMPORARY) TREE PROTECTION FENCE
DETAIL FOR WOODLAND PRESERVATION AREAS



NOTES: (MUST BE INCLUDED WITH DETAIL)

1. FOREST PROTECTION DEVICE ONLY.
2. RETENTION AREA WILL BE SET AS PART OF THE REVIEW PROCESS.
3. BOUNDARIES OF RETENTION AREA SHOULD BE STAKED AND FLAGGED PRIOR TO INSTALLING DEVICES.
4. AVOID ROOT DAMAGE WHEN PLACING ANCHOR POSTS.
5. DEVICE SHOULD BE PROPERLY MAINTAINED DURING CONSTRUCTION
6. PROTECTIVE SIGNAGE IS ALSO REQUIRED.

TEMPORARY FENCE PROTECTION DETAIL FOR
WOODLAND PRESERVATION AREAS



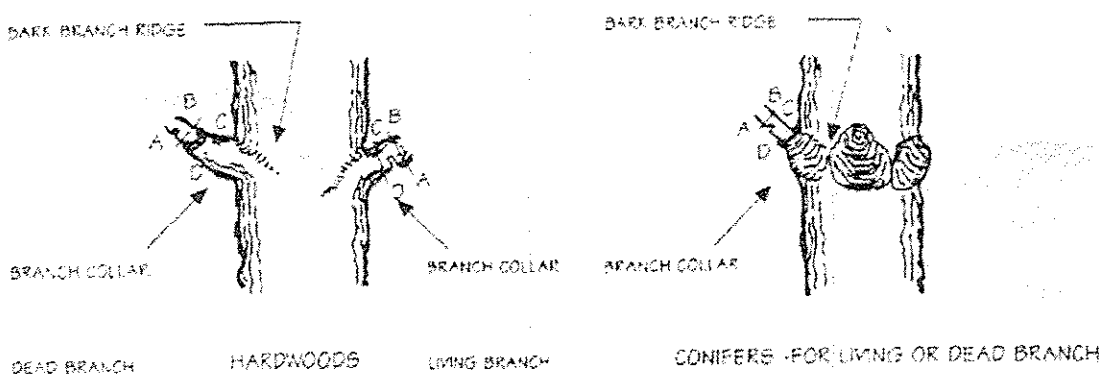
Source: Maryland State Forest Conservation Technical Manual, 3rd Edition - 1997

NOTES:

1. RETENTION AREAS TO BE ESTABLISHED AS PART OF THE FOREST CONSERVATION PLAN REVIEW PROCESS.
2. BOUNDARIES OF RETENTION AREAS SHOULD BE STAKED, FLAGGED AND/OR FENCED PRIOR TO TRENCHING.
3. EXACT LOCATION OF TRENCH SHOULD BE IDENTIFIED.
4. TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH SOIL REMOVED OR OTHER HIGH ORGANIC SOIL.
5. ROOTS SHOULD BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT.

ROOT PRUNING

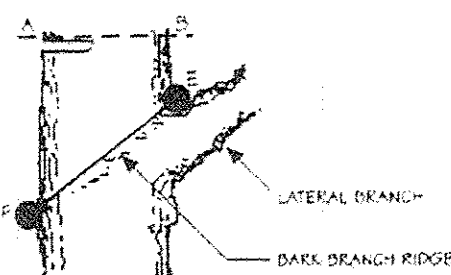
Pruning a Branch



Notes:

1. Remove branch weight by undercutting at A and remove limb by cutting through at AB.
2. Remove stub at CD (line between branch bark ridge and outer edge of branch collar).
3. If D is difficult to find on hardwoods, angle of CD to trunk should be the reflective angle of the bark branch ridge to the trunk.
4. Only prune at specified times.
5. Remove no more than 30% of crown at one time.

Pruning a Leader to Reduce Size



Notes:

1. Remove top weight by undercutting at A and remove limb by cutting through AB.
2. Remove stub at EF parallel to the bark branch ridge.
3. Only prune at specified times.
4. No more than 30% of crown to be removed at one time.
5. Diameter of lateral branch should be no less than 30% of the diameter of the leader.

Source: Fairfax County, Virginia Vegetation Preservation & Planning, January 1986

TREE PRUNING

REV#	DATE

Property Owner's Awareness Certificate

I/We F&N Enterprises hereby acknowledge that we are aware of this Type 2 Tree Conservation Plan (TCP2) and that we understand the requirements as set forth in this TCP2.

FCJ 6/22/16
Property Owner Date

Prince George's County Planning Department, M-NCPPC Environmental Planning Section TREE CONSERVATION PLAN APPROVAL TCP2- 35-2016			
Approved by	Date	DRD #	Reason for Revision
00 <u>M. SSO</u>	2/3/17		
01			
02			
03			
04			
05			
06			

TYPE 2 TREE CONSERVATION PLAN
NOTES & DETAILS 1

LOTS 1-3, NEW HORIZON

PROJECT ADDRESS

6905 Allentown Road,
Temple Hills, Maryland 20748.

OWNER/ APPLICANT INFO

F&N Enterprises
6905 Allentown Rd,
Temple Hills, MD 20748
Phone: (703) 932 - 3905

ZONE: R-80
TAX ID # 06-0598755
TAX MAP: 106
PARCEL: 120
Liber: 30764/ Folio: 581
WSSC Grid: 209 SE 05

SIXTH ELECTION DISTRICT
PRINCE GEORGE'S COUNTY, MARYLAND

SEAL

RAZTEC ASSOCIATES, INC.
civil engineers & planners

3280 Urbana Pike
Liamsville, Maryland 21754

Tel(301) 775-4394
email: raztecengr@comcast.net

DRAWN BY: MP
CHECKED BY: MR

DATE
JUNE
2016

SCALE
N/A

SHEET NUMBER
2 of 2