

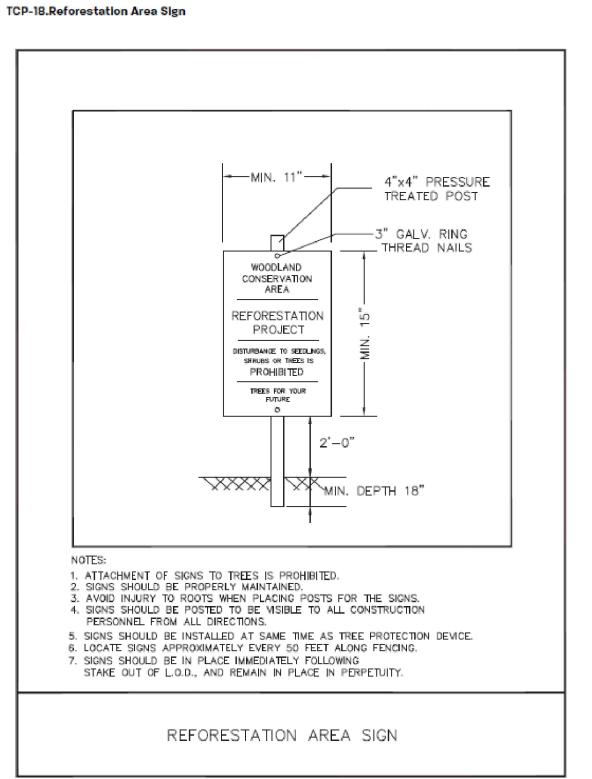
THEE PROTECTION FEMCE FENCE WITHIN 1 FOOT OF THENCH LINE

- I. RETENTION AREAS TO BE ESTABLISHED AS PART OF THE FOREST CONSERVATION
- 2. BOUNDARIES OF RETENTION AREAS SHOULD BE STAKED, FLAGGED AND/OR FENCED PRIOR TO TRENCHING.
- 3. EXACT LOCATION OF TRENCH SHOULD BE IDENTIFIED. 4. TRENCH SHOULD BE IMMEDIALTEY BACKFILLED WITH SOL REMOVED OR OTHER HIGH
- 5. ROOTS SHOULD BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE

ROOT PRUNING

Prince George's County Planning Department

Prince George's County Planning Department

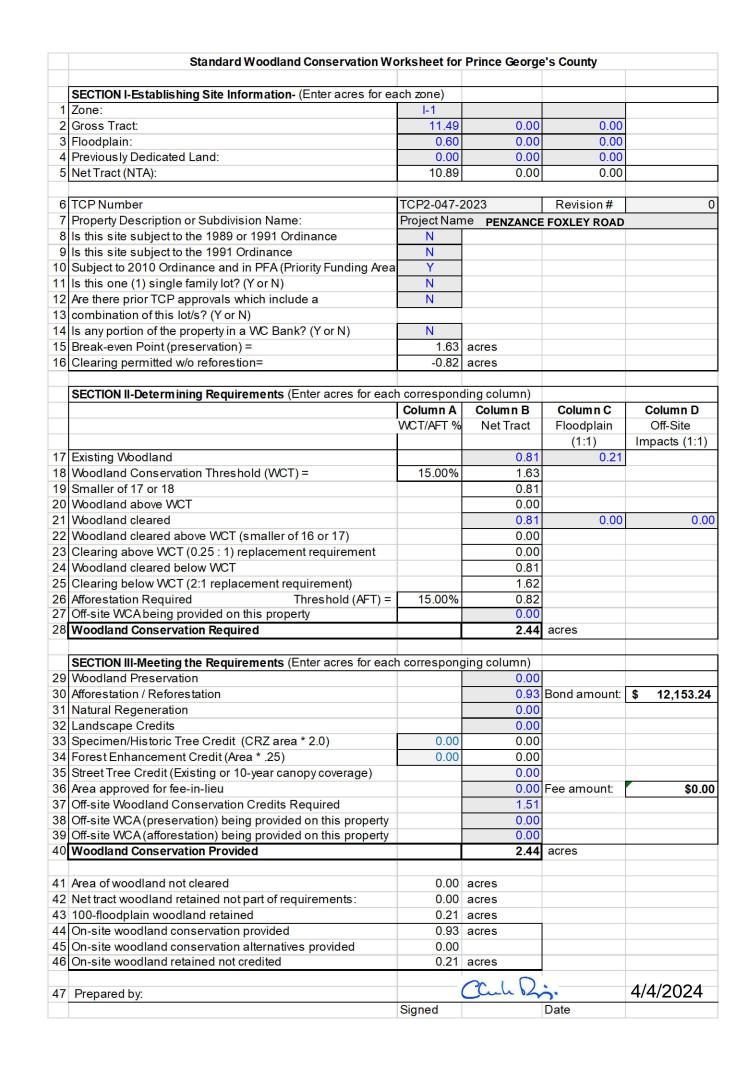


Appendix A-43

TREE CONSERVATION PLAN TYPE 2

TCP2-047-2023

PENZANCE FOXLEY ROAD



REFORESTATION PLANTING DETAIL

Planting Specification Notes

D= PROPOSED ON CENTER (20' O.C.

SEE LANDSCAPE SCHEDULE FOR FOR REQUIRED SPACING

2. Type: (See Plant Schedule)

3. Plant Quality Standards: The plants selected shall be healthy and sturdy representatives of their species. Seedlings shall have a minimum top growth of 18". The diameter of the root collar (the part of the root just below ground level) shall be at least 3/8". The roots shall be well developed and at least 8" long, No more than twenty –five percent (25%) of the root system (both primary and auxiliary/fibrous roots shall be present.

Plants that do not have an abundance of well developed terminal buds on the leaders and

branches shall be rejected. Plants shall be shipped by the nursery immediately after lifting from the field or removal from the green house, and planted immediately upon receipt by the landscape contractor.

If the plants cannot be planted immediately after delivery to the reforestation site, they shall be stored in the shade with their root masses protected from direct exposure to sun and wind by the use of straw, peat moss, compost, or other suitable material and shall be maintained through periodic watering, until the time of planting.

4. Plant Handling: the quantity of seedlings taken to the field shall not exceed the quantity that can be planted in a day. Seedlings, once removed from the nursery or temporary storage area shall be planted immediately. 5. Timing of Planting: The best time to plant seedlings is while they are dormant, prior to

spring budding. The most suitable months for planting are March and April, when the soil is moist, but may be planted from March through November. No planting shall be done while ground is frozen. Planting shall occur within one growing season of the issuance of grading /building permits and/or reaching the final grades and stabilization of planting areas. 6. Seedling Planting: Tree seedlings shall be hand planted using a dibble bar or sharp-shooter shovel. It is important that the seedling be placed in the hole so that the roots can spread

out naturally; they should not be twisted, balled up or bent. Moist soil should then be packed firmly around the roots. Seedlings should be planted at a depth where their roots lie just below the ground surface. Air pockets should not be left after closing the hole which would allow the roots to dry out. See planting details for further explanation. If the contractor wishes to plant by another method, the preparer of this tree conservation plan must be contacted and give his approval before planting may begin.

7. Spacing: See Plant Schedule and/or Planting Plan for spacing requirements. Also refer to the Planting Layout detail for a description of the general planting theory.

8. Soil: Upon the completion of all grading operations, a soil test shall be conducted to determine what soil preparation and soil amendments, if any, are necessary to create good tree growing conditions. Soil samples shall be taken at a rate that provides one soil sample for each area that appears to have a different soil type (if the entire area appears uniform. then only one sample is necessary), and submitted for testing to a private company. The company of choice shall make recommendations for improving the existing soil. The soil will be tested and recommended for corrections of soil texture, pH, magnesium,

9. Soil Improvement Measures: the soil shall then be improved according to the

phosphorus, potassium, calcium and organic matter.

10. Fencing and Signage: Final protective fencing shall be placed on the visible and/or completion of planting operations unless it was installed during the initial stages of development. Signs shall be posted per the signage detail on this sheet.

11. Planting method: Consult the Planting Detail(s) shown on this plan.

12. Mulching: Apply two-inch thick layer of woodchip or shredded hardwood mulch (as noted) to each plating site (see detail shown on this plan).

13. Groundcover Establishment: the remaining disturbed area between seedling planting sites shall be seeded and stabilized with white clover seed at the rate of 5 lbs/acre.

14. Mowing: No mowing shall be allowed in any planting area.

15. Survival Check for Bond Release: The seedling planting is to be checked at the end of each year for four years to assure that no less than 75% of the original planted quantity survives. If the minimum number has not been provided the area must be supplemented with additional seedlings to reach the required number at time of planting.

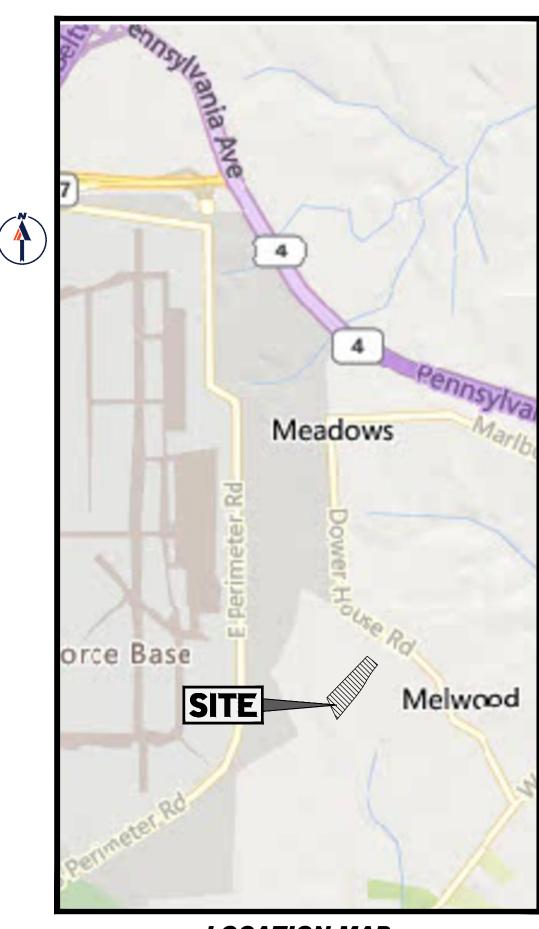
16. Source of Seedlings: state name, address, and phone number of nursery or supplier. (TO BE

LIBER 49700 IN FOLIO 76.

"WOODI ANDS PRESERVED. PLANTED. OR REGENERATED IN FULL HILL MENT OF WOODI AND CONSERVATION REQUIREMENTS ON-SITE HAVE BEEN PLACED IN A WOODLAND AND WILDLIFE HABITAT CONSERVATION EASEMENT RECORDED IN THE PRINCE GEORGE'S COUNTY LAND RECORDS AT

6401 FOXLEY ROAD PRINCE GEORGES COUNTY, MD MAP 99, GRID D4 PARCEL 25

LOCATION OF SITE



LOCATION MAP

Afforestation and Reforestation Notes

a. All afforestation and reforestation bonds, based on square footage, shall be posted with the county prior to the issuance of any permits. These bonds will be retained as surety until all required activities have been satisfied or the required timeframe for maintenance has passed.

b. The planting of afforestation or reforestation areas shall be completed prior to the issuance of the first building permit. (This standard note may be modified as necessary to address which building permits are adjacent to the proposed planting area.) Seedling planting is to occur from November through May only. No planting shall be done while ground is frozen. Planting with larger caliper stock or containerized stock may be done at any time provided a detailed maintenance schedule is provided.

c. If planting cannot occur due to planting conditions, the developer or property owner shall install the fencing and signage in accordance with the approved Type 2 Tree Conservation Plan. Planting shall then be accomplished during the next planting season. If planting is delayed beyond the transfer of the property title to the landowner, the developer or builder shall obtain a signed statement from the purchaser indicating that they understand that the reforestation area is located on their property and that reforestation will occur during the next planting season. A copy of that document shall be presented to the Grading Inspector and the

d. Reforestation areas shall not be mowed. The management of competing vegetation around individual trees and the removal of noxious, invasive, and non-native vegetation within the

e. All required temporary tree protection fencing shall be installed prior to the clearing and grading of the site and shall remain in place until the permanent tree protection fencing is installed with the required planting. The temporary fencing is not required to be installed if the permanent fencing is installed prior to clearing and grading of the site. Failure to install and maintain temporary or permanent tree protective fencing is a violation of this TCP2.

f. Afforestation/reforestation areas shall be posted with notification signage, as shown on the plans, at the same time as the permanent protection fencing installation. These signs

g. The county inspector shall be notified prior to soil preparation or initiation of any tree

h. At time of issuance of the first permit, the following information shall be submitted to the M-NCPPC Planning Department regarding the contractor responsible for implementation of this plan: contractor name; business name (if different); address; and phone number. Results of annual survival checks for each of the required four years after tree planting shall be reported to the M-NCPPC, Planning Department

i. Failure to establish the afforestation or reforestation within the prescribed time frame will result in the forfeiture of the reforestation bond and/or a violation of this plan including the associated \$9.00 per square foot penalty unless the county inspector approves a written

FOXLEY ROAD, LLC

LAYER CATEGORY	LAYER NAME	VALUE
ZONE	ZONING	IE
ZONE	AVIATION POLICY AREA (APA) 1	N/A
ADMINISTRATIVE	TAX GRID (TMG)	099D4
ADMINISTRATIVE	WSSC GRID (SHEET 20)	209SE08
ADMINISTRATIVE	PLANNING AREA (PLAN AREA)	MELWOOD (77)
ADMINISTRATIVE	ELECTION DISTRICT (ED)	9
ADMINISTRATIVE	COUNCILMANIC DISTRICT (CD)	9
ADMINISTRATIVE	GENERAL PLAN 2002 TIER (TIER)	MELWOOD (77)
ADMINISTRATIVE	GENERAL PLAN GROWTH POLICY (2035)	
ADMINISTRATIVE	POLICE DISTRICT	8

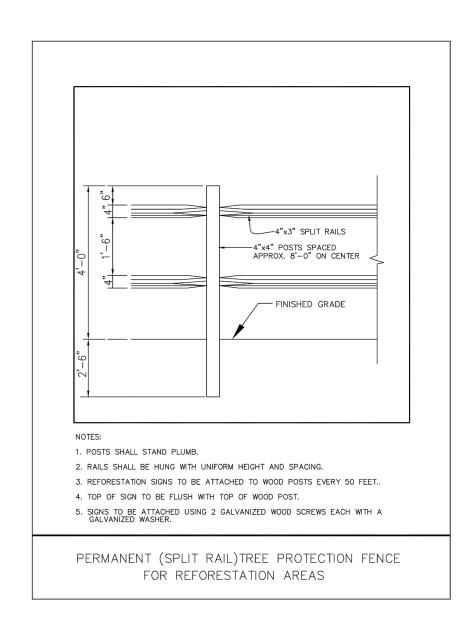
PREPARED BY



CONTACT: CHRISTOPHER M. RIZZI

POST DEVELOPMENT NOTES:

- IF THE DEVELOPER OR BUILDER NO LONGER HAS AN INTEREST IN THE PROPERTY AND THE NEW OWNER SIRES TO REMOVE A HAZARDOUS TREE OR PORTION THEREOF. THE NEW OWNER SHALL OBTAIN A WRITTEN STATEMENT FROM A CERTIFIED ARBORIST OR LICENSED TREE EXPERT IDENTIFYING THE HAZARDOUS CONDITION AND THE PROPOSED CORRECTIVE MEASURES PRIOF O HAVING THE WORK CONDUCTED, AFTER PROPER DOCUMENTATION HAS BEEN COMPLETED PER THE HANDOUT "GUIDANCE FOR PRINCE GEORGE'S STUMP SHALL BE CUT AS CLOSE TO THE GROUND AS POSSIBLE AND LEFT IN PLACE THE REMOVAL OR GRINDING OF THE STUMPS IN THE WOOD! AND
- STRUCTURE, PARKING AREA, OR THE HIGH USE AREA AND MAY RESULT IN PHOTOGRAPHS PRIOR TO CORRECTIVE ACTION BEING TAKEN. THE PHOTOS SHALL BE SUBMITTED TO THE INSPECTOR FOR DOCUMENTATION OF THE TREE WORK TO BE COMPLETED WITHIN A ROAD RIGHT-OF-WAY REQUIRES A PERMIT FROM THE MARYLAND DEPARTMENT OF NATURAL RESOURCES UNLESS THE TREE REMOVAL IS SHOWN WITHIN THE APPROVED LIMITS OF DISTURBANCE
- THE REMOVAL OF NOXIOUS, INVASIVE, AND NON-NATIVE PLANT SPECIES FROM ANY WOODLAND PRESERVATION AREA SHALL BE DONE WITH THE USE OF HAND-HELD EQUIPMENT ONLY (PRUNERS OR A CHAIN SAW), THESE PLANTS MAY BE CUT NEAR THE GROUND AND MATERIAL LESS THAN TWO INCHES DIAMETER MAY BE REMOVED FROM THE AREA AND DISPOSED OF APPROPRIATELY. ALL MATERIAL FROM THESE NOXIOUS, INVASIVE, AND NON-NATIVE PLANTS GREATER THAN TWO (2) INCHES DIAMETER SHALL BE CUT TO ALLOW CONTACT
- WITH THE GROUND, THUS ENCOURAGING DECOMPOSITION THE USE OF BROADCAST SPRAYING OF HERBICIDES IS NOT PERMITTED. HOWEVER, THE USE OF HERBICIDES TO DISCOURAGE RE-SPROUTING OF INVASIVE, NOXIOUS, OR NON-NATIVE PLANTS IS PERMITTED IF DONE AS AN APPLICATION OF THE CHEMICAL DIRECTLY TO THE CUT STUMP IMMEDIATELY FOLLOWING CUTTING OF PLANT TOPS. THE USE OF ANY HERBICIDE SHALL BE
- DONE IN ACCORDANCE WITH THE LABEL INSTRUCTIONS.\ THE USE OF CHAINSAWS IS EXTREMELY DANGEROUS AND SHOULD NOT BE CONDUCTED WITH POORLY MAINTAINED EQUIPMENT, WITHOUT SAFETY EQUIPMENT, OR BY INDIVIDUALS NOT TRAINED IN THE USE OF THIS EQUIPMENT FOR THE PRUNING AND/OR CUTTING OF TREES.



STANDARD TYPE 2 TREE CONSERVATION PLAN NOTES THE FOLLOWING NOTES SHALL BE USED AS APPROPRIATE ON TREE CONSERVATION PLANS AND SHALL BE MODIFIED AS NECESSARY TO ADDRESS THE SPECIFIC CONDITIONS OF THE SITE. GENERAL NOTES

TO INCLUDE WITH ALL TYPE 2 TCPS:

Contract Purchaser

- 1. THIS PLAN IS SUBMITTED TO FULFILL THE WOODLAND CONSERVATION REQUIREMENTS FOR GRADING PERMIT (05579-2023). IF GRADING PERMIT (05579-2023) EXPIRES, THEN THIS TCP2 ALSO EXPIRES AND IS NO LONGER 2. CUTTING OR CLEARING OF WOODLAND NOT IN CONFORMANCE WITH THIS PLAN OR WITHOUT THE EXPRESSED
- WRITTEN CONSENT OF THE PLANNING DIRECTOR OR DESIGNEE SHALL BE SUBJECT TO A \$9.00 PER SQUARE 3. A PRE-CONSTRUCTION MEETING IS REQUIRED PRIOR TO THE ISSUANCE OF GRADING PERMITS. THE DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION OR THE DEPARTMENT OF ENVIRONMENTAL RESOURCES, AS APPROPRIATE, SHALL BE CONTACTED PRIOR TO THE START OF ANY WORK ON THE SITE TO CONDUCT A PRE-CONSTRUCTION MEETING WHERE IMPLEMENTATION OF WOODLAND CONSERVATION MEASURES SHOWN ON THIS PLAN WILL BE DISCUSSED IN DETAIL
- 4. THE DEVELOPER OR BUILDER OF THE LOTS OR PARCELS SHOWN ON THIS PLAN SHALL NOTIFY FUTURE OF ANY WOODLAND CONSERVATION AREAS THROUGH THE PROVISION OF A COPY OF THIS PLAN AT TIME OF CONTRACT SIGNING. FUTURE PROPERTY OWNERS ARE ALSO SUBJECT TO THIS REQUIREMENT. 5. THE OWNERS OF THE PROPERTY SUBJECT TO THIS TREE CONSERVATION PLAN ARE SOLELY RESPONSIBLE
- CONFORMANCE TO THE REQUIREMENTS CONTAINED HEREIN. 6. THE PROPERTY IS WITHIN THE DEVELOPING TIER AND IS ZONED I-1. 7. THE SITE IS IS NOT ADJACENT TO A ROADWAY DESIGNATED AS SCENIC, HISTORIC, A PARKWAY OR A SCENIC
- 8. THE SITE IS NOT ADJACENT TO A ROADWAY CLASSIFIED AS ARTERIAL OR GREATER. 9. THIS PLAN IS NOT GRANDFATHERED UNDER CB-27-2010, SECTION 25-119 (G).

Property Owners Awareness Certificate

I/ We Foxley Road LLC Tree Conservation Plan (TCP2) and that y	hereby acknowledge that we are aware of this Type 2 we understand the requirements as set forth in this TCP2.
Docusigned by: Michael Lufkowitz	11/29/2023
Owner or Owners Representative	Date
I/ We Tree Conservation Plan (TCP2) and that v	hereby acknowledge that we are aware of this Type 2 we understand the requirements as set forth in this TCP2.

WHEN OFF-SITE WOODLAND CONSERVATION IS PROPOSED:

PRIOR TO THE ISSUANCE OF THE FIRST PERMIT FOR THE DEVELOPMENT SHOWN ON THIS TCP2, ALL OFF SITE

WOODLAND CONSERVATION REQUIRED BY THIS PLAN SHALL BE IDENTIFIED ON AN APPROVED TCP2 PLAN AND RECORDED AS AN OFF-SITE EASEMENT IN THE LAND RECORDS OF PRINCE GEORGE'S COUNTY, PROOF OF RECORDATION OF THE OFF-SITE CONSERVATION SHALL BE PROVIDED TO THE M-NCPPC. PLANNING DEPARTMENT PRIOR TO ISSUANCE OF ANY PERMIT FOR THE ASSOCIATED PLAN.

REFERENCES

PRELIMINARY PLAN FOR PENZANCE FOXLEY HERNDON VA 20170 DATED: 08/04/2022 DATED: 10/01/21 (REV. 4) FILE NO.: PPS-4-22043; ADQ-2022-020 SURVEY JOB NO.: SB21206

SITE DEVELOPMENT CONCEPT PLAN FILE NO.: SDCP 47299-2021-0

APPROVED: PENDING FOREST STAND DELINEATION PLAN: EO-TECHNOLOGY ASSOCIATES, INC NATURAL RESOURCES INVENTORY & FOREST STAND DELINEATION PLAN

THE FOLLOWING COMPANIES WERE NOTIFIED BY MARYLAND MISS UTILITY SYSTEM (1-800-257-7777) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): 21685313

COMCAST CLEAR/NO CONFLICT 301-210-0355 301-210-0355 CLEAR/NO CONFLICT **VERIZON** CLEAR/NO CONFLICT 301-210-0355 WASHINGTON GA 301-210-0355 CLEAR/NO CONFLICT 301-868-6803 CLEAR/NO CONFLICT

THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS,

EXISTING PARCEL/LOT: PARCEL 025 DEED DESCRIPTION/LIBER FOLIO: 14560/650 PLAT NUMBER: N/A

1. TAX MAP: 099 GRID: D4

4. PRIOR APPROVALS:

2. 200-FOOT MAP REFERENCE (WSSC): 209SE08

3. PURPOSE OF SUBDIVISION: ONE PARCEL FOR 162,500 SQUARE FEET OF INDUSTRIAL USE.

NATURAL RESOURCE INVENTORY: NRI-122-2022

5. TOTAL GROSS ACREAGE: 11.49 AC (ZONE IE) TOTAL NET ACREAGE: 10.89 AC

6. NET DEVELOPABLE AREA OUTSIDE OF PMA: 9.95 AC

7. ACREAGE OF ENVIRONMENTAL REGULATED FEATURES: 2.03 AC

8. ACREAGE OF 100-YEAR FLOODPLAIN: 0.60 AC

9. ACREAGE OF ROAD DEDICATION: "0". PRIOR ZONING: I-1 (LIGHT INDUSTRIAL, MIO ZONE) EXISTING USE: INDUSTRIAL CURRENT ZONING: IE (INDUSTRIAL EMPLOYMENT,MIO

PROPOSED USE: INDUSTRIAL

11. PROPOSED USE OF PROPERTY: INDUSTRIAL SITE 12. MINIMUM LOT SIZE REQUIRED BY ZONING ORDINANCE AND

SUBDIVISION REGULATIONS (24-130): NONE 13. MINIMUM LOT WIDTH AT FRONT BUILDING LINE AND FRONT

STREET LINE: NONE 14. SUSTAINABLE GROWTH TIER: YES, TIER 1

15. MILITARY INSTALLATION OVERLAY ZONE: YES, HIGH NOISE INTENSITY ZONE, 75+ db

16. CENTER OR CORRIDOR LOCATION: NO

17. EXISTING AND PROPOSED GROSS FLOOR AREA (NON-RESIDENTIAL, EXISTING GFA TO BE RAZED)

EXISTING: 4,000 SF PROPOSED: 162,500 SF

18. STORM WATER MANAGEMENT CONCEPT NO.: SDCP 47299-2021-0 APPROVAL DATE: TBD

19. WATER/SEWER CATEGORY DESIGNATION

EXISTING WATER/SEWER: W-3/S-3 PROPOSED WATER/SEWER: W-3/S-3

20. AVIATION POLICY AREA: N/A

21. MANDATORY PARK DEDICATION REQUIREMENT: NOT APPLICABLE 22. CEMETERIES ON OR CONTIGUOUS TO THE PROPERTY: NO

23. HISTORIC SITES ON OR IN THE VICINITY OF THE PROPERTY: NO

24. TYPE 1 TREE CONSERVATION PLAN: YES 25. WITHIN CHESAPEAKE BAY CRITICAL AREA: NO

26. WETLANDS ON SITE: YES 27. STREAMS ON SITE: YES

ORGANIZATION: NO

28. SOILS BY SOIL TYPE AND SOURCE OF SOIL INFORMATION: SOILS: UdgD (HYDROLOGIC SOIL GROUP C/D) SOILS: UdgB (HYDROLOGIC SOIL GROUP C/D)

SOIL INFORMATION SOURCE: NRCS WEB SOIL SURVEY 29. IN OR ADJACENT TO AN EASEMENT HELD BY THE MARYLAND ENVIRONMENTAL TRUST. THE MARYLAND AGRICULTURAL LAND

PRESERVATION FOUNDATION, OR ANY LAND TRUST OR

SOILS: UduB (HYDROLOGIC SOIL GROUP C/D)

30. PRELIMINARY PLAN OF SUBDIVISION IS BEING REVIEWED PURSUANT TO THE PRIOR ZONING ORDINANCE AND SUBDIVISION REGULATIONS IN ACCORDANCE TO SECTION 24-1900 OF SUBDIVISION REGULATIONS.

SHEET INDEX		
SHEET TITLE	SHEET NUMBER	
COVER SHEET	C-101	
TREE CONSERVATION PLAN	C-201	

Prince George's County Planning Department, M-NCPPC **Environmental Planning Section TYPE 2 TREE CONSERVATION PLAN APPROVAL** TCP2-047-2023 Reason for Revision

ALWAYS CALL 811 It's fast. It's free. It's the law.

NOT APPROVED FOR CONSTRUCTION

09/13/2023

CNDS - 0

PROJECT No. **DRAWN BY: CHECKED BY**

CAD I.D.:

CONSERVATION PLAN TYPE 2 (TCP2-047-2023)

> PENZANCE **FOXLEY ROAD**

INDUSTRIAL DEVELOPMENT

6401FOXLEY ROAD PRINCE GEORGES COUNTY UPPER MARLBORO, MD 20772 PARCEL: 0025

16701 MELFORD BLVD, SUITE 310 **BOWIE, MARYLAND 20715** Phone: (301) 809-4500 Fax: (301) 809-4501



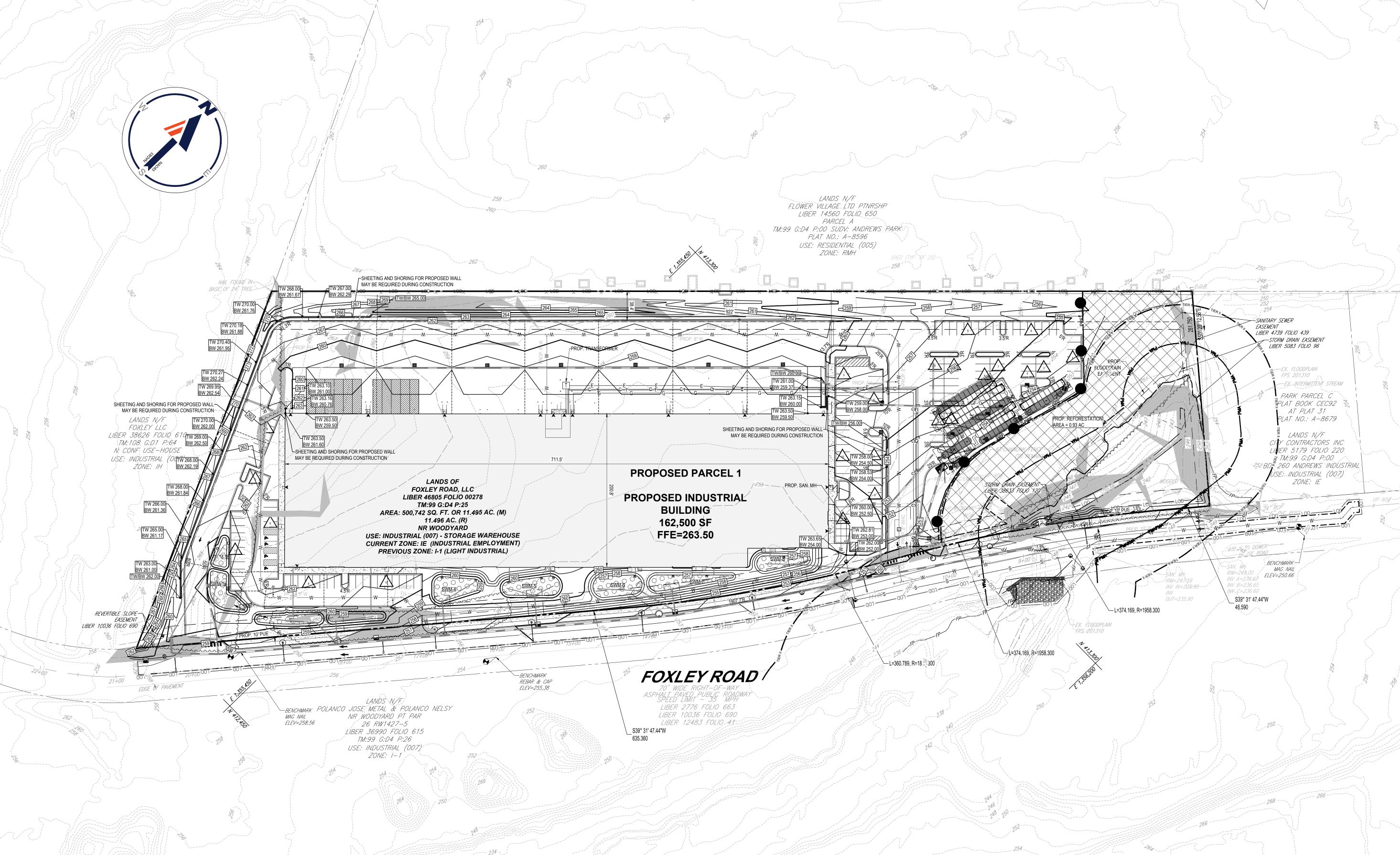
SHEET TITLE: COVER

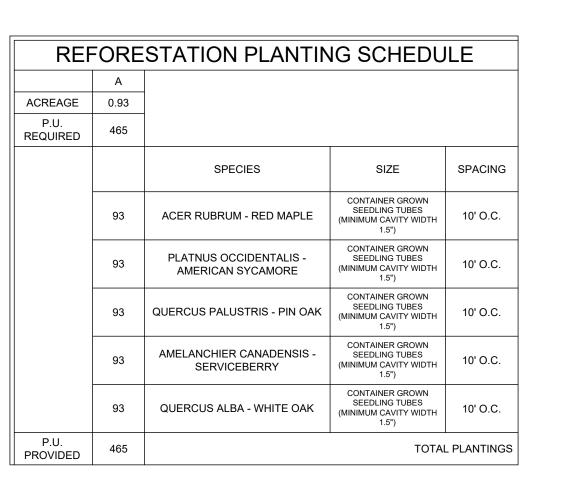
C-10²

SHEET

ORG. DATE - 7/6/2022

EVICTINO NOTE	TVDICAL NOTE TEXT	DDODOGED ***
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE CURB AND GUTTER
	CONCRETE CURB &	SPILL CURB TRANSITION C
	GUTTER	DEPRESSED CURB AND GUTTER
	UTILITY POLE WITH LIGHT	
	POLE	 0
Đ€	TRAFFIC	
0	LIGHT	· · · · · · · · · · · · · · · · · · ·
	POLE	
<u> </u>	LIGHT	<u>₩</u>
	LIGHT	
	SIGN PARKING	
	COUNTS	
— — 120 — — —	CONTOUR	120
125 C 516.4	LINE	TC516.00 TC 516.00
C 516.4 OR 516.4	ELEVATIONS	BC 515.55
SAN #	SANITARY	SAN #
STM	STORM	# #
	LABEL SANITARY SEWER	
W	LATERAL UNDERGROUND	W
E	WATER LINE UNDERGROUND	E
	ELECTRIC LINE UNDERGROUND	
G	GAS LINE OVERHEAD	
OH	WIRE	———ОН ———
T	UNDERGROUND TELEPHONE LINE	т
C	UNDERGROUND CABLE LINE	с
	STORM SEWER	
	SANITARY SEWER MAIN	S
V	HYDRANT	~
S	SANITARY MANHOLE	
D	STORM MANHOLE	
⊗ ^{WM}	WATER METER	•
₩V >	WATER VALVE	•
	GAS VALVE	
	GAS METER	\boxtimes
	TYPICAL END SECTION	
OR	HEADWALL OR ENDWALL	JOR
	YARD	
	CURB	
0	INLET CLEAN	
(E)	OUT ELECTRIC	
(T)	MANHOLE TELEPHONE	
	MANHOLE ELECTRIC	
EB	BOX ELECTRIC	EB
<u>EP</u>	PEDESTAL	EP
	MONITORING	
	WELL	
	PIT	





SITE STOCKING				
SIZE	REQUIRED PER ACRE	APPROXIMATE SPACING	SURVIVABILITY REQUIREMENT AT THE END OF THE GROWING SEASON	
BARE ROOT SEEDLINGS OR WHIPS	700	8 X 8	75%	525
CONTAINER GROWN SEEDLING TUBES (MINIMUM CAVITY WIDTH 1.5")	500	10 X 10	75%	375
CONTAINER GROWN 1,2,3 GALLON	400	12 X 12	75%	300
CONTAINER GROWN 5,7,GALLON OR 1" CAL. B & B.	300	15 X 15	85%	255
CONTAINER GROWN 15, 25 GALLON OR 1.5 - 2" CAL. B & B	150	20 X 20	100%	150
1. THESE SITE STOCKING AND SURVIVAL REQUIREMENTS ARE THE MINIMUM NUMBERS ESTIMATED TO MEET THE DEFINITION OF FOREST AND BARE LAND. 2. IN CERTAIN CIRCUMSTANCES ANY COMBINATION OF THE ABOVE MENTIONED STOCKING OPTIONS, DRY SEEDING, TREE SHELTERS, TRANSPLANTS, AND OR NATURAL REGENERATION MAY BE APPROPRIATE STRATEGIES TO FULFIL THE REQUIREMENTS OF AN APPROVED FCD. THEY WILL BE EVALUATED ON A CASE BY CASE BASIS BY THE APPROVING AUTHORITY. 3. SPACING DOES NOT IMPLY THAT THE TREES OR SHRUBS MUST BE PLANTED IN A GRID PATTERN.				

Four-Year Management Plan for Afforestion Areas

Field check the rafforestation area according to the following schedule: Year 1: Site preparation and Tree Planting Survival check once annually (September-November) see Note 1) Watering is needed (2 x month)

Control of undesirable vegetation as needed (1 x in June and 1 x in September min.) Year 2-3: Reinforcement planting is needed (See Note 2) Survival check once annually (September-November)
Control of undesirable vegetation if needed (1 x in May and 1 x in August min.)

Year 4: Reinforcement planting if needed. (See Note 2)

Survival check (September –November) 1. Survival Check: Check planted stock against plant list (or as-built) by walking the site and taking inventory. Plants must show vitality. Submit field data forms (Condition Check Sheets) to owner after each inspection. Remove all dead plants.

 Reinforcement Planting: Replace dead or missing plants in sufficient quantity to bring the total number of live plants to at least 75% of the number originally planted. If a particular species suffers unusually high mortality, replace with an alternative plant type. 3. Miscellaneous: Fertilization or watering during years 1 through 3 will be done on an as needed basis. Special return operations or recommendations will be conducted on an as

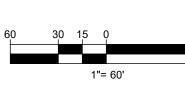
<u> </u>		
LIMIT OF DISTURBANCE	LOD	
SAWCUT		
PROPERTY BOUNDARY		
EXISTING TREE LINE		
EXISTING CONTOUR		
SOIL BOUNDARY AND TYPE	Un Mw	
WATERS OF THE U.S. LIMITS (PERENNIAL STREAM)	···	
PRIMARY MANAGEMENT AREA (PMA)		
APPROXIMATE 125-FOOT TIER II BUFFER	TIER II	
STEEP SLOPES > 15		
WOODLAND REFORESTATION / AFORESTATION / LANDSCAPE AREA		
TREE PROTECTION FENCE (PERMANENT)	PPF PPF PPF	
REFORESTATION SIGNAGE	•	

TCP2 LEGEND

NDI CITE CTATICTICC TADI E

NKI SHE STATISTICS TABL	<u>.</u> E
SITE STATISTICS	TOTAL ¹
GROSS TRACT AREA	11.49
EXISTING 100-YEAR FLOODPLAIN	0.60
NET TRACT AREA	10.89
EXISTING WOODLAND IN FLOODPLAIN	0.21
EXISTING WOODLAND ON NET TRACT AREA	0.81
EXISTING WOODLAND TOTAL	1.02
EXISTING PRIMARY MANAGEMENT AREA	0.94
REGULATED STREAMS (LINEAR FEET OF CENTERLINE)	262

1. QUANTITIES PROVIDED IN ACRES ROUNDED TO THE NEAREST 1/100 OF AN ACRES UNLESS OTHERWISE INDICATED.



Prince George's County Planning Department, M-NCPPC
Environmental Planning Section
TYPE 2 TREE CONSERVATION PLAN APPROVAL TCP2-047-2023 Approved by Date Reason for Revision

C-201

REVISIONS

Know what's **below. Call** before you dig.

ALWAYS CALL 811

It's fast. It's free. It's the law.

NOT APPROVED FOR

CONSTRUCTION

TREE

CONSERVATION PLAN TYPE 2 (TCP2-047-2023)

PENZANCE

FOXLEY ROAD

INDUSTRIAL DEVELOPMENT

6401FOXLEY ROAD

PRINCE GEORGES COUNTY

UPPER MARLBORO, MD 20772 PARCEL: 0025

16701 MELFORD BLVD, SUITE 310

BOWIE, MARYLAND 20715

Phone: (301) 809-4500

Fax: (301) 809-4501

MD@BohlerEng.com

09/13/2023

DRAWN BY: **CHECKED BY:**

CAD I.D.:

REV DATE COMMENT

ORG. DATE - 7/6/2022

PROPESSIONAL LANDSCAPE ARCHITECT
MARYLAND LICENSE No. 3066, 4/4/2024
PROFESSIONAL CERTIFICATION
L CHRISTOPHER M. RIZZI, HEREBY CHRITEY THAT
THESE DOCUMENTS WERE PREPARED OR
APPROVED BY ME, AND THAT LAM A DULY
LICENSE PROFESSIONAL LANDSCAPE ARCHITECT
UNDER THE LAWS OF THE STATE OF MARYLAND,
LICENSE NO. 3068, EXPIRATION DATE: 10/18/2024

CONSERVATION PLAN