

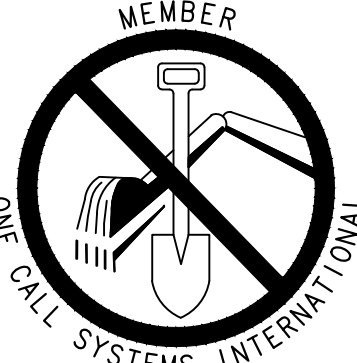
48 Hours

Before You Dig
Call

"MISS UTILITY"

Service Protection Center

MEMBER



ONE CALL SYSTEMS INTERNATIONAL

CALL TOLL FREE
1-800-257-7777

EXISTING UTILITY NOTES

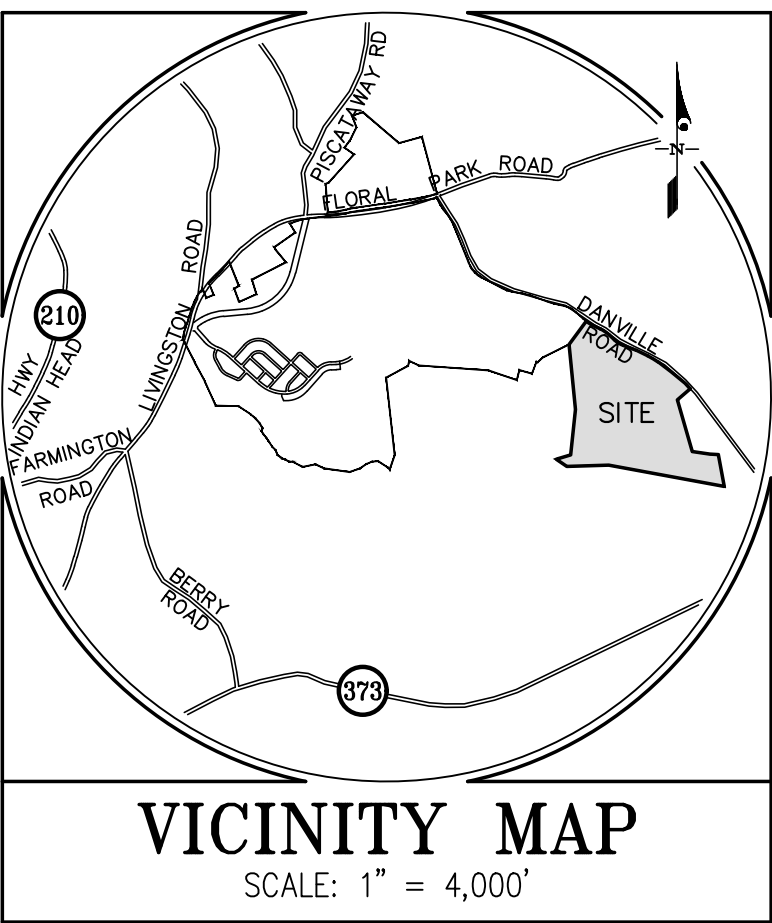
- 1.) UTILITY INFORMATION SHOWN HEREON IS APPROXIMATE AND HAS OBTAINED FROM AVAILABLE RECORDS. THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- 2.) THE CONTRACTOR SHALL HAND DIG TEST PITS AT ALL UTILITY CROSSINGS TO DETERMINE THE EXACT LOCATION AND DEPTH WELL IN ADVANCE OF CONSTRUCTION.
- 3.) FOR MARKING LOCATIONS OF EXISTING UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-257-TITI, 48 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE CITY OF ROCKVILLE UTILITIES DIVISION 240.314.8561 (48 HOURS BEFORE).
- 4.) FOR FIELD LOCATION OF GAS LINE SERVICES, PLEASE NOTIFY WASHINGTON GAS LIGHT CO. 703-750-0000, 48 HOURS PRIOR TO THE START OF ANY EXCAVATION OR CONSTRUCTION.
- 5.) OMISSIONS AND/OR ADDITIONS OF UTILITIES FOUND DURING CONSTRUCTION SHALL BE THE SOLE RESPONSIBILITY OF ANY CONTRACTOR ENGAGED IN EXCAVATION AT THIS SITE. GUTSCHICK, LITTLE & WEBER, P.A., SHALL BE NOTIFIED IMMEDIATELY OF ANY AND ALL UTILITY INFORMATION, OMISSIONS AND ADDITIONS FOUND BY ANY CONTRACTOR.
- 6.) DUE TO THE PROXIMITY OF LIVE UNDERGROUND AND OVERHEAD UTILITIES, WE ARE NOT RESPONSIBLE FOR ANY DAMAGE OR INJURY SUSTAINED DURING CONSTRUCTION BY ANY PERSONS, TRUCKS, TRAILERS, OR EQUIPMENT USED ON OR ADJACENT TO THE SITE.

THE PRESERVE at PISCATAWAY

DANVILLE ESTATES

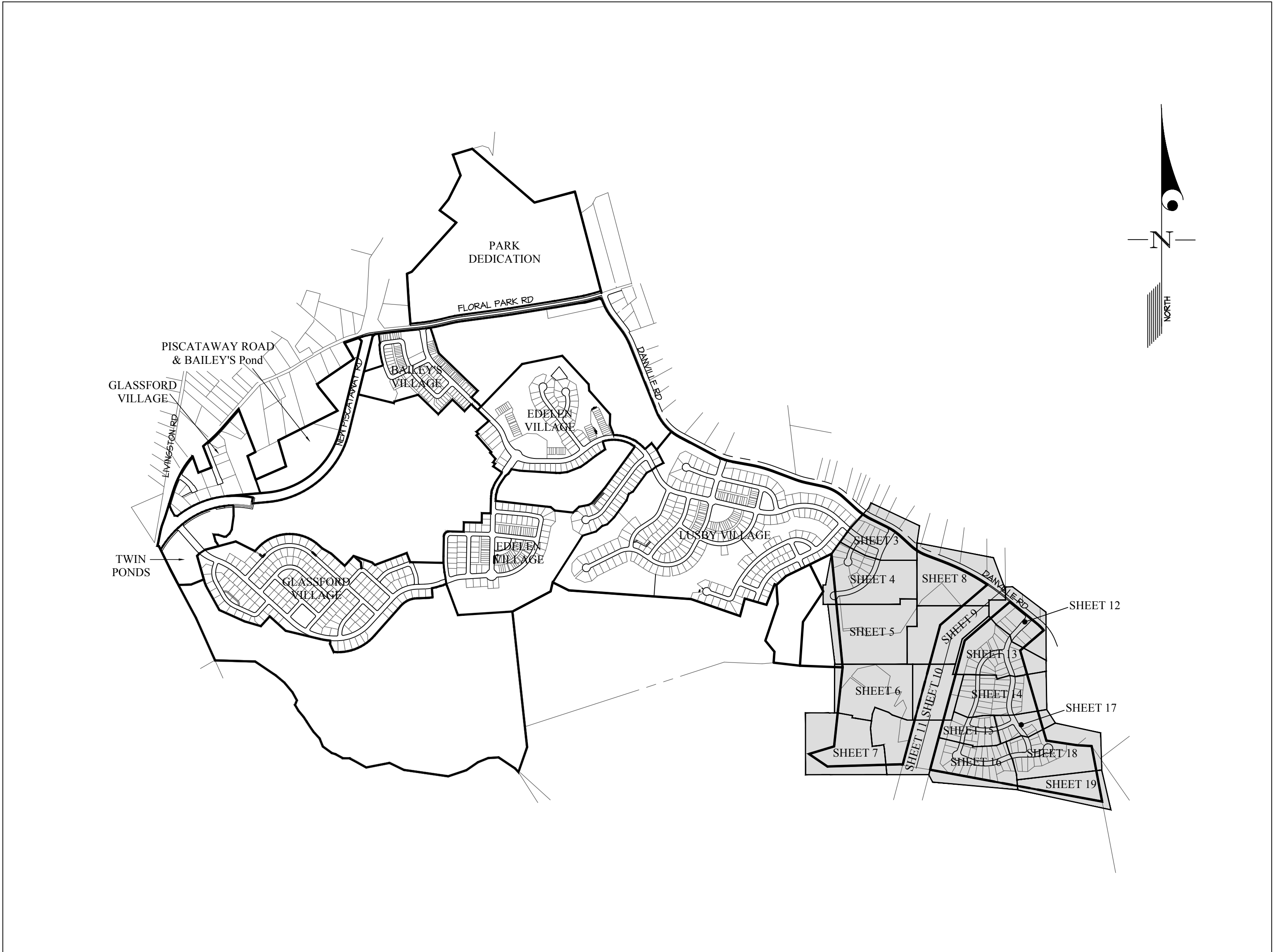
TCPII / 048 / 04

TYPE II TREE CONSERVATION PLAN



GENERAL NOTES / SITE DATA

1. OWNER / APPLICANT:
NVR MS CAVALIER PRESERVE, LLC
c/o WOODLAWN DEVELOPMENT GROUP
11700 PLAZA AMERICA DRIVE, SUITE 310
RESTON, VIRGINIA 20190
2. 200 FOOT MAP REFERENCE: 218 SE 03, 219 SE 04
214 SE 03, 214 SE 04
3. TAX MAP / GRID: 143 B3, B4, C4 & 153 B1, C1, D1
4. THIS SITE IS NOT LOCATED WITHIN THE AVIATION POLICY AREA.
5. WATER AND SEWER CATEGORY 3
6. STORMWATER MANAGEMENT CONCEPT NUMBER: 8008410-11944-02
7. THERE ARE NO KNOWN CEMETERIES ON OR CONTIGUOUS TO THE PROPERTY.
8. THERE ARE NO KNOWN HISTORIC SITES AND/OR RESOURCES ADJACENT TO THIS SITE.
9. THE LIMIT OF THE 100 YEAR FLOODPLAIN SHOWN ON THESE PLANS HAS BEEN DELINEATED FROM AN APPROVED FLOODPLAIN STUDY (#60029) FOR PISCATAWAY CREEK. THE APPROVED FLOODPLAIN STUDY #60029 WAS APPROVED ON 12/25/16 AND UPDATED ON 1/13/16.
10. THIS PROPERTY IS NOT LOCATED WITHIN THE CHESAPEAKE BAY CRITICAL AREA.
11. TOPOGRAPHY PROVIDED BY CLARK, FINEFROCK & SACKETT, INC. AS SHOWN ON THE PREVIOUSLY APPROVED SDP-0320.
12. PREVIOUSLY APPROVED TREE CONSERVATION PLANS: TCP 0104/M4 - REVISED 06/11/03
TCP 11 48-04, 12/24/04.
13. DANVILLE ROAD IS A DESIGNATED HISTORIC ROAD IN CONFORMANCE WITH THE APPROVAL OF THE FUNCTIONAL MASTER PLAN OF TRANSPORTATION (2009).
14. THE ENTIRETY OF THE CURRENT APPLICATION IS LOCATED WITHIN THE MOUNT VERNON VIEWED AREA OF PRIMARY CONCERN.
15. PART OF THE PROPERTY SHOWN HEREON IS SUBJECT TO A WOODLAND AND WILDLIFE HABITAT CONSERVATION EASEMENT RECORDED IN LIBER 36102 AT FOLIO 128.



PROPERTY BOUNDARY

REGULATED STREAM

FP

100-YR FLOODPLAIN

100-YR FLOODPLAIN EASEMENT

PRIMARY MANAGEMENT AREA (PMA)

CONSERVATION EASEMENT

NETLAND

25' NETLAND BUFFER

EXISTING TREE LINE

EXISTING NON-WOODLAND AREA

PROPOSED TREE LINE

LIMIT OF DISTURBANCE

TEMPORARY TREE PROTECTION FENCE

PERMANENT TREE PROTECTION FENCE

WOODLAND PRESERVATION SIGN

SPECIMEN, CHAMPION, HISTORIC TREE WITH CRITICAL ROOT ZONE TO BE SAVED

SPECIMEN, CHAMPION, HISTORIC TREE WITH CRITICAL ROOT ZONE TO BE REMOVED

CLEARED FLOODPLAIN AREA (C-FP)

CLEARED OFF-SITE AREA (C-OS)

WOODLAND PRESERVATION AREA (NPA)

WOODLAND RETAINED-NOT CREDITED (NP-NC)

NATURAL REGENERATION AREA (NRA)

SHEET SCHEDULE

SHEET NO.	SHEET TITLE
1	COVER SHEET
2	DETAIL SHEET
3-19	TREE CONSERVATION PLANS

THIS BLOCK IS FOR
OFFICIAL USE ONLY
OR User certifies that this plan
meets conditions of final approval
by the Planning Board, it's designee
or the District Council.

M-NCPPC
APPROVAL

PROJECT NAME: DANVILLE ESTATES

PROJECT NUMBER: SDP-0320-07

For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet
Revision numbers must be included in the Project Number

M-NCPPC PRINCE GEORGES COUNTY PLANNING DEPARTMENT ENVIRONMENTAL PLANNING SECTION APPROVAL TREE CONSERVATION PLAN TCPII-048-04			
APPROVED BY	DATE	DEED #	REASON FOR REVISION
01 J.L. Stutz	12/29/04		
02 Kim Finch	03/07/15		
03 Kim Finch	07/14/16		
04 Kim Finch	03/10/17	SDP 0320-07	REVISION TO TREE CONSERVATION PLAN
05 Kim Finch	07/17/17	SDP 0320-06	REVISION TO TREE CONSERVATION PLAN
06 Kim Finch	3/11/2019	SDP 0320-07	REVISION TO TREE CONSERVATION PLAN

GLWGUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS

3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK

BURTONSVILLE, MARYLAND 20866

TEL: 301-421-4024 FAX: 410-980-1500 10/16 301-881-2524 FAX: 301-421-4186

01/07/2019	RELOCATED SWM POND, REV. GRADING, LOT LAYOUT, REDUCED PAVING WIDTH & REMOVED SIDEWALK E. OF HERBIN HGE RD	LME	MFC
01/07/2019	ADDED NCE LIBER/FOLIOS AND REVISED WORKSHEETS PER KIM FINCH	LME	MFC
10/17/2016	REVISED OFF-SITE WOODLAND BANK SUMMARY TABLE	RLG	MFC
08/17/2016	REVISED WOODLAND CLEARING ON PARCEL 'E' SHEET 3 & OFF-SITE CLEARING FOR FUTURE CUL-DE-SAC SHEET 4	RLG	MFC
01/24/2016	REVISED TO ELIMINATE LOTS SOUTHWEST OF PERCO RIGHT-OF-WAY AND CHANGE SEWER ALIGNMENT	RLG	MFC
11/20/13	REVISED PER PLANNING BOARD RESOLUTION	RLG	MFC

PREPARED FOR:

NVR MS CAVALIER PRESERVE, LLC
c/o WOODLAWN DEVELOPMENT GROUP
11700 PLAZA AMERICA DRIVE, SUITE 310
RESTON, VIRGINIA 20190

SCALE

AS SHOWN

ZONING

R-L

DATE

NOV, 2012

TAX MAP - GRID

143 B3, B4, C4
153 B1, C1, D1

COVER SHEET

DANVILLE ESTATES

LOTS 1-4 BLOCK 'A', 7-9 & 14-28, BLOCK 'B', 13-31 BLOCK 'E', 16-39 BLOCK 'F'

LOTS 16-31 BLOCK 'G', 14-31 BLOCK 'H', 16-40 BLOCK 'I'

G. L. W. FILE No.

10009

SHEET

1 OF 19

PISCATAWAY ELECTION DISTRICT No. 05

PRINCE GEORGE'S COUNTY, MARYLAND

GENERAL NOTES

- This plan is submitted to fulfill the woodland conservation requirements for SDP-0320. If SDP-0320 expires, then this TCP2 also expires and is no longer valid.
- Cutting or clearing of woodland not in conformance with this plan or without the expressed written consent of the Planning Director or designee shall be subject to a \$4,000 per square foot mitigation fee.
- A pre-construction meeting is required prior to the issuance of grading permits. The Department of Public Works and Transportation or the Department of Environmental Resources, as appropriate, shall be contacted prior to the start of any work on the site to conduct a pre-construction meeting where implementation of woodland conservation measures shown on this plan will be discussed in detail.
- The developer or builder of the lots or parcels shown on this plan shall notify future buyers of any woodland conservation areas through the provision of a copy of this plan at time of contract signing. Future property owners are also subject to this requirement.
- The owners of the property subject to this tree conservation plan are solely responsible for conformance to the requirements contained herein.
- The property is within the Developing Tier and is zoned R-L.
- The site is adjacent to Danville Road designated as a scenic road.
- This site is not adjacent to a roadway classified as arterial or greater.

- Woodlands preserved, planted or regenerated in fulfillment of woodland conservation requirements on-site have been placed in a woodland and wildlife habitat conservation easement recorded in the Prince George's County Land Records at Liber _____ Folio _____. Revisions to this TCP2 may require a revision to the recorded easement.

TREE PRESERVATION AND RETENTION NOTES

- This plan is not grandfathered under CB-21-2010, section 25-117(g).
- All woodlands designated on this plan for preservation are the responsibility of the property owner. The woodland areas shall remain in a natural state. This includes the canopy trees and understory vegetation. A revised tree conservation plan is required prior to clearing woodland areas that are not specifically identified to be cleared on the approved TCP2.
- Tree and woodland conservation methods such as root pruning shall be conducted as noted on this plan.
- The location of all temporary tree protection fencing (TTPs) shown on this plan shall be flagged or staked in the field prior to the pre-construction meeting. Upon approval of the locations by the county inspector, installation of the TTPs may begin.
- All temporary tree protection fencing required by this plan shall be installed prior to commencement of clearing and grading of the site and shall remain in place until the bond is released for the project. Failure to install and maintain temporary or permanent tree protective devices is a violation of this TCP2.

REMOVAL OF HAZARDOUS TREES OR LIMBS BY DEVELOPERS OR BUILDERS

- The developer and/or builder is responsible for the complete preservation of all forested areas shown on the approved plan to remain undisturbed. Only trees or parts thereof designated by the county as dead, dying, or hazardous may be removed.
- A tree is considered hazardous if a condition is present which leads a Certified Arborist or Licensed Tree Expert to believe that the tree or a portion of the tree has a potential to fall and strike a structure, parking area, or other high use area and may result in personal injury or property damage. The stump shall be cut to near the existing ground level. The stump shall not be removed or covered with soil, mulch or other materials that would inhibit sprouting.

- If a tree or trees become hazardous prior to bond release for the project, due to storm events or other situations not resulting from an action by the permittee, prior to removal, a Certified Arborist or a Licensed Tree Expert must certify that the tree or the portion of the tree in question has a potential to fall and strike a structure, parking area, or other high use area and may result in personal injury or property damage. If a tree or portions thereof are in imminent danger of striking a structure, parking area, or other high use area and may result in personal injury or property damage then the certification is not required and the permittee shall take corrective action immediately. The condition of the area shall be fully documented through photographs prior to corrective action being taken. The photos shall be submitted to the inspector for documentation of the damage.

- If corrective pruning may alleviate a hazardous condition, the Certified Arborist or a Licensed Tree Expert may proceed without further authorization. The pruning must be done in accordance with the latest edition of the appropriate ANSI A-300 Pruning Standards. The condition of the area shall be fully documented through photographs prior to corrective action being taken. The photos shall be submitted to the inspector for documentation of the damage.

- Debris from the tree removal or pruning that occurs within 35 feet of the woodland edge may be removed and properly disposed of by recycling, chipping or other acceptable methods. All debris that is more than 35 feet from the woodland edge shall be cut up to allow contact with the ground, thus encouraging decomposition. The smaller materials shall be placed into brush piles that will serve as wildlife habitat.

- Tree work to be completed within a road right-of-way requires a permit from the Maryland Department of Natural Resources unless the tree removal is shown within the approved limits of disturbance on a TCP2. The work is required to be conducted by a Licensed Tree Expert.

- Work on this project will be initiated in several phases. All temporary TTPs required for a given phase shall be installed prior to any disturbance within that phase of work.

PLANTING SPECIFICATION NOTES

- Quantity: (See Plant Schedule)
- Type: (See Plant Schedule)
- Plant Quality Standards: The plants selected shall be healthy and sturdy, representatives of their species. Seedlings shall have a minimum top growth of 18". The diameter of the root collar (the part of the root just below ground level) shall be at least 3/8". The roots shall be well developed and at least 8" long. No more than twenty-five percent (25%) of the root system (both primary and auxiliary/fibrous roots) shall be present.

- Plants that do not have an abundance of well developed terminal buds on the leaders and branches shall be rejected.

- Plants shall be shipped by the nursery immediately after lifting from the field or removal from the green house, and planted immediately upon receipt by the landscape contractor.

- If the plants cannot be planted immediately after delivery to the reforestation site, they shall be stored in the shade with their root masses protected from direct exposure to sun and wind by the use of straw, peat moss, compost, or other suitable material and shall be maintained through periodic watering until the time of planting.

- Plant Handling: the quantity of seedlings taken to the field shall not exceed the quantity that can be planted in a day. Seedlings, once removed from the nursery or temporary storage area shall be planted immediately.
- Timing of Planting: The best time to plant seedlings is while they are dormant, prior to spring budding. The most suitable months for planting are March and April, when the soil is moist, but may be planted from May and September through November. No planting shall be done while ground is frozen. Planting shall occur within one growing season of the issuance of grading/building permits and/or reaching the final grades and stabilization of planting areas.

- Seeding Planting: Tree seedlings shall be hand planted using a dibble bar or sharp-shooter shovel. It is important that the seedling be placed in the hole so that the roots can spread out naturally they should not be twisted, balled up or bent. Most soil should then be packed firmly around the roots. Seedlings should be planted at a depth where their roots lie, just below the ground surface. Air pockets should not be left after closing the hole which would allow the roots to dry out. See planting details for further explanation. If the contractor wishes to plant by another method, the preparer of this tree conservation plan must be contacted and give his approval before planting may begin.

- Spacing: See Plant Schedule and/or Planting Plan for spacing requirements. Also refer to the Planting Layout detail for a description of the general planting theory.

- Soil: Upon the completion of each phase of the mining operations and after the topsoil has been replaced on that phase, a soil test shall be conducted to determine what soil preparation and soil amendments, if any, are necessary to create good tree growing conditions. Soil samples shall be taken at a rate that provides one soil sample for each acre that appears to have a different soil type (if the entire area appears uniform, then only one sample is necessary), and submitted for testing to a private company. The company of choice shall make recommendations for improving the existing soil. The soil will be tested and recommended for corrections of soil texture, pH, magnesium, phosphorus, potassium, calcium and organic matter on the site to ensure the future survival of the seedlings.

- Soil Improvement Measures: the soil shall then be improved according to the recommendations made by the testing company.

- Fencing and Signage: Final protective fencing shall be placed on the visible and/or development side of planting areas. The final protective fence shall be installed upon completion of planting operations unless it was installed during the initial stages of development. Signs shall be posted per the signage detail on this sheet.

- Planting method: Consult the Planting Detail(s) shown on this plan.

- Mulching: Apply two-inch thick layer of woodchip or shredded hardwood mulch (as noted) to each planting site (see detail shown on this plan).

- Groundcover Establishment: the remaining disturbed area between seedling planting sites shall be seeded and stabilized with white clover seed at the rate of 5 lbs./acre.

- Mowing: No mowing shall be allowed in any planting area.

- Survival Check for Bond Release: The seedling planting to be checked at the end of each year for four years to assure that no less than 75% of the original planted quantity survives. If the minimum number has not been provided the area must be supplemented with additional seedlings to reach the required number at time of planting.

POST DEVELOPMENT NOTES

- When woodlands and/or specimen, historic or champion trees are to remain:

- a. If the developer or builder no longer has an interest in the property and the new owner desires to remove a hazardous tree or portion thereof, the new owner shall obtain a written statement from a Certified Arborist or Licensed Tree Expert identifying the hazardous condition and the proposed corrective measures prior to having the work conducted. After proper documentation has been completed per the handbook, guidance for Prince George's County Property Owners, Preservation of Woodland Conservation Areas, the arborist or tree expert may then remove the tree. The stump shall be cut as close to the ground as possible and left in place. The removal or grinding of the stumps in the woodland conservation area is not permitted.

- b. If a tree or portions thereof are in imminent danger of striking a structure, parking area, or other high use area and may result in personal injury or property damage then the certification is not required and the permittee shall take corrective action immediately. The condition of the area shall be fully documented through photographs prior to corrective action being taken. The photos shall be submitted to the inspector for documentation of the damage.

- c. Tree work to be completed within a road right-of-way requires a permit from the Maryland Department of Natural Resources unless the tree removal is shown within the approved limits of disturbance on a TCP2. The work is required to be conducted by a Licensed Tree Expert.

- d. The use of chainsaws is extremely dangerous and should not be conducted with poorly maintained equipment, without safety equipment, or by individuals not trained in the use of this equipment for the pruning and/or cutting of trees.

Individual TCP2 with Previously Approved TCP1 or TCP2 Woodland Conservation Worksheet for Prince George's County									
SECTION I - Establishing Site Information (Enter acres for each zone)									
1 Zone:	R-L								
2 Gross Tract:	145.32								
3 Floodplain:	3.33								
4 Previously Dedicated Land:	0.00								
5 Net Tract (NTA):	141.99	0.00	0.00						
6 Property Description or Subdivision Name:	Danville Estates (Preserve at Piscataway)								
7 Current TCP Number:	2-048-04	Rev #	5						
8 Previous TCP Number:	1-009-94	Rev #	2						
SECTION II - Determining Woodland Conservation Requirements (Enter acres in corresponding column)									
9 Woodland Conservation Calculations:									
11 Acreage of Existing Woodland:									
12 Woodland Conservation Required for per TCP1 or TCP2:									
13 Area of Woodland Cleared per previous TCP1 or TCP2:									
14 Area of Woodland Cleared per current TCP2:									
15 Area of Woodland above WCT not cleared by TCP1 or TCP2:									
16 Additional Woodland Cleared by current TCP2:									
17 Does the TCP1 show 2:1 replacement?	N								
18 Clearing above WCT (1:4:1 Replacement):									
19 Clearing below WCT (2:1 Replacement):									
20 Off-site Woodland Conservation Provided:									
21 Total Woodland Conservation Required:									
SECTION III-Meeting the Requirement (Enter acres in corresponding column)									
22 Woodland Conservation Provided:									
23 Woodland Preservation:									
24 Reforestation / Afforestation:									
25 Natural Regeneration:									
26 Landscape Credits:									
27 Area approved for fee-in-lieu:									
28 Credits Received for Off-site Woodland Conservation on another property:									
29 Off-site WC (afforestation) provided on this property:									
30 Off-site WC (preservation) provided on this property:									
31 Total Woodland Conservation Provided:									
32 Area of net tract woodland not cleared:									
33 Woodland retained not per requirements:									
34 Prepared by:									
35 Qualifications:									

TYPE 4 (TEMPORARY) TREE PROTECTION FENCE COMBINATION SILT FENCE & TREE PROTECTION

①

②

(TYPE 1) TEMPORARY TREE PROTECTION FENCE

③

(TYPE 2) TEMPORARY TREE PROTECTION FENCE

④

TREE PROTECTION SIGNAGE

⑤

Woodland Conservation Worksheet for Prince George's County, Maryland									
Zone:	R-L	L-A-C	Totals	Include acreages only in columns for which there is a corresponding zone.					
Gross Tract:	858.74	19.98	878.72						
Floodplain:	85.67	0.00	85.67						
Previously Dedicated Land:	0.00	0.00	0.00						
Net Tract (NTA):	773.07	19.98	793.05						
Property Description or Subdivision Name:				The Preserve at Piscataway - Overall Worksheet					
Break-even Point (preservation acres) =				269.01					
Acres of Net Tract clearing permitted w/o reforestation=				291.88					
Woodland Conservation Requirement Calculations:									
Existing Woodland on Net Tract (acres)	560.89								
Existing Woodland in Floodplain (acres)	74.72								
Woodland Conservation Threshold (NTA) =	24.72%								
Smaller of a or c	196.04								
Woodland above WCT (d)	364.85								
Plan Number: (This must be completed for each phase)	Glasford	2-099-96	Pisc. Rd	Edelen	Danville	Lusby	Bailey	Open Space	
	II-098-98	II-009-98	II-005-01	II-046-04	II-048-04	II-068-04	II-001-05	II-044-07	
TCP Revision Number:	3	2	1	4	5	2	1	1	
TCP Approval Date:	2/20/2014	Pending	6/15/2005	10/1/2014	Pending	7/14/2016	4/10/2006	3/5/2008	
Plan Phase or Name:	SDP-9804	SDP-9805	SDP-9806	SDP-0318	SDP-0320	SDP-0401	SDP-0319	SDP-0608	Total
SDP Revision Number:	5	1	1	8	7	4	1	1	
SDP Approval Date:	3/18/2014	3/18/2014	3/4/2004	10/31/2014	Pending	8/11/2015	5/10/2012	11/4/2013	
SDP Approval Status:	Approved	Approved	Approved	Approved	Pending	Approved	Approved	Approved	
SDP Certification Date:	3/19/2014	3/20/2014	2/28/2005	10/31/2014	Pending	8/23/2016	9/25/2012		
SDP Certification Status:	Certified	Certified	Certified	Certified	Pending	Certified	Certified	Pending	
Total Area in the application (acres)	79.66	11.11	29.98	169.92	145.32	114.82	23.01	304.90	878.72
Floodplain area in this application (acres)	0.03	0.00	0.00	62.25	3.33	3.43	0.25	16.38	85.67
Net Tract area in the application (acres)	79.63	11.11	29.98	107.67	141.99	111.39	22.76	288.52	793.05
Woodland on the Net Tract for this phase (acres)	17.86	0.96	9.32	76.45	141.26	110.15	0.35	204.54	560.89
Woodland in the Floodplain for this phase	0.03	0.00	0.00	51.46	3.33	3.43	0.25	16.22	74.72
Woodland Cleared on Net Tract for this phase	10.27	0.77	1.11	46.58	59.76	85.96	0.30	24.58	229.33
Woodland Cleared in Floodplain for this phase	0.00	0.00	0.00	0.11	0.17	0.41	0.25	1.79	2.73
Off-site Woodland Clearing (1:1)	0.08	0.00	0.00	3.51	0.71	0.00	0.00	0.00	6.04
Off-site Woodland Preservation/RefA provided on this property	0.00	0.00	0.00	0.00	27.88	0.00	0.00	80.08	107.96
Cumulative acres of Net Tract Woodland cleared (e)	10.27	11.04	12.15	58.73	118.49	204.45	204.75	229.33	
Cumulative acres of Floodplain woodland cleared	0.00	0.00	0.00	0.11	0.28	0.69	0.94	2.73	
Smaller of d or e	10.27	11.04	12.15	58.73	118.49	204.45	204.75	229.33	
Woodland Clearing below WCT	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	
Replacement for clearing above the WCT (0.25 : 1)	2.57	2.76	3.04	14.68	20.62	51.11	51.19	57.33	
Replacement for clearing below the WCT (2 : 1)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	
Afforestation Threshold (AFT) =	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	
Cumulative Woodland Conservation Required	19.86%	198.69	198.88	199.16	214.42	258.12	280.02	280.35	368.36
Latest phase indicates cumulative requirement through that phase of work									
Woodland Conservation Provided:									
Preservation	7.00	0.19	8.21	29.87	30.69	20.57	0.05	179.79	Total
Afforestation/Reforestation	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	276.37
Natural Regeneration	0.00	0.00	0.00	0.00	0.00	0.00	0.00	1.20	0.00
Area approved for fee-in-lieu	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	1.20
Credit for Off-site Mitigation on another property	0.19	0.00	6.57	0.00	0.00	2.29	0.00	0.00	9.05
Off-site Preservation provided on this property	0.00	0.00	0.00	0.00	26.84	0.00	0.00	0.00	26.84
Off-site Afforestation/Reforestation provided on this property	0.00	0.00	0.00	0.00	1.04	0.00	0.00	80.08	81.12
Total Woodland Conservation Provided	7.19	7.38	22.16	52.03	110.60	133.46	133.51	394.58	394.58
Woodland saved on this phase but not counted	0.59	0.00	0.00	0.00	49.77	3.62	0.00	0.17	54.15
Existing Net Tract Woodland in later phases	543.03	542.07	532.75	456.3	315.04	204.89	204.54	179.96	
Shortage /Surplus:								117.01	
Minimum Woodland Conservation Required (acres) 35% of Net Tract									277.57
Woodland Conservation Provided									277.57
Surplus Woodland Conservation for Woodland Bank									107.96
Worksheet Last Revised on: 2/1/2019 By: KIF									

MATCH LINE SEE SHEET - 04

WOODLAND CONSERVATION SUMMARY TABLE

SHEET	GROSS TRACT AREA	100-YEAR FLOODPLAIN (FP)	EXISTING WOODLAND GROSS TRACT AREA	NET TRACT AREA (NTA)	EXISTING WOODLAND NET TRACT AREA (NTA)	EXISTING WOODLAND IN FLOOD PLAIN (FP)	WOODLAND CLEARED ON NET TRACT AREA	WOODLAND CLEARED IN FLOODPLAIN (C-FP)	WOODLAND CLEARED OFF-SITE (C-OS)	WOODLAND PRESERVATION AREA (WPA)	NATURAL REGENERATION AREA (NRA)	WOODLAND RETAINED - NOT CREDITED (WP-NC)
3	7.12	0.00	1.25	1.12	1.25	0.00	4.68	0.00	0.34	0.00	0.00	2.18
4	14.40	0.00	14.11	14.40	14.11	0.00	6.05	0.00	0.20	0.00	0.00	8.12
5	15.80	2.12	15.80	13.68	13.68	2.12	1.40	0.16	0.00	4.36	0.00	7.40
6	13.56	0.21	13.56	13.24	13.24	0.21	0.34	0.01	0.00	12.95	0.00	0.00
7	9.63	0.00	9.63	9.63	9.63	0.00	0.00	0.00	0.00	9.63	0.00	0.00
8	9.13	0.26	9.13	8.87	8.87	0.26	0.39	0.00	0.00	1.41	0.00	1.02
9	6.35	0.55	6.35	5.80	5.80	0.55	0.41	0.00	0.24	5.39	0.00	0.00
10	3.30	0.13	3.30	3.17	3.23	0.13	1.24	0.00	0.24	1.86	0.00	0.13
11	5.85	0.00	5.85	5.85	5.85	0.00	0.00	0.00	0.00	5.85	0.00	0.00
12	4.94	0.00	4.94	4.94	4.94	0.00	4.31	0.00	0.00	0.34	0.00	0.24
13	4.81	0.00	4.81	4.81	4.81	0.00	8.64	0.00	0.03	0.43	0.00	0.25
14	10.22	0.00	10.19	10.22	10.19	0.00	8.84	0.00	0.00	1.21	0.00	0.03
15	5.81	0.00	5.81	5.81	5.81	0.00	4.81	0.00	0.00	0.94	0.00	0.20
16	10.16	0.00	10.16	10.16	10.16	0.00	1.03	0.00	0.00	0.84	0.24	0.18
17	4.01	0.00	4.01	4.01	4.01	0.00	2.80	0.00	0.00	1.21	0.10	0.00
18	10.21	0.00	10.21	10.21	10.21	0.00	5.85	0.00	0.00	4.32	0.10	0.00
19	5.50	0.00	5.50	5.50	5.50	0.00	0.18	0.00	0.00	5.31	0.00	0.00
TOTAL	145.32	3.33	144.54	141.94	141.26	3.33	54.23	0.11	0.71	55.16	1.04	25.15

THIS BLOCK IS FOR OFFICIAL USE ONLY. QR label certifies that this plan meets conditions of final approval by the Planning Board, its designee or the District Council.

M-NCPPC APPROVAL

PROJECT NAME: DANVILLE ESTATES

PROJECT NUMBER: SDP-0320-07

For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet. Revision numbers must be included in the Project Number.

WP-NC-05A
0.05 ACRES

WP-NC-05B
7.35 ACRES

WPA-05B
2.76 ACRES

WPA-05A
0.48 ACRES

C-FP-05A
0.07 ACRES

C-FP-05A
0.09 ACRES

WPA-05C
0.67 ACRES

WPA-05D
0.45 ACRES

LEGEND

- PROPERTY BOUNDARY
- REGULATED STREAM
- 100-YR FLOODPLAIN
- 100-YR FLOODPLAIN EASEMENT
- PRIMARY MANAGEMENT AREA (PMA)
- CONSERVATION EASEMENT
- WETLAND
- 25' WETLAND BUFFER
- EXISTING TREE LINE
- EXISTING NON-WOODLAND AREA
- PROPOSED TREE LINE
- LIMIT OF DISTURBANCE
- TEMPORARY TREE PROTECTION FENCE
- PERMANENT TREE PROTECTION FENCE
- WOODLAND PRESERVATION SIGN
- SPECIMEN CHAMPION HISTORIC TREE WITH CRITICAL ROOT ZONE TO BE SAVED
- SPECIMEN CHAMPION HISTORIC TREE WITH CRITICAL ROOT ZONE TO BE REMOVED
- CLEARED FLOODPLAIN AREA (C-FP)
- CLEARED OFF-SITE AREA (C-OS)
- WOODLAND PRESERVATION AREA (WPA)
- WOODLAND RETAINED-NOT CREDITED (WP-NC)
- NATURAL REGENERATION AREA (NRA)

M-NCPPC PRINCE GEORGE'S COUNTY PLANNING DEPARTMENT ENVIRONMENTAL PLANNING SECTION APPROVAL TREE CONSERVATION PLAN TCPII-048-04			
APPROVED BY	DATE	DESD #	REASON FOR REVIEW
11. Suss	12/29/04		
01 Kim Finch	03/07/15		
02 Kim Finch	07/14/16		
03 Kim Finch	03/01/17	SDP-0320-04	
04 Kim Finch	07/17/17	SDP-0320-04	
05 Kim Finch	03/11/2019	SDP-0320-04	

M.N.C.P.C. APPROVALS

PROJECT NAME: DANVILLE ESTATES

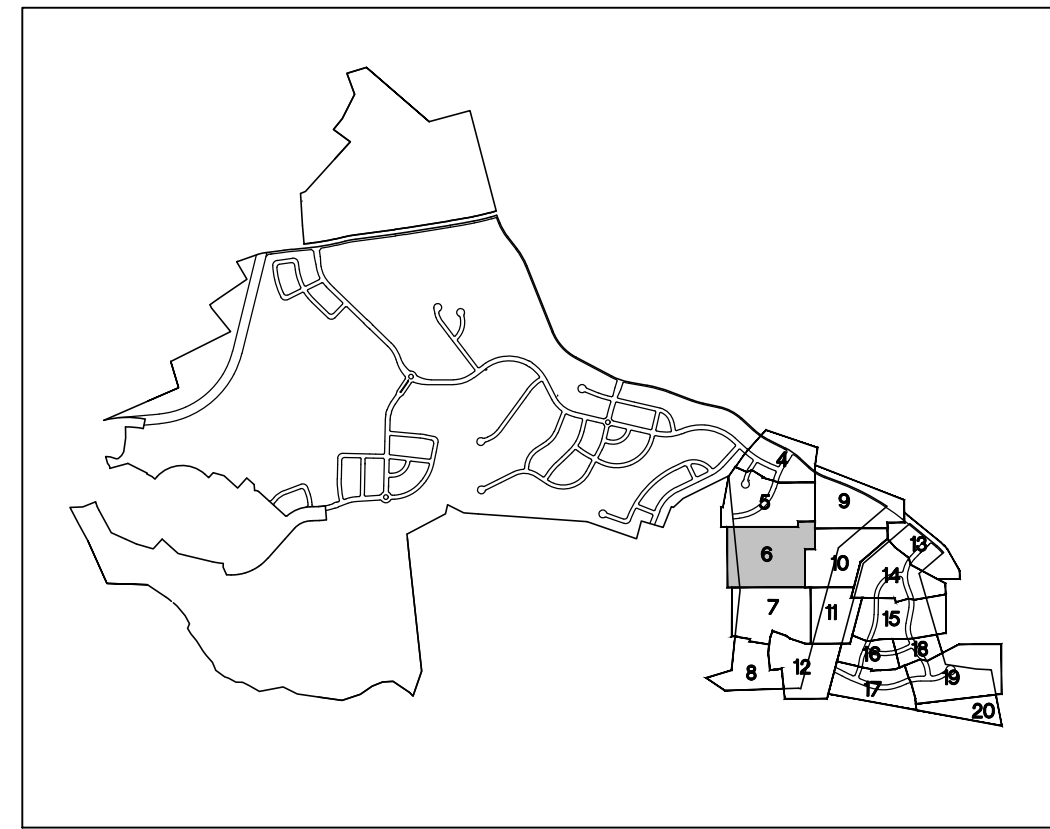
PROJECT NUMBER: SDP-0320

For Conditions Of Approval see Site Plan Cover Sheet or Approval Sheet

The Revisions Listed Below Apply to this Sheet

Approval of Revision # Approval Date Reviewer's Signature Certification Date

01 07/08/04 R.G. 01/04/05



SHEET INDEX

GLWGUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS

3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK

BURTONSVILLE, MARYLAND, 20866

TEL: 301-421-4024 FAX: 301-421-4024

DRN. RLG. CHK. KAF

DATE

01/07/2019 RELOCATED SWM POND, REV. GRADING, LOT LAYOUT, REDUCED PAVING WIDTH & REMOVED SIDEWALK E. OF HERBIN HSE RD

01/07/2019 ADDED VICE LIBER/FOLIOS AND REVISED WORKSHEETS PER KIM FINCH

01/07/2019 REVISED OFF-SITE WOODLAND BANK SUMMARY TABLE

08/14/2016 REVISED WOODLAND CLEARING ON PARCEL 'E' SHEET 3 & OFF-SITE CLEARING FOR FUTURE CUL-DE-SAC SHEET 4

01/24/2016 REVISED TO ELIMINATE LOTS SOUTHWEST OF PERC20 RIGHT-WAY AND CHANGE SEWER ALIGNMENT

11/20/13 REVISED PER PLANNING BOARD RESOLUTION

DATE

LME MFC

LME MFC

RLG MFC

RLG MFC

RLG MFC

KAF KAF

BY APPR

MATCH LINE SEE SHEET - 06

PREPARED FOR:

NVR MS CAVALIER PRESERVE, LLC

c/o WOODLAWN DEVELOPMENT GROUP

11700 PLAZA AMERICA DRIVE, SUITE 310

RESTON, VIRGINIA 20190

SCALE

1"=30'

DATE

NOV, 2012

ZONING

R-L

TAX MAP - GRID

143 B3, B4, C4

153 B1, C1, D1

TYPE II TREE CONSERVATION PLAN

DANVILLE ESTATES

LOTS 1-4 BLOCK 'A', 7-9 & 14-28, BLOCK 'B', 13-31 BLOCK 'E', 16-39 BLOCK 'F'

LOTS 16-31 BLOCK 'G', 14-31 BLOCK 'H', 16-40 BLOCK 'I'

PISCATAWAY ELECTION DISTRICT No. 05

PRINCE GEORGE'S COUNTY, MARYLAND

G. L. W. FILE No.

10009

SHEET

5 OF 19

L:\CADD\DRAWINGS\0000\PLANS BY QLV\TCPI\0000\0000-DANVILLE-TCPI-06-045
DATE: 07/25/2019 11:11 AM, LAST SAVED: 07/18/2019 12:25 PM, EXISTING BY: LSW

N/F J.H. CHUNG
L. 15189 F. 281
L. 15189 F. 285

HOA
PARCEL F
24,694 A.C.

WOODLAND
CONSERVATION
EASEMENT
L.38389 F.301

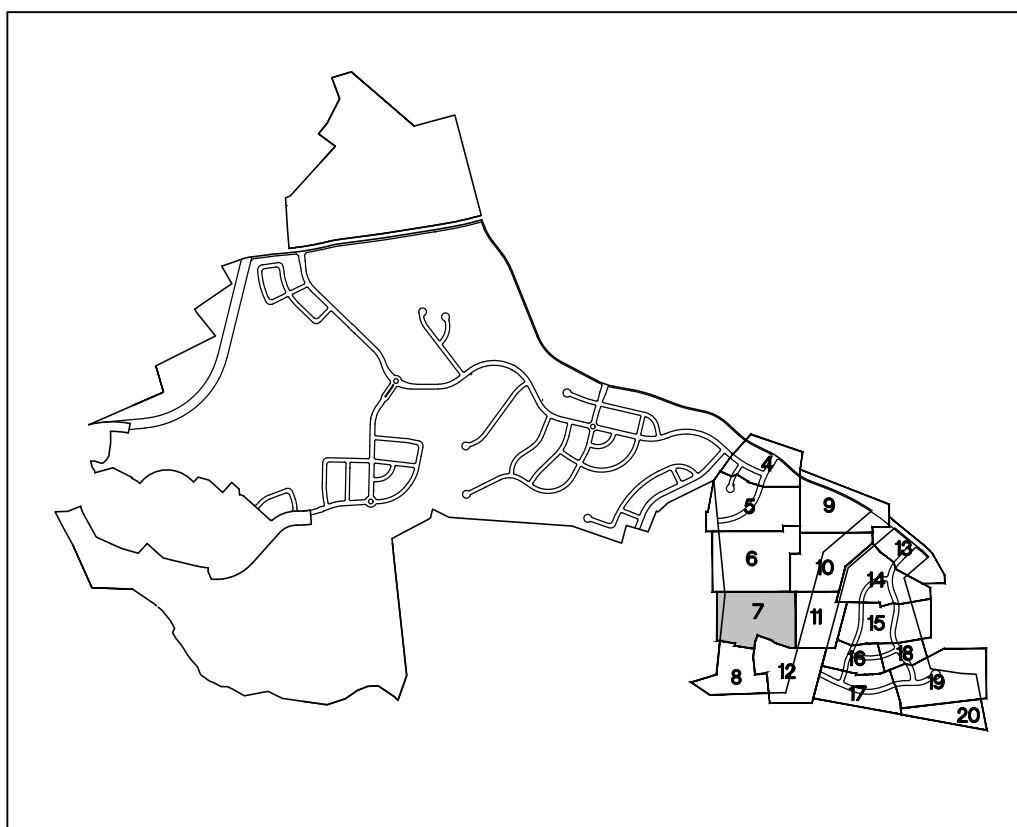
CONSERVATION
EASEMENT

WOODLAND
CONSERVATION
EASEMENT
L.38389 F.274

M.N.C.P.P.C.
PARCEL 104
L.28660, F.618

MATCH LINE SEE SHEET - 5

MATCH LINE SEE SHEET - 9



C-FP-06A
0.01 ACRES

SHEET INDEX

LEGEND

- PROPERTY BOUNDARY
- REGULATED STREAM
- 100-YR FLOODPLAIN
- 100-YR FLOODPLAIN EASEMENT
- PRIMARY MANAGEMENT AREA (PMA)
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ST-1
SPECIMEN CHAMPION HISTORIC TREE
WITH CRITICAL ROOT ZONE
TO BE SAVED

ST-1
SPECIMEN CHAMPION HISTORIC TREE
WITH CRITICAL ROOT ZONE
TO BE REMOVED

- CLEARED FLOODPLAIN AREA (C-FP)
- CLEARED OFF-SITE AREA (C-OS)
- WOODLAND PRESERVATION AREA (WPA)
- WOODLAND RETAINED-NOT CREDITED (WPA-NC)
- NATURAL REGENERATION AREA (NRA)

THIS BLOCK IS FOR
OFFICIAL USE ONLY
OR that certifies that this plan
meets conditions of final approval
by the Planning Board, it's designee
or the District Council.

M-NCPPC
APPROVAL

PROJECT NAME: DANVILLE ESTATES

PROJECT NUMBER: SDP-0320-07

For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet
Revision numbers must be included in the Project Number

M-NCPPC
PRINCE GEORGE'S COUNTY PLANNING DEPARTMENT
ENVIRONMENTAL PLANNING SECTION
APPROVAL
TREE CONSERVATION PLAN
TCPII-048-04

	APPROVED BY	DATE	DRD #	REASON FOR REVISION
	J.L. Stasz	12/29/04		
01	Kim Finch	03/07/15		
02	Kim Finch	07/14/16		
03	Kim Finch	03/01/17	SDP-0320-01	REVISION OF CITY LIST OF A LEADING, BEING IN ACCORDANCE WITH THE CITY OF SAN JOSE, CALIFORNIA
04	Kim Finch	07/17/17	SDP-0320-04	REVISION OF THE CITY LIST OF A LEADING, BEING IN ACCORDANCE WITH THE CITY OF SAN JOSE, CALIFORNIA
05	Kim J. Finch	3/11/2019	SDP-0320-07	REVISION OF THE CITY LIST OF A LEADING, BEING IN ACCORDANCE WITH THE CITY OF SAN JOSE, CALIFORNIA

M.N.C.P.P.C. APPROVALS

PROJECT NAME: DANVILLE ESTATES

PROJECT NUMBER: SDP-0320

For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet
The Revisions Listed Below Apply to this Sheet

Approval or Revision #	Approval Date	Reviewer's Signature	Certification Date
01	07/08/04	R.G.	01/04/05

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND, 20866
TEL: 301-421-4024 FAX: 301-421-4186

DATE	DESCRIPTION	BY	CHK.	APP.
01/01/2019	RELOCATED SWM POND, REV. GRADING, LOT LAYOUT, REDUCED PAVING WIDTH & REMOVED SIDEWALK E. OF HERBIN HGE RD	LME	MFC	
01/01/2019	ADDED WCE LIBER/FOLIOS AND REVISED WORKSHEETS PER KIM FINCH	LME	MFC	
01/01/2019	REVISED OFF-SITE WOODLAND BANK SUMMARY TABLE	RLG	MFC	
08/14/2016	REVISED WOODLAND CLEARING ON PARCEL 'E' SHEET 3 & 4 OFF-SITE CLEARING FOR FUTURE CUL-DE-SAC SHEET 4	RLG	MFC	
01/24/2016	REVISED TO ELIMINATE LOTS SOUTHWEST OF PERCO RIGHT-OF-WAY AND CHANGE SEWER ALIGNMENT	RLG	MFC	
11/20/13	REVISED PER PLANNING BOARD RESOLUTION	KAB	KAF	
	REVISION	BY	CHK.	APP.

WOODLAND CONSERVATION SUMMARY TABLE

SHEET	GROSS TRACT AREA	100-YEAR FLOODPLAIN (FP)	EXISTING WOODLAND GROSS TRACT AREA	NET TRACT AREA (NTA)	EXISTING WOODLAND NET TRACT AREA (NTA)	EXISTING WOODLAND IN FLOODPLAIN (FP)	WOODLAND CLEARED ON NET TRACT AREA	WOODLAND CLEARED IN FLOODPLAIN (C-FP)	WOODLAND CLEARED OFF-SITE (C-OS)	WOODLAND PRESERVATION AREA (WPA)	NATURAL REGENERATION AREA (NRA)	WOODLAND RETAINED - NOT CREDITED (WPA-NC)
3	1.12	0.00	1.12	1.12	1.12	0.00	4.68	0.00	0.00	0.34	0.00	2.18
4	14.40	0.00	14.11	14.40	14.11	0.00	6.09	0.00	0.00	0.00	0.00	8.12
5	15.80	2.12	15.80	13.68	13.68	2.12	1.40	0.16	0.00	4.36	0.00	1.40
6	13.56	0.27	13.56	13.29	13.29	0.27	0.34	0.01	0.00	12.95	0.00	0.00
7	8.63	0.00	8.63	8.63	8.63	0.00	0.00	0.00	0.00	8.63	0.00	0.00
8	9.13	0.26	9.13	8.87	8.87	0.26	0.36	0.00	0.00	1.47	0.00	1.02
9	6.35	0.55	6.35	5.80	5.80	0.55	0.41	0.00	0.24	5.39	0.00	0.00
10	3.30	0.13	3.30	3.17	3.17	0.13	1.24	0.00	0.24	1.86	0.00	0.13
11	5.85	0.00	5.85	5.85	5.85	0.00	0.00	0.00	0.00	5.85	0.00	0.00
12	4.94	0.00	4.94	4.94	4.94	0.00	4.31	0.00	0.00	0.39	0.00	0.24
13	9.87	0.00	9.87	9.87	9.87	0.00	8.64	0.00	0.00	0.18	0.00	0.25
14	10.22	0.00	10.19	10.22	10.19	0.00	8.84	0.00	0.00	1.27	0.00	0.03
15	5.61	0.00	5.61	5.61	5.61	0.00	4.81	0.00	0.00	0.54	0.00	0.20
16	10.16	0.00	10.16	10.16	10.16	0.00	9.03	0.00	0.00	0.84	0.24	0.18
17	4.01	0.00	4.01	4.01	4.01	0.00	2.80	0.00	0.00	1.21	0.10	0.00
18	10.21	0.00	10.21	10.21	10.21	0.00	5.45	0.00	0.00	4.32	0.10	0.00
19	5.50	0.00	5.50	5.50	5.50	0.00	0.14	0.00	0.00	5.31	0.00	0.00
TOTAL	145.32	3.33	144.54	141.94	141.26	3.33	54.23	0.17	0.71	55.16	1.04	25.75

PREPARED FOR:

NVR MS CAVALIER PRESERVE, LLC
c/o WOODLAWN DEVELOPMENT GROUP
11700 PLAZA AMERICA DRIVE, SUITE 310
RESTON, VIRGINIA 20190

SCALE

1"=30'

DATE

NOV, 2012

ZONING

R-L

TAX MAP - GRID

143 B3, B4, C4
153 B1, C1, D1

TYPE II TREE CONSERVATION PLAN

DANVILLE ESTATES
LOTS 1-4 BLOCK 'A', 7-9 & 14-28, BLOCK 'B', 13-31 BLOCK 'E', 16-39 BLOCK 'F'
LOTS 16-31 BLOCK 'G', 14-31 BLOCK 'H', 16-40 BLOCK 'I'

PISCATAWAY ELECTION DISTRICT No. 05

PRINCE GEORGE'S COUNTY, MARYLAND

G. L. W. FILE No.

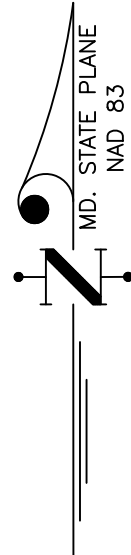
10009

SHEET

6 OF 19

WOODLAND CONSERVATION SUMMARY TABLE

SHEET	GROSS TRACT AREA	100-YEAR FLOODPLAIN (FP)	EXISTING WOODLAND GROSS TRACT AREA	NET TRACT AREA (NTA)	EXISTING WOODLAND NET TRACT AREA (NTA)	EXISTING WOODLAND IN FLOOD PLAIN (FP)	WOODLAND CLEARED ON NET TRACT AREA	WOODLAND CLEARED IN FLOODPLAIN (C-FP)	WOODLAND CLEARED OFF-SITE (C-OS)	WOODLAND PRESERVATION AREA (NPA)	NATURAL REGENERATION AREA (NRA)	WOODLAND RETAINED - NOT CREDITED (NP-NC)
3	1.12	0.00	1.12	1.12	1.12	0.00	4.68	0.00	0.00	0.34	0.00	2.18
4	14.40	0.00	14.17	14.40	14.17	0.00	6.05	0.00	0.20	0.00	0.00	8.12
5	15.80	2.12	15.80	13.68	13.68	2.12	1.40	0.16	0.00	4.36	0.00	1.40
6	13.56	0.21	13.56	13.29	13.29	0.21	0.34	0.01	0.00	12.15	0.00	0.00
7	8.63	0.00	8.63	8.63	8.63	0.00	0.00	0.00	0.00	8.63	0.00	0.00
8	4.13	0.26	4.13	8.87	8.87	0.26	0.38	0.00	0.00	1.41	0.00	1.02
9	6.35	0.35	6.35	5.80	5.80	0.35	0.41	0.00	0.24	5.34	0.00	0.00
10	3.30	0.13	3.30	3.17	3.23	0.13	1.24	0.00	0.24	1.96	0.00	0.13
11	5.85	0.00	5.85	5.85	5.85	0.00	0.00	0.00	0.00	5.85	0.00	0.00
12	4.44	0.00	4.44	4.44	4.44	0.00	4.31	0.00	0.00	0.34	0.00	0.24
13	4.87	0.00	4.87	4.87	4.87	0.00	8.64	0.00	0.03	0.43	0.00	0.25
14	10.22	0.00	10.18	10.22	10.18	0.00	8.84	0.00	0.00	1.27	0.00	0.03
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TOTAL	145.32	3.33	144.54	141.94	141.26	3.33	54.23	0.17	0.71	55.76	1.04	25.15



M.N.C.P.P.C.
PARCEL 104
L.28660, F.618

HOA
PARCEL 16
22.522 A.C.

WPA-07A
8.63 ACRES

WOODLAND
CONSERVATION
EASEMENT
L.38389 F.274

LIMIT OF SITE

N/F R.H. DOBSON
L. 5063 F. 515

THIS BLOCK IS FOR
OFFICIAL USE ONLY.
QR label certifies that this plan
meets conditions of final approval
by the Planning Board, it's designee
or the District Council.

M-NCPPC
APPROVAL

PROJECT NAME: DANVILLE ESTATES

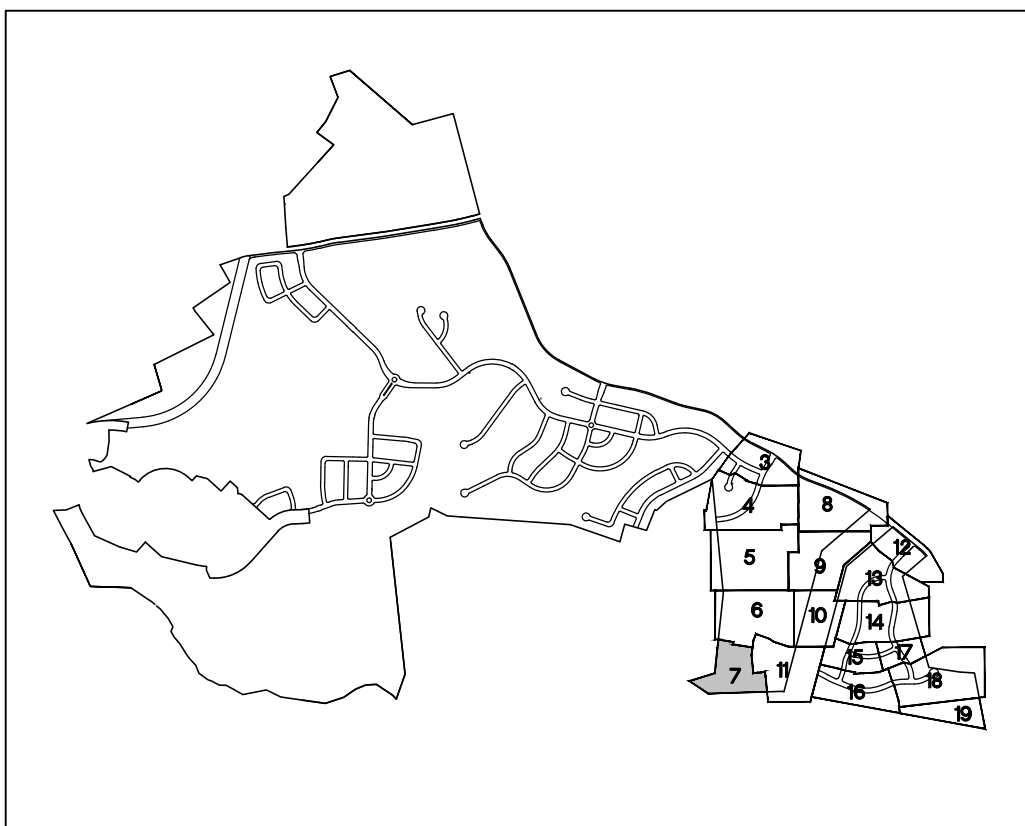
PROJECT NUMBER: SDP-0320-07

For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet
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LEGEND

	PROPERTY BOUNDARY
	REGULATED STREAM
	FP
	100-YR FLOODPLAIN
	100-YR FLOODPLAIN EASEMENT
	PRIMARY MANAGEMENT AREA (PMA)
	CONSERVATION EASEMENT
	WETLAND
	25' WETLAND BUFFER
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	EXISTING NON-WOODLAND AREA
	PROPOSED TREE LINE
	LDD
	LOD
	LIMIT OF DISTURBANCE
	TPF
	TEMPORARY TREE PROTECTION FENCE
	PPF
	PERMANENT TREE PROTECTION FENCE
	WOODLAND PRESERVATION SIGN

	ST-1	SPECIMEN, CHAMPION, HISTORIC TREE WITH CRITICAL ROOT ZONE TO BE SAVED
	ST-1	SPECIMEN, CHAMPION, HISTORIC TREE WITH CRITICAL ROOT ZONE TO BE REMOVED
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		WOODLAND RETAINED-NOT CREDITED (NP-NC)
		NATURAL REGENERATION AREA (NRA)



SHEET INDEX

N/F JONES LOT

WHITEHALL TERRACE SUBDIVISION

Debris

GLWGUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND, 20866
TEL: 301-421-4024 FAX: 410-980-1520 10/16, 301-981-2524 FAX: 301-421-4186

DATE	REVISION	BY	CHK.	APP.
01/02/2019	RELOCATED SWM POND, REV. GRADING, LOT LAYOUT, REDUCED PAVING WIDTH & REMOVED SIDEWALK E. OF HERBIN HGE RD	LME	MFC	
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		BY		APP.

PREPARED FOR:

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1" = 30'

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PISCATAWAY ELECTION DISTRICT No. 05

PRINCE GEORGE'S COUNTY, MARYLAND

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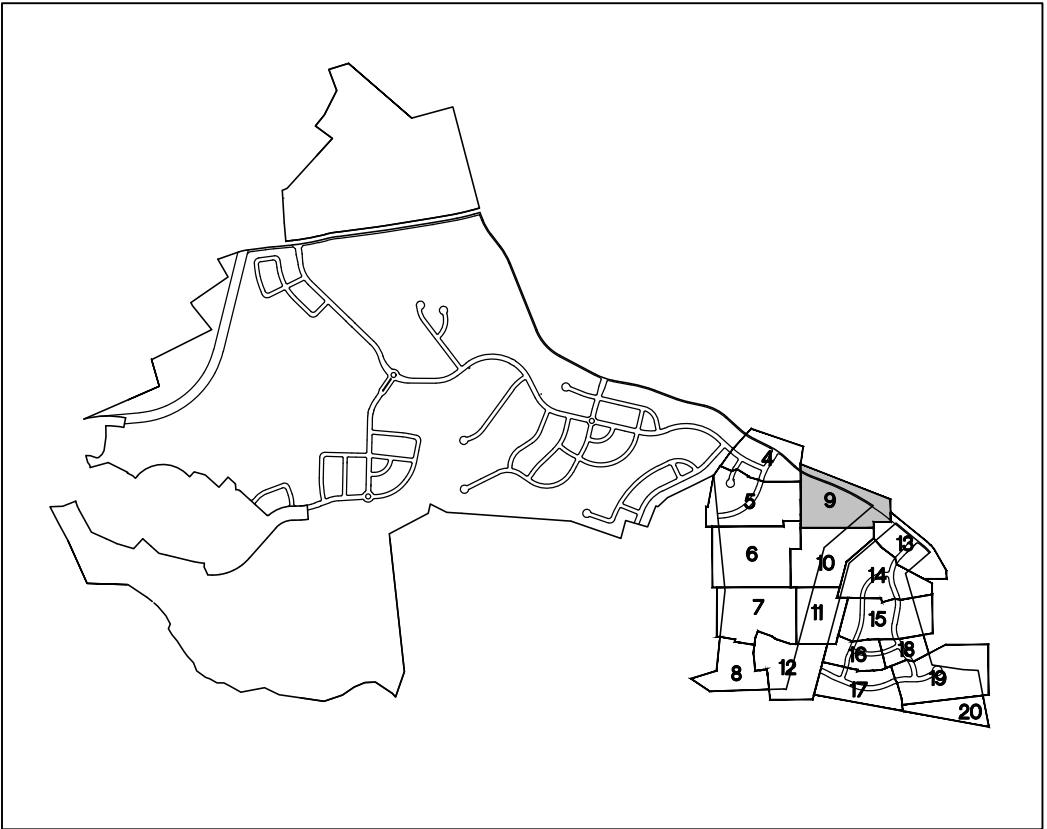
10009

SHEET

7 OF 19

WOODLAND CONSERVATION SUMMARY TABLE

SHEET	GROSS TRACT AREA	100-YEAR FLOODPLAIN (FP)	EXISTING WOODLAND GROSS TRACT AREA	NET TRACT AREA (NTA)	EXISTING WOODLAND NET TRACT AREA (NTA)	EXISTING WOODLAND IN FLOOD PLAIN (FP)	WOODLAND CLEARED ON NET TRACT AREA	WOODLAND CLEARED IN FLOODPLAIN (C-FP)	WOODLAND CLEARED OFF-SITE (C-OS)	WOODLAND PRESERVATION AREA (WPA)	NATURAL REGENERATION AREA (NRA)	WOODLAND RETAINED - NOT CREDITED (WPA-NC)
3	1.12	0.00	1.25	1.12	1.25	0.00	4.68	0.00	0.00	0.34	0.00	2.18
4	14.40	0.00	14.11	14.40	14.11	0.00	6.05	0.00	0.20	0.00	0.00	8.12
5	15.80	2.12	15.80	13.68	13.68	2.12	1.40	0.16	0.00	4.36	0.00	1.40
6	13.56	0.21	13.56	13.24	13.24	0.21	0.34	0.01	0.00	12.95	0.00	0.00
7	8.63	0.00	8.63	8.63	8.63	0.00	0.00	0.00	0.00	8.63	0.00	0.00
8	4.13	0.26	4.13	3.87	3.87	0.26	0.38	0.00	0.00	1.41	0.00	1.02
9	6.35	0.55	6.35	5.80	5.80	0.55	0.41	0.00	0.24	5.34	0.00	0.00
10	3.30	0.13	3.30	3.17	3.23	0.13	1.24	0.00	0.24	1.86	0.00	0.13
11	5.85	0.00	5.85	5.85	5.85	0.00	0.00	0.00	0.00	5.85	0.00	0.00
12	4.94	0.00	4.94	4.94	4.94	0.00	4.31	0.00	0.00	0.34	0.00	0.24
13	4.81	0.00	4.81	4.81	4.81	0.00	8.64	0.00	0.03	0.93	0.00	0.25
14	10.22	0.00	10.14	10.22	10.14	0.00	8.84	0.00	0.00	1.21	0.00	0.03
15	5.81	0.00	5.81	5.81	5.81	0.00	4.81	0.00	0.00	0.94	0.00	0.20
16	10.16	0.00	10.16	10.16	10.16	0.00	1.03	0.00	0.00	0.89	0.00	0.18
17	4.01	0.00	4.01	4.01	4.01	0.00	2.80	0.00	0.00	1.21	0.10	0.00
18	10.21	0.00	10.21	10.21	10.21	0.00	5.95	0.00	0.00	4.32	0.10	0.00
19	5.50	0.00	5.50	5.50	5.50	0.00	0.14	0.00	0.00	5.31	0.00	0.00
TOTAL	145.32	3.33	144.54	141.94	141.26	3.33	54.23	0.17	0.71	55.76	1.04	25.75



SHEET INDEX

LEGEND

- PROPERTY BOUNDARY
- REGULATED STREAM
- 100-YR FLOODPLAIN
- 100-YR FLOODPLAIN EASEMENT
- PRIMARY MANAGEMENT AREA (PMA)
- CONSERVATION EASEMENT
- WETLAND
- 25' WETLAND BUFFER
- EXISTING TREE LINE
- EXISTING NON-WOODLAND AREA
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- LIMIT OF DISTURBANCE
- TEMPORARY TREE PROTECTION FENCE
- PERMANENT TREE PROTECTION FENCE
- WOODLAND PRESERVATION SIGN
- SPECIMEN CHAMPION HISTORIC TREE WITH CRITICAL ROOT ZONE TO BE SAVED
- SPECIMEN CHAMPION HISTORIC TREE WITH CRITICAL ROOT ZONE TO BE REMOVED
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- NATURAL REGENERATION AREA (NRA)

M-NCPPC PENNSYLVANIA COUNTY PLANNING DEPARTMENT ENVIRONMENTAL PLANNING SECTION			
APPROVAL TREE CONSERVATION PLAN TCPII-048-04			
APPROVED BY	DATE	REASON FOR REVISION	
01 J.L. Stasz	12/29/04		
02 Kim Finch	03/07/15		
03 Kim Finch	07/14/16	SDP 0320-03	
04 Kim Finch	03/01/17	SDP 0320-06	
05 Kim Finch	07/17/17	SDP 0320-06	
06 Kim Finch	3/11/2019	SDP 0320-07	

THIS BLOCK IS FOR
OFFICIAL USE ONLY
OR label certifies that this plan
meets conditions of final approval
by the Planning Board, its designee
or the District Council.

M-NCPPC
APPROVAL

PROJECT NAME: DANVILLE ESTATES
PROJECT NUMBER: SDP-0320-07

For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet
Revision numbers must be included in the Project Number

MATCH LINE SEE SHEET - 3

MATCH LINE SEE SHEET - 4

MATCH LINE SEE SHEET - 5

MATCH LINE SEE SHEET - 9

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND, 20866
TEL: 301-421-4024 FAX: 410-980-1520 301-981-2524 FAX: 301-421-4186

DATE	REVISION	BY	CHK.	APP.
01/07/2019	RELOCATED SWM POND, REV. GRADING, LOT LAYOUT, REDUCED PAVING WIDTH & REMOVED SIDEWALK E. OF HERBIN HSE RD	LME	MFC	
01/07/2019	ADDED NCE LIBER/FOLIOS AND REVISED WORKSHEETS PER KIM FINCH	LME	MFC	
10/17/2016	REVISED OFF-SITE WOODLAND BANK SUMMARY TABLE	RLG	MFC	
08/17/2016	REVISED WOODLAND CLEARING ON PARCEL 'E' SHEET 3 & OFF-SITE CLEARING FOR FUTURE CUL-DE-SAC SHEET 4	RLG	MFC	
01/24/2016	REVISED TO ELIMINATE LOTS SOUTHWEST OF PERCO RIGHT-OF-WAY AND CHANGE SEWER ALIGNMENT	RLG	MFC	
11/20/2013	REVISED PER PLANNING BOARD RESOLUTION	KAB	KAF	
		BY	APP.	

PREPARED FOR:
NVR MS CAVALIER PRESERVE, LLC
c/o WOODLAWN DEVELOPMENT GROUP
11700 PLAZA AMERICA DRIVE, SUITE 310
RESTON, VIRGINIA 20190

SCALE
1" = 30'

DATE
NOV, 2012

ZONING
R-L

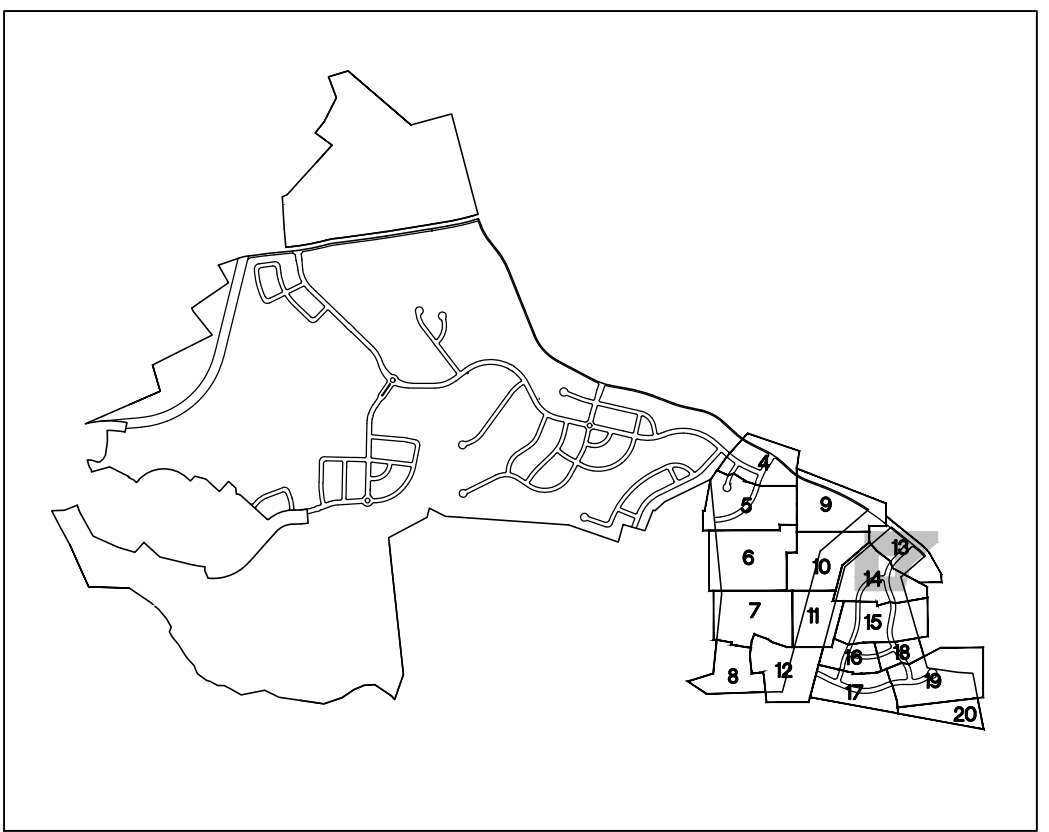
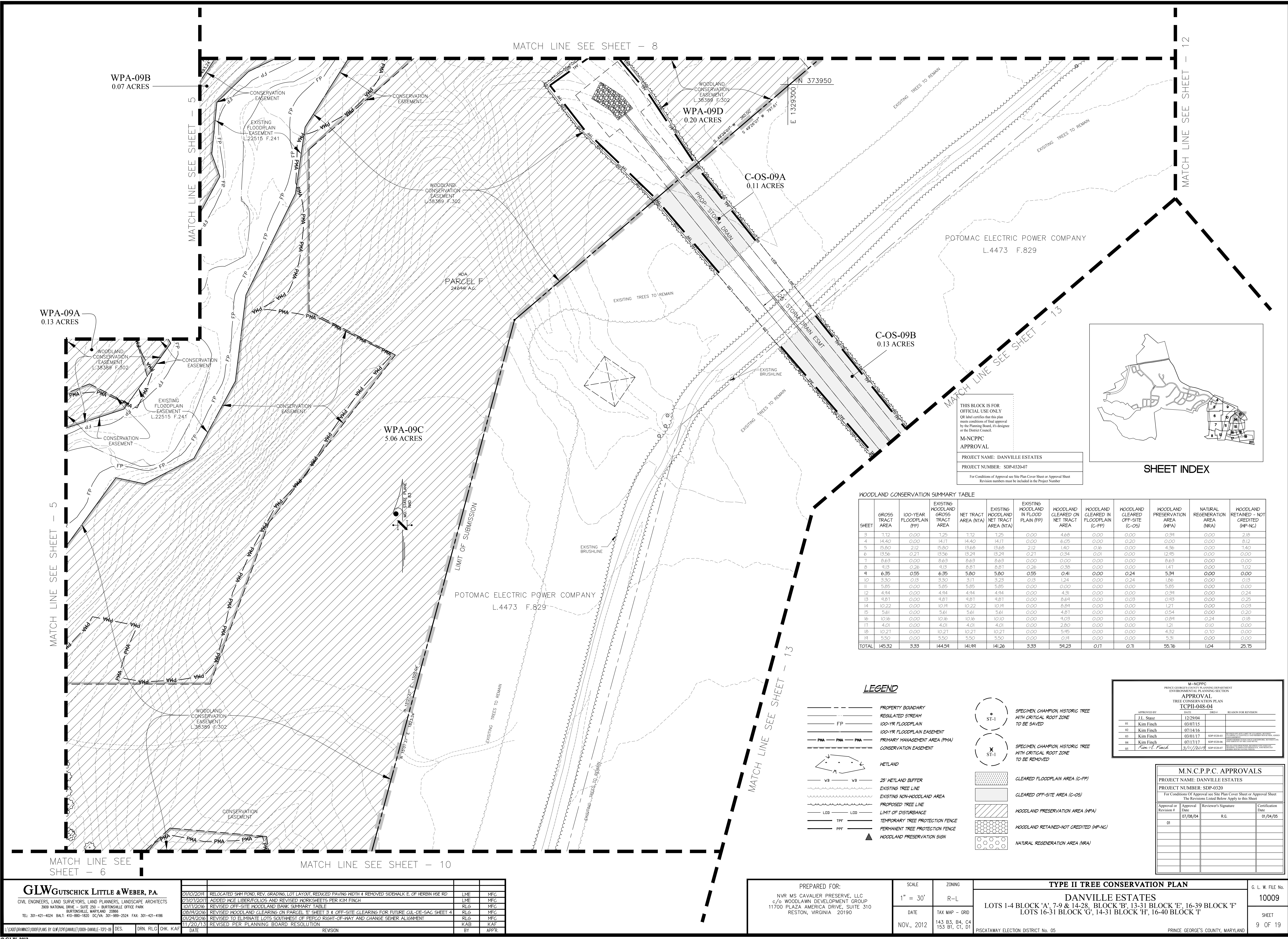
TAX MAP - GRID
143 B3, B4, C4
153 B1, C1, D1

TYPE II TREE CONSERVATION PLAN
DANVILLE ESTATES
LOTS 1-4 BLOCK 'A', 7-9 & 14-28, BLOCK 'B', 13-31 BLOCK 'E', 16-39 BLOCK 'F'
LOTS 16-31 BLOCK 'G', 14-31 BLOCK 'H', 16-40 BLOCK 'I'

PISCATAWAY ELECTION DISTRICT No. 05
PRINCE GEORGE'S COUNTY, MARYLAND

G. L. W. FILE No.
10009

SHEET
8 OF 19



THIS BLOCK IS FOR OFFICIAL USE ONLY. QR label certifies that this plan meets conditions of final approval by the Planning Board, its designee or the District Council.

M-NCPPC APPROVAL

PROJECT NAME: DANVILLE ESTATES
PROJECT NUMBER: SDP-0320-07

For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet
Revision numbers must be included in the Project Number

WOODLAND CONSERVATION SUMMARY TABLE											
SHEET	GROSS TRACT AREA	100-YR FLOODPLAIN (FP)	EXISTING WOODLAND GROSS TRACT AREA	NET TRACT AREA (NTA)	EXISTING WOODLAND NET TRACT AREA (NTA)	EXISTING WOODLAND IN FLOOD PLAIN (FP)	WOODLAND CLEARED ON NET TRACT AREA	WOODLAND CLEARED OFF-SITE (C-OS)	WOODLAND PRESERVATION AREA (WPA)	NATURAL REGENERATION AREA (NRA)	WOODLAND RETAINED - NOT CREDITED (WPA-NC)
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4	14.40	0.00	14.11	14.40	14.11	0.00	6.05	0.00	0.00	0.00	8.12
5	15.80	2.12	15.80	13.68	13.68	2.12	1.40	0.16	0.00	4.36	1.40
6	13.56	0.21	13.56	13.24	13.24	0.21	0.34	0.01	0.00	12.95	0.00
7	8.63	0.00	8.63	8.63	8.63	0.00	0.00	0.00	8.63	0.00	0.00
8	4.13	0.26	4.13	3.87	3.87	0.26	0.38	0.00	1.41	0.00	1.02
4	6.35	0.55	6.35	5.80	5.80	0.55	0.41	0.00	5.34	0.00	0.00
10	3.30	0.13	3.30	3.17	3.23	0.13	1.24	0.00	1.26	0.00	0.13
11	5.85	0.00	5.85	5.85	5.85	0.00	0.00	0.00	5.85	0.00	0.00
12	4.94	0.00	4.94	4.94	4.94	0.00	4.31	0.00	0.34	0.00	0.24
13	4.81	0.00	4.81	4.81	4.81	0.00	8.64	0.00	0.03	0.00	0.25
14	10.22	0.00	10.19	10.22	10.19	0.00	8.84	0.00	1.21	0.00	0.03
15	5.61	0.00	5.61	5.61	5.61	0.00	4.81	0.00	0.54	0.00	0.20
16	10.16	0.00	10.16	10.16	10.10	0.00	4.03	0.00	0.84	0.24	0.18
17	4.01	0.00	4.01	4.01	4.01	0.00	2.80	0.00	1.21	0.10	0.00
18	10.21	0.00	10.21	10.21	10.21	0.00	5.45	0.00	4.32	0.10	0.00
19	5.50	0.00	5.50	5.50	5.50	0.00	0.18	0.00	5.31	0.00	0.00
TOTAL	145.32	3.33	144.54	141.49	141.26	3.33	54.23	0.17	55.16	1.04	25.15

LEGEND

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M-NCPPC APPROVAL

PROJECT NAME: DANVILLE ESTATES
PROJECT NUMBER: SDP-0320-07

For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet
The Revisions Listed Below Apply in this Sheet

Approval or Revision #	Approval Date	Reviewer's Signature	Certification Date
01	07/08/04	R.G.	01/04/05

M.N.C.P.P.C. APPROVALS

PROJECT NAME: DANVILLE ESTATES
PROJECT NUMBER: SDP-0320-07

For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet
The Revisions Listed Below Apply in this Sheet

Approval or Revision #	Approval Date	Reviewer's Signature	Certification Date
01	07/08/04	R.G.	01/04/05

DATE: 11/20/13

REVISION: REVISION

DATE: 11/20/13

REVISION: REVISION

GLWGUTSCHICK LITTLE & WEBER, P.A.				CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS			
3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK				BURTNSVILLE, MARYLAND, 20866			
TEL: 301-421-4024 FAX: 301-421-4024				BALT: 410-880-1520 MD/VA: 301-881-2524 FAX: 301-421-4186			
L:\CADD\DRAWINGS\0000\PLANS BY GUTW\0000\0000-DANVILLE-TP2-09				DES. DRN. RLG. CHK. KAF			
01/07/2013				RELLOCATED SWAMP POND, REV. GRADING, LOT LAYOUT, REDUCED PAVING WIDTH & REMOVED SIDEWALK E. OF HERBIN HSE RD			
07/07/2013				ADDED WCE LIBER/FOLIOS AND REVISED WORKSHEETS PER KIM FINCH			
10/17/2013				REVISED OFF-SITE WOODLAND BANK SUMMARY TABLE			
08/17/2016				REVISED WOODLAND CLEARING ON PARCEL 'E' SHEET 3 & OFF-SITE CLEARING FOR FUTURE CUL-DE-SAC SHEET 4			
01/24/2016				REVISED TO ELIMINATE LOTS SOUTHWEST OF PERCO RIGHT-OF-WAY AND CHANGE SEWER ALIGNMENT			
11/20/13				REVISED PER PLANNING BOARD RESOLUTION			
				KAB KAF			
				BY APPR			

PREPARED FOR:
NVR MS CAVALIER PRESERVE, LLC
c/o WOODLAWN DEVELOPMENT GROUP
11700 PLAZA AMERICA DRIVE, SUITE 310
RESTON, VIRGINIA 20190

SCALE: 1" = 30'

DATE: NOV, 2012

ZONING: R-L

TAX MAP - GRID: 143 B3, B4, C4 153 B1, C1, D1

TYPE II TREE CONSERVATION PLAN

DANVILLE ESTATES

LOTS 1-4 BLOCK 'A', 7-9 & 14-28, BLOCK 'B', 13-31 BLOCK 'E', 16-39 BLOCK 'F'
LOTS 16-31 BLOCK 'G', 14-31 BLOCK 'H', 16-40 BLOCK 'I'

PISCATAWAY ELECTION DISTRICT No. 05

PRINCE GEORGE'S COUNTY, MARYLAND

G. L. W. FILE No. 10009

SHEET 9 OF 19

L:\CADD\DRAWINGS\10000\PLANS BY Q\W\T\Q\DWG\10000-DANVILLE-TCP2-10.dwg
DATE: 07/25/2019 10:18 AM LAST SAVED: 07/25/2019 10:45 AM PLOTTED BY: User: glw

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND, 20866
TEL: 301-421-4024 FAX: 301-421-4186

DATE	DESCRIPTION	BY	CHK.	APP.
01/02/2019	RELLOCATED SWM POND, REV. GRADING, LOT LAYOUT, REDUCED PAVING WIDTH & REMOVED SIDEWALK E. OF HERBIN HGE RD	LME	MFC	
01/07/2019	ADDED WCE LIBER/FOLIOS AND REVISED WORKSHEETS PER KIM FINCH	LME	MFC	
10/11/2016	REVISED OFF-SITE WOODLAND BANK SUMMARY TABLE	RLG	MFC	
08/19/2016	REVISED WOODLAND CLEARING ON PARCEL 'E' SHEET 3 & OFF-SITE CLEARING FOR FUTURE CUL-DE-SAC SHEET 4	RLG	MFC	
01/24/2016	REVISED TO ELIMINATE LOTS SOUTHWEST OF PERCO RIGHT-OF-WAY AND CHANGE SEWER ALIGNMENT	RLG	MFC	
11/22/2013	REVISED PER PLANNING BOARD RESOLUTION	KAB	KAF	
	REVISION	BY		APP.

MATCH LINE SEE SHEET - 6

WPA-10B
0.62 ACRES

HOA
PARCEL F
24.644 AC.

EXISTING
FLOODPLAIN
EASEMENT
L.22515 F.241

CONSERVATION
EASEMENT

WPA-10A
0.87 ACRES

HOA
PARCEL F
24.644 AC.

WOODLAND
CONSERVATION
EASEMENT
L.38389 F.302

MATCH LINE SEE SHEET - 9

C-OS-10A
0.09 ACRES

C-OS-10B
0.15 ACRES

EX. CONSERVATION
EASEMENT TO BE
MODIFIED TO ALLOW
HIKER/BIKER TRAIL

POTOMAC ELECTRIC POWER COMPANY
L.4473 F.829

WPA-10C
0.26 ACRES

HOA
PARCEL J
10.66 sq ft
OR 4.1544 AC.

WOODLAND
CONSERVATION
EASEMENT
L.38389 F.286

WP-NC-10B
0.08 ACRES

MATCH LINE SEE SHEET - 14

EX. CONSERVATION
EASEMENT TO BE
MODIFIED TO ALLOW
HIKER/BIKER TRAIL

WP-NC-10A
0.05 ACRES

WOODLAND
CONSERVATION
EASEMENT
L.38389 F.288

WPA-10D
0.12 ACRES

PARCEL K
14.19 sq ft
OR 0.3254 AC.

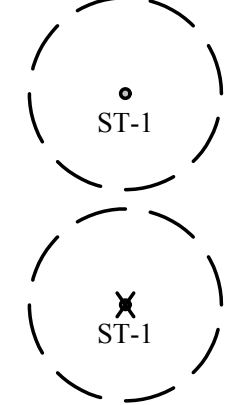
SEE SHEET - 15

MATCH LINE SEE SHEET - 11

MATCH LINE

LEGEND

- PROPERTY BOUNDARY
- REGULATED STREAM
- 100-YR FLOODPLAIN
- 100-YR FLOODPLAIN EASEMENT
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- WOODLAND PRESERVATION SIGN



- CLEARED FLOODPLAIN AREA (C-FP)
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- WOODLAND RETAINED-NOT CREDITED (WP-NC)
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WOODLAND CONSERVATION SUMMARY TABLE

SHEET	GROSS TRACT AREA	100-YEAR FLOODPLAIN (FP)	EXISTING WOODLAND GROSS TRACT AREA	NET TRACT AREA (NTA)	EXISTING WOODLAND NET TRACT AREA (NTA)	EXISTING WOODLAND IN FLOOD PLAIN (FP)	WOODLAND CLEARED ON NET TRACT AREA	WOODLAND CLEARED IN FLOODPLAIN (C-FP)	WOODLAND CLEARED OFF-SITE (C-OS)	WOODLAND PRESERVATION AREA (WPA)	NATURAL REGENERATION AREA (NRA)	WOODLAND RETAINED - NOT CREDITED (WP-NC)
3	1.12	0.00	7.25	7.12	7.25	0.00	4.68	0.00	0.00	0.34	0.00	2.18
4	14.40	0.00	14.17	14.40	14.17	0.00	6.05	0.00	0.20	0.00	0.00	8.12
5	15.80	2.12	15.80	13.68	13.68	2.12	1.40	0.16	0.00	4.36	0.00	1.40
6	13.36	0.21	13.36	13.21	13.21	0.21	0.34	0.01	0.00	12.35	0.00	0.00
7	8.63	0.00	8.63	8.63	8.63	0.00	0.00	0.00	0.00	8.63	0.00	0.00
8	4.13	0.26	4.13	3.87	3.87	0.26	0.36	0.00	0.00	1.41	0.00	1.02
9	6.35	0.55	6.35	5.80	5.80	0.55	0.41	0.00	0.24	5.34	0.00	0.00
10	3.30	0.13	3.30	3.17	3.23	0.13	1.24	0.00	0.24	1.86	0.00	0.13
11	5.85	0.00	5.85	5.85	5.85	0.00	0.00	0.00	0.00	5.85	0.00	0.00
12	4.44	0.00	4.44	4.44	4.44	0.00	4.31	0.00	0.00	0.34	0.00	0.24
13	4.87	0.00	4.87	4.87	4.87	0.00	8.64	0.00	0.03	4.33	0.00	0.25
14	10.22	0.00	10.14	10.22	10.14	0.00	8.94	0.00	0.00	1.21	0.00	0.03
15	5.61	0.00	5.61	5.61	5.61	0.00	4.87	0.00	0.00	0.54	0.00	0.20
16	10.16	0.00	10.16	10.16	10.16	0.00	4.03	0.00	0.00	0.24	0.24	0.18
17	4.01	0.00	4.01	4.01	4.01	0.00	2.80	0.00	0.00	1.21	0.10	0.00
18	10.21	0.00	10.21	10.21	10.21	0.00	5.45	0.00	0.00	4.32	0.10	0.00
19	5.50	0.00	5.50	5.50	5.50	0.00	0.14	0.00	0.00	5.31	0.00	0.00
TOTAL	145.32	3.33	144.54	141.94	141.26	3.33	54.23	0.17	0.71	55.16	1.04	25.15

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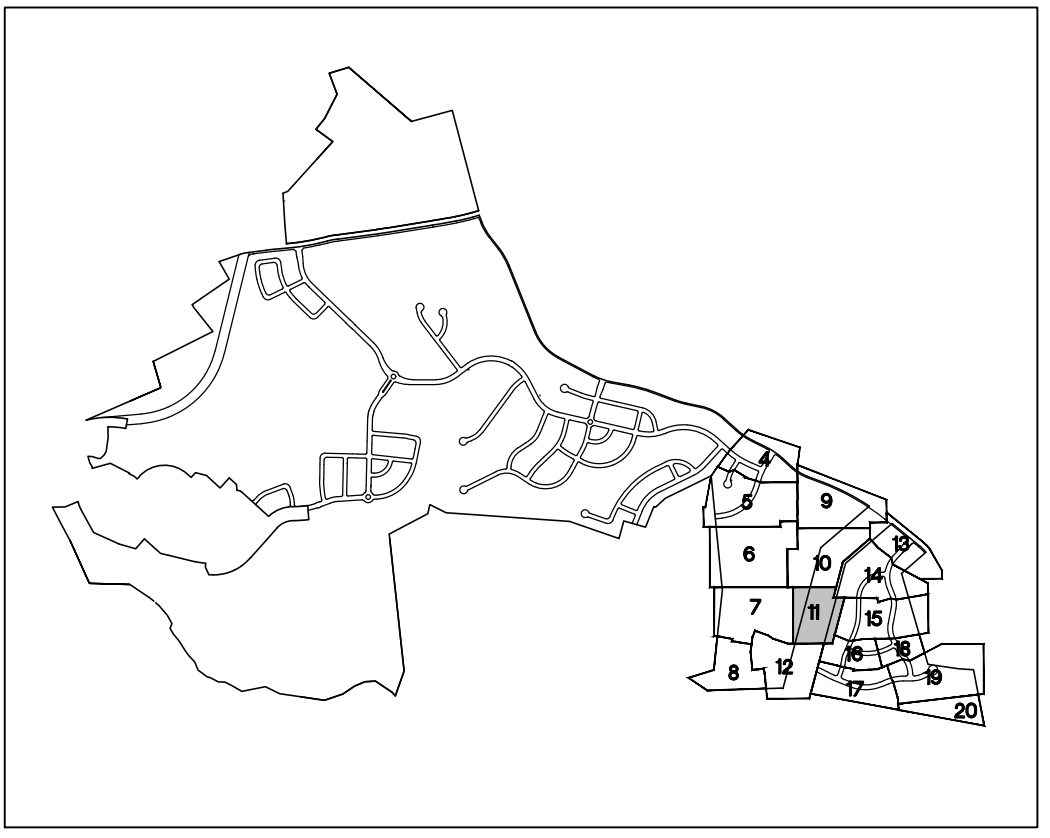
M-NCPPC
APPROVAL

PROJECT NAME: DANVILLE ESTATES

PROJECT NUMBER: SDP-0320-07

For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet
Revision numbers must be included in the Project Number

M-NCPPC PRINCE GEORGE'S COUNTY PLANNING DEPARTMENT ENVIRONMENTAL PLANNING SECTION APPROVAL TREE CONSERVATION PLAN TCP11-048-04			
APPROVED BY	DATE	DRD #	REASON FOR REVISION
01. J.L. Slane	12/29/04		
02. Kim Finch	03/07/15		
03. Kim Finch	07/14/16		
04. Kim Finch	03/01/17	SDP 0320-04	REVISION: 1.00 TO CORRECT ERROR IN THE 100-YR FLOODPLAIN
05. Kim Finch	07/17/17	SDP 0320-04	REVISION: 1.01 TO CORRECT ERROR IN THE 100-YR FLOODPLAIN
06. Kim Finch	07/11/2019	SDP 0320-07	REVISION: 1.02 TO CORRECT ERROR IN THE 100-YR FLOODPLAIN



SHEET INDEX

M.N.C.P.C. APPROVALS

PROJECT NAME: DANVILLE ESTATES

PROJECT NUMBER: SDP-0320

For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet
The Revisions Listed Below Apply in this Sheet

Approval or Revision #	Approval Date	Reviewer's Signature	Certification Date
01	07/08/04	R.G.	01/04/05

PREPARED FOR:

NVR MS CAVALIER PRESERVE, LLC
c/o WOODLAWN DEVELOPMENT GROUP
11700 PLAZA AMERICA DRIVE, SUITE 310
RESTON, VIRGINIA 20190

SCALE

1" = 30'

DATE

NOV, 2012

ZONING

R-L

TAX MAP - GRID

143 B3, B4, C4
153 B1, C1, D1

TYPE II TREE CONSERVATION PLAN

DANVILLE ESTATES
LOTS 1-4 BLOCK 'A', 7-9 & 14-28, BLOCK 'B', 13-31 BLOCK 'E', 16-39 BLOCK 'F'
LOTS 16-31 BLOCK 'G', 14-31 BLOCK 'H', 16-40 BLOCK 'I'

PISCATAWAY ELECTION DISTRICT No. 05

PRINCE GEORGE'S COUNTY, MARYLAND

G. L. W. FILE No.

10009

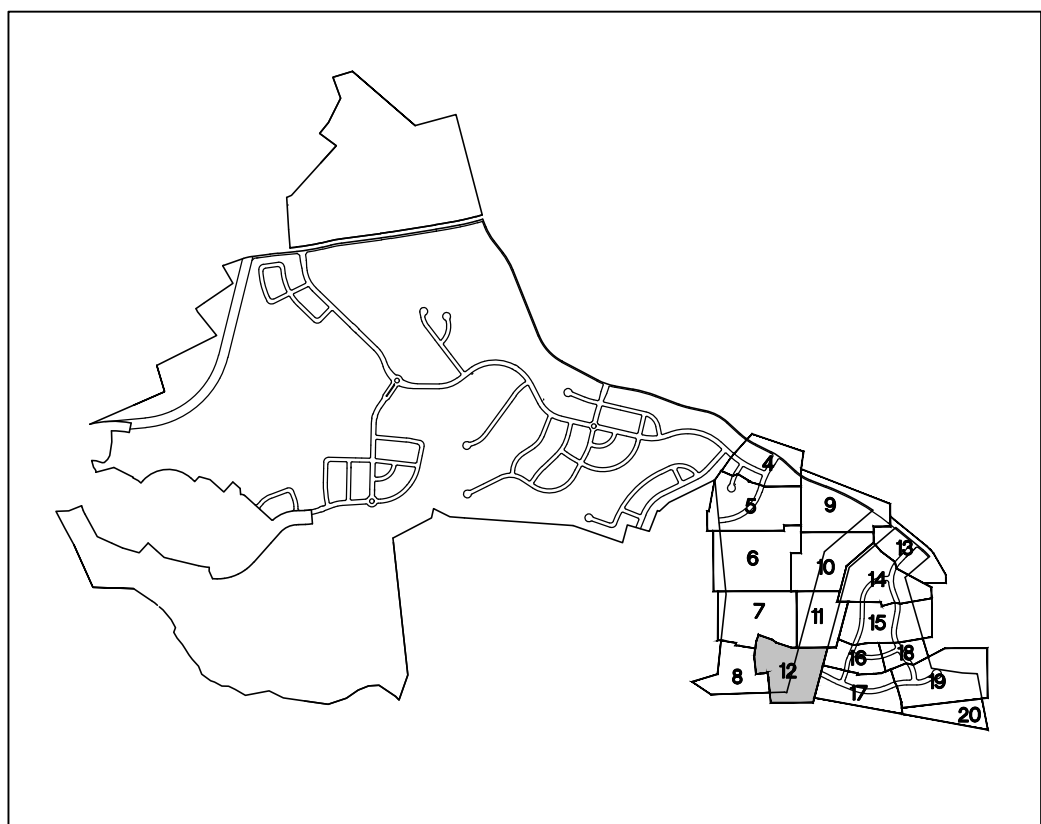
SHEET

10 OF 19

WOODLAND CONSERVATION SUMMARY TABLE

SHEET	GROSS TRACT AREA	100-YEAR FLOODPLAIN (FF)	EXISTING WOODLAND GROSS TRACT AREA	NET TRACT AREA (NTA)	EXISTING WOODLAND NET TRACT AREA (NTA)	EXISTING WOODLAND IN FLOOD PLAIN (FF)	WOODLAND CLEARED ON NET TRACT AREA	WOODLAND CLEARED IN FLOODPLAIN (C-FF)	WOODLAND CLEARED OFF-SITE (C-OS)	WOODLAND PRESERVATION AREA (WPA)	NATURAL REGENERATION AREA (NRA)	WOODLAND RETAINED - NOT CREDITED (WPN-C)
3	1.12	0.00	7.25	7.12	7.25	0.00	4.68	0.00	0.00	0.34	0.00	2.18
4	14.40	0.00	14.11	14.40	14.11	0.00	6.05	0.00	0.00	0.00	0.00	8.12
5	15.80	2.12	15.80	13.68	13.68	2.12	1.40	0.16	0.00	4.36	0.00	1.40
6	13.56	0.21	13.56	13.24	13.24	0.21	0.34	0.01	0.00	12.45	0.00	0.00
7	8.63	0.00	8.63	8.63	8.63	0.00	0.00	0.00	0.00	8.63	0.00	0.00
8	4.13	0.26	4.13	8.87	8.87	0.26	0.38	0.00	0.00	1.41	0.00	1.02
9	6.35	0.55	6.35	5.80	5.80	0.55	0.41	0.00	0.24	5.34	0.00	0.00
10	3.30	0.13	3.30	3.17	3.17	0.13	1.24	0.00	0.24	1.86	0.00	0.13
11	5.85	0.00	5.85	5.85	5.85	0.00	0.00	0.00	0.00	5.85	0.00	0.00
12	4.94	0.00	4.94	4.94	4.94	0.00	4.31	0.00	0.00	0.34	0.00	0.24
13	4.81	0.00	4.81	4.81	4.81	0.00	8.64	0.00	0.03	0.43	0.00	0.25
14	10.22	0.00	10.14	10.22	10.14	0.00	8.84	0.00	0.00	1.27	0.00	0.03
15	5.61	0.00	5.61	5.61	5.61	0.00	4.81	0.00	0.00	0.54	0.00	0.20
16	10.16	0.00	10.16	10.10	10.10	0.00	4.03	0.00	0.00	0.84	0.24	0.18
17	4.01	0.00	4.01	4.01	4.01	0.00	2.80	0.00	0.00	1.21	0.10	0.00
18	10.21	0.00	10.21	10.21	10.21	0.00	5.45	0.00	0.00	4.32	0.10	0.00
19	5.50	0.00	5.50	5.50	5.50	0.00	0.14	0.00	0.00	5.31	0.00	0.00
TOTAL	145.32	3.33	144.94	141.44	141.26	3.33	94.23	0.17	0.71	55.16	1.04	25.15

MATCH LINE SEE SHEET - 10



SHEET INDEX

LEGEND

---	PROPERTY BOUNDARY
---	REGULATED STREAM
---	100-YR FLOODPLAIN
---	100-YR FLOODPLAIN EASEMENT
---	PRIMARY MANAGEMENT AREA (PMA)
---	CONSERVATION EASEMENT
---	WETLAND
---	25' WETLAND BUFFER
---	EXISTING TREE LINE
---	EXISTING NON-WOODLAND AREA
---	PROPOSED TREE LINE
---	LIMIT OF DISTURBANCE
---	TEMPORARY TREE PROTECTION FENCE
---	PERMANENT TREE PROTECTION FENCE
---	WOODLAND PRESERVATION SIGN
ST-1	SPECIMEN, CHAMPION, HISTORIC TREE WITH CRITICAL ROOT ZONE TO BE SAVED
ST-1	SPECIMEN, CHAMPION, HISTORIC TREE WITH CRITICAL ROOT ZONE TO BE REMOVED
---	CLEARED FLOODPLAIN AREA (C-FF)
---	CLEARED OFF-SITE AREA (C-OS)
---	WOODLAND PRESERVATION AREA (WPA)
---	WOODLAND RETAINED-NOT CREDITED (WPN-C)
---	NATURAL REGENERATION AREA (NRA)

M-NCPPC PRINCE GEORGE'S COUNTY PLANNING DEPARTMENT ENVIRONMENTAL PLANNING SECTION APPROVAL TREE CONSERVATION PLAN TCPII-048-04			
APPROVED BY	DATE	DRD #	REASON FOR REVISION
11. Sias	12/29/04		
01 Kim Finch	03/07/15		
02 Kim Finch	07/14/16		
01 Kim Finch	03/01/17	SDP-0320-01	REVISION TO TREE CONSERVATION PLAN
04 Kim Finch	07/17/17	SDP-0320-04	REVISION TO TREE CONSERVATION PLAN
05 Kim Finch	9/11/2019	SDP-0320-05	REVISION TO TREE CONSERVATION PLAN

M.N.C.P.P.C. APPROVALS

PROJECT NAME: DANVILLE ESTATES

PROJECT NUMBER: SDP-0320

For Conditions Of Approval see Site Plan Cover Sheet or Approval Sheet

The Revisions Listed Below Apply in this Sheet

Approval or Revision #	Approval Date	Reviewer's Signature	Certification Date
------------------------	---------------	----------------------	--------------------

01	07/08/04	R.G.	01/04/05
----	----------	------	----------

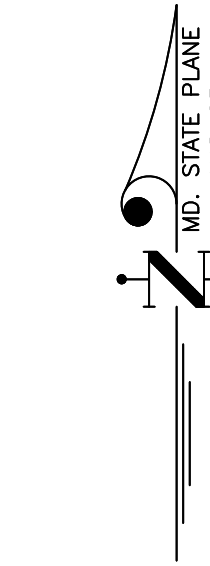
THIS BLOCK IS FOR OFFICIAL USE ONLY
QR label certifies that this plan meets conditions of final approval by the Planning Board, its designee or the District Council.

M-NCPPC
APPROVAL

PROJECT NAME: DANVILLE ESTATES

PROJECT NUMBER: SDP-0320-07

For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet
Revision numbers must be included in the Project Number



MATCH LINE SEE SHEET - 7

MATCH LINE SEE SHEET - 6

MATCH LINE SEE SHEET - 6

MATCH LINE SEE SHEET - 15

MATCH LINE SEE SHEET - 16

MATCH LINE SEE SHEET - 7

WPA-10A
5.85 ACRESWOODLAND
CONSERVATION
EASEMENT
L.39389 F.374HOA
PARCEL G
22,192 ACHOA
PARCEL F
24,644 ACWOODLAND
CONSERVATION
EASEMENT
L.39389 F.301WOODLAND
CONSERVATION
EASEMENT
L.39389 F.274N/F R.H. DOBSON
L. 5063 F. 515

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND, 20866
TEL: 301-421-4024 FAX: 410-880-1520 10/16 301-881-2524 FAX: 301-421-4186

DATE	DESCRIPTION	BY	APP'R
01/01/2019	RELOCATED SWAMP POND, REV. GRADING, LOT LAYOUT, REDUCED PAVING WIDTH & REMOVED SIDEWALK E. OF HERBIN HGE RD	LME	MFC
01/01/2019	ADDED NCE LIBER/FOLIOS AND REVISED WORKSHEETS PER KIM FINCH	LME	MFC
10/11/2016	REVISED OFF-SITE WOODLAND BANK SUMMARY TABLE	RLG	MFC
08/14/2016	REVISED WOODLAND CLEARING ON PARCEL 'E' SHEET 3 & OFF-SITE CLEARING FOR FUTURE CUL-DE-SAC SHEET 4	RLG	MFC
01/24/2016	REVISED TO ELIMINATE LOTS SOUTHWEST OF PERCO RIGHT-OF-WAY AND CHANGE SEWER ALIGNMENT	RLG	MFC
11/20/13	REVISED PER PLANNING BOARD RESOLUTION	KAB	KAF
	REVISION		

PREPARED FOR:

NVR MS CAVALIER PRESERVE, LLC
c/o WOODLAWN DEVELOPMENT GROUP
11700 PLAZA AMERICA DRIVE, SUITE 310
RESTON, VIRGINIA 20190

SCALE

1" = 30'

DATE

NOV, 2012

ZONING

R-L

TAX MAP - GRID

143 B3, B4, C4
153 B1, C1, D1

TYPE II TREE CONSERVATION PLAN

DANVILLE ESTATES
LOTS 1-4 BLOCK 'A', 7-9 & 14-28, BLOCK 'B', 13-31 BLOCK 'E', 16-39 BLOCK 'F'
LOTS 16-31 BLOCK 'G', 14-31 BLOCK 'H', 16-40 BLOCK 'I'

PISCATAWAY ELECTION DISTRICT No. 05

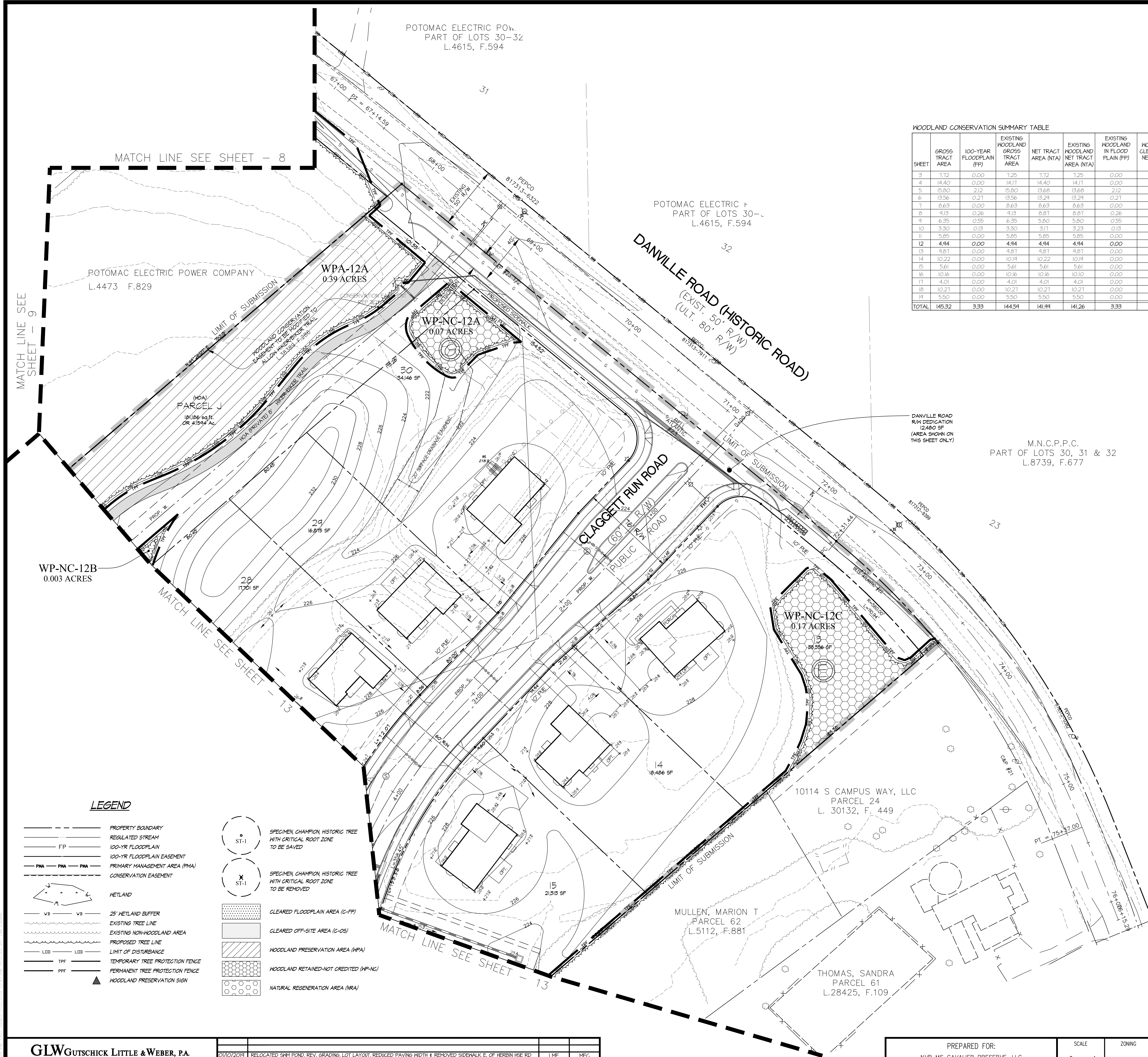
PRINCE GEORGE'S COUNTY, MARYLAND

G. L. W. FILE No.

10009

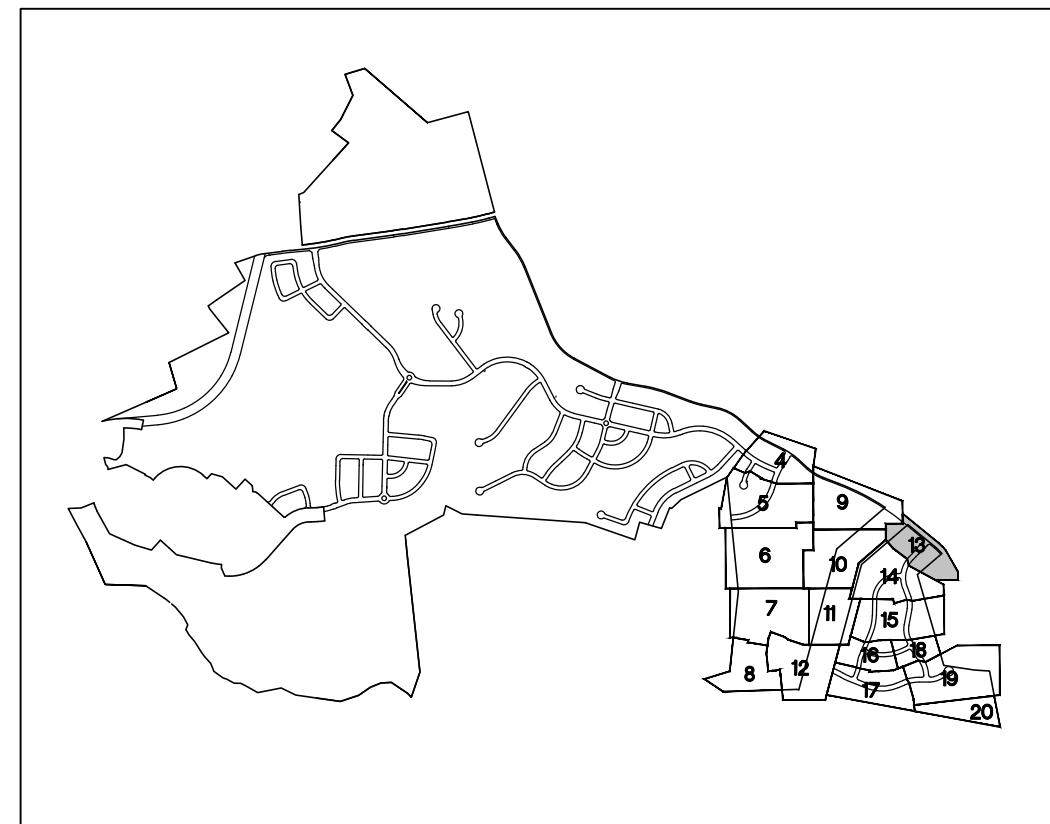
SHEET

11 OF 19



WOODLAND CONSERVATION SUMMARY TABLE

SHEET	GROSS TRACT AREA	100-YEAR FLOODPLAIN (FF)	EXISTING WOODLAND GROSS TRACT AREA	NET TRACT AREA (NTA)	EXISTING WOODLAND NET TRACT AREA (NTA)	EXISTING WOODLAND IN FLOOD PLAIN (FF)	WOODLAND CLEARED ON NET TRACT AREA	WOODLAND CLEARED IN FLOODPLAIN (C-FF)	WOODLAND CLEARED OFF-SITE (C-OS)	WOODLAND PRESERVATION AREA (WPA)	NATURAL REGENERATION AREA (NRA)	WOODLAND RETAINED - NOT CREDITED (WP-NC)
3	1.12	0.00	1.25	1.12	1.25	0.00	4.65	0.00	0.00	0.34	0.00	2.16
4	14.40	0.00	14.17	14.40	14.17	0.00	6.05	0.00	0.20	0.00	0.00	8.12
5	15.80	2.12	15.80	15.68	15.68	2.12	1.40	0.16	0.00	4.56	0.00	1.40
6	13.56	0.27	13.56	13.29	13.29	0.27	0.34	0.01	0.00	12.95	0.00	0.00
7	8.63	0.00	8.63	8.63	8.63	0.00	0.00	0.00	0.00	8.63	0.00	0.00
8	4.13	0.26	4.13	4.87	4.87	0.26	0.38	0.00	0.00	1.47	0.00	1.02
9	6.35	0.55	6.35	5.80	5.80	0.55	0.41	0.00	0.24	5.34	0.00	0.00
10	3.30	0.13	3.30	3.17	3.23	0.13	1.24	0.00	0.24	1.66	0.00	0.13
11	5.85	0.00	5.85	5.85	5.85	0.00	0.00	0.00	0.00	5.85	0.00	0.00
12	4.94	0.00	4.94	4.94	4.94	0.00	4.31	0.00	0.00	0.34	0.00	0.24
13	4.21	0.00	4.21	4.21	4.21	0.00	8.64	0.00	0.00	0.13	0.00	0.25
14	10.22	0.00	10.18	10.22	10.18	0.00	8.84	0.00	0.00	1.27	0.00	0.03
15	5.61	0.00	5.61	5.61	5.61	0.00	4.81	0.00	0.00	0.54	0.00	0.20
16	10.16	0.00	10.16	10.16	10.10	0.00	9.03	0.00	0.00	0.84	0.24	0.18
17	4.01	0.00	4.01	4.01	4.01	0.00	2.80	0.00	0.00	1.21	0.10	0.00
18	10.21	0.00	10.21	10.21	10.21	0.00	5.45	0.00	0.00	4.32	0.10	0.00
19	5.50	0.00	5.50	5.50	5.50	0.00	0.14	0.00	0.00	5.31	0.00	0.00
TOTAL	145.32	3.33	144.54	141.91	141.26	3.33	54.23	0.17	0.11	55.16	1.04	25.15



SHEET INDEX

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M-NCPPC APPROVAL

PROJECT NAME: DANVILLE ESTATES
PROJECT NUMBER: SDP-0320-07

For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet. Revision numbers must be included in the Project Number.

M-NCPPC
PRINCE GEORGE'S COUNTY PLANNING DEPARTMENT
ENVIRONMENTAL PLANNING SECTION
APPROVAL
TREE CONSERVATION PLAN
TCPII-048-04

APPROVED BY	DATE	DESIGNED BY	REVISION FOR REVIEW
J.L. Stasz	12/29/04		
01 Kim Finch	03/07/15		
02 Kim Finch	07/14/16		
03 Kim Finch	03/01/17	SDP-0320-07	
04 Kim Finch	07/11/17	SDP-0320-07	
05 Kim Finch	3/11/2020	SDP-0320-07	

M.N.C.P.P.C. APPROVALS

PROJECT NAME: DANVILLE ESTATES
PROJECT NUMBER: SDP-0320

For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet. The Revisions Listed Below Apply in this Sheet.

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GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND, 20866
TEL: 301-421-4024 FAX: 301-421-4186

DATE	REVISION	BY	APP'R
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11/21/13	REVISED PER PLANNING BOARD RESOLUTION	KAB	KAF
		BY	APP'R

PREPARED FOR:
NVR MS CAVALIER PRESERVE, LLC
c/o WOODLAWN DEVELOPMENT GROUP
11700 PLAZA AMERICA DRIVE, SUITE 310
RESTON, VIRGINIA 20190

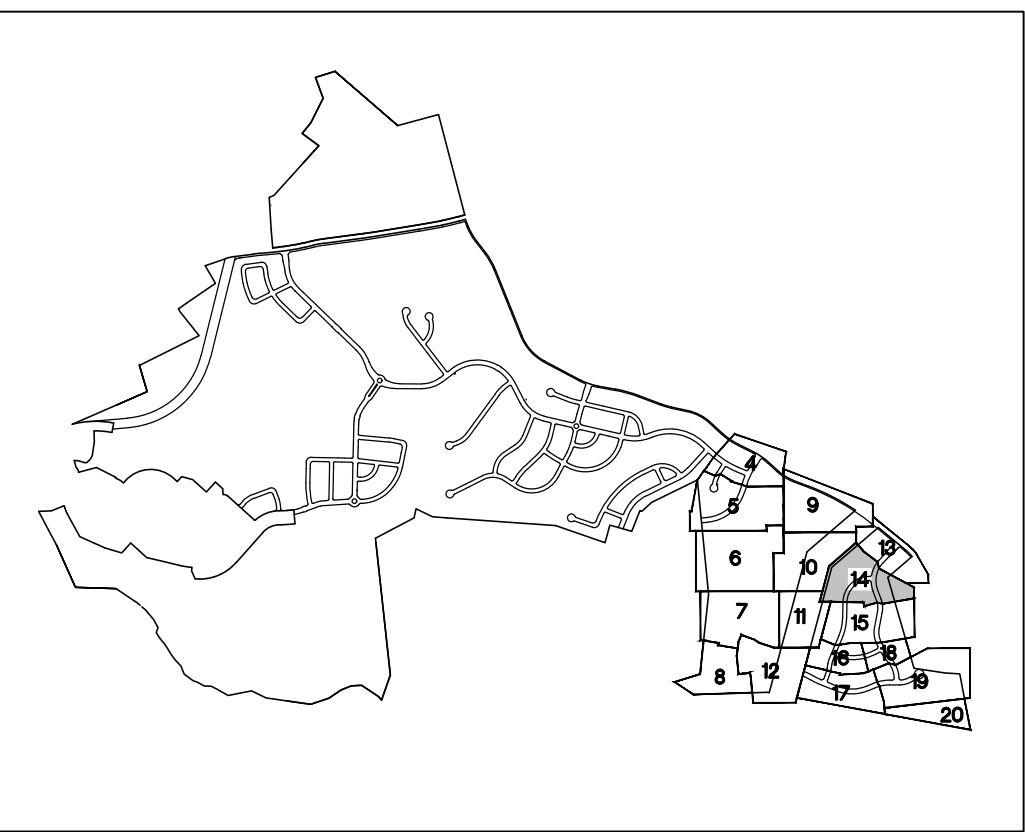
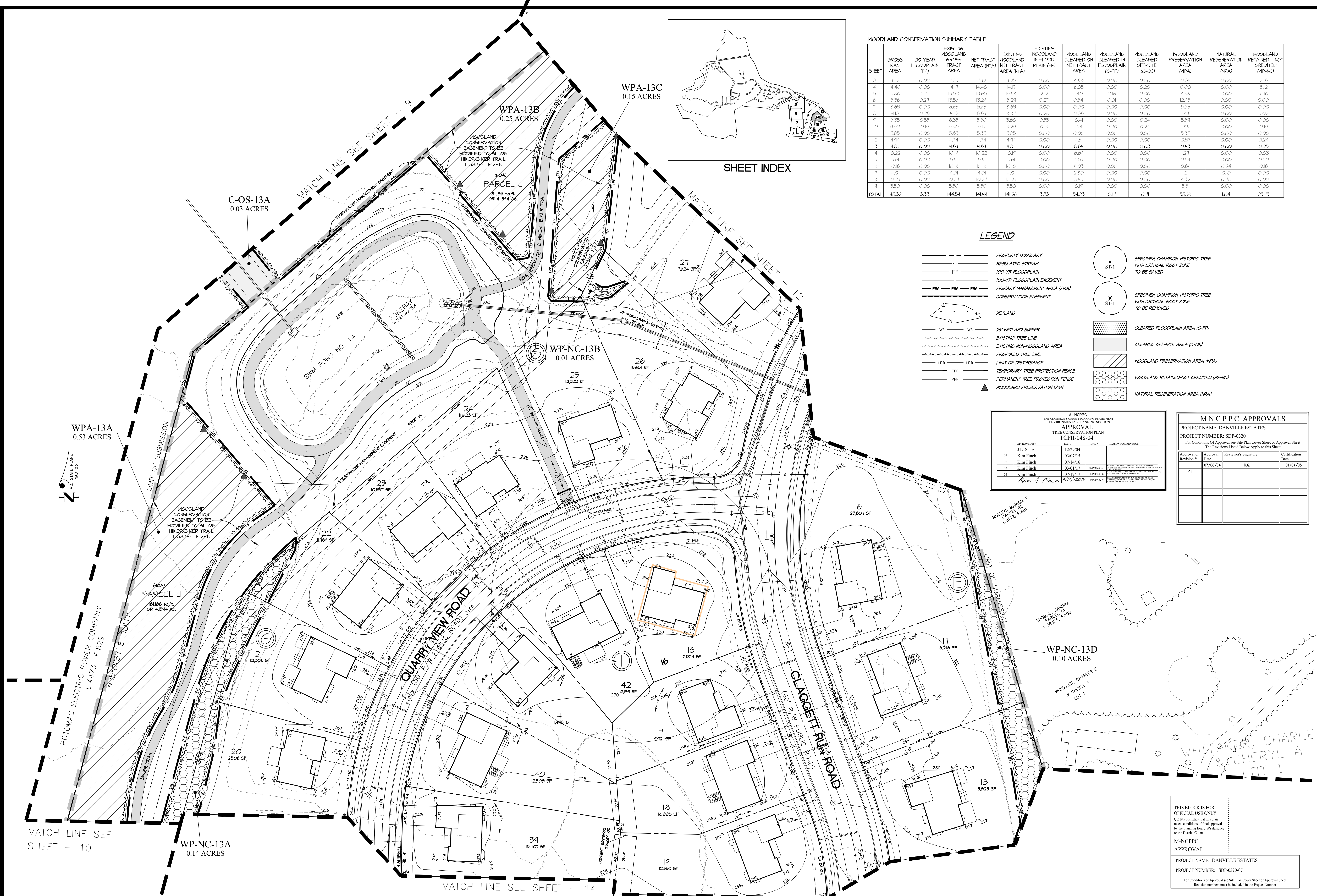
SCALE	ZONING
1" = 30'	R-L
DATE	TAX MAP - GRID
NOV, 2012	143 B3, B4, C4 153 B1, C1, D1

TYPE II TREE CONSERVATION PLAN
DANVILLE ESTATES
LOTS 1-4 BLOCK 'A', 7-9 & 14-28, BLOCK 'B', 13-31 BLOCK 'E', 16-39 BLOCK 'F'
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PISCATAWAY ELECTION DISTRICT No. 05

PRINCE GEORGE'S COUNTY, MARYLAND

G. L. W. FILE No.
10009
SHEET
12 OF 19



SHEET INDEX

WOODLAND CONSERVATION SUMMARY TABLE

SHEET	GROSS TRACT AREA	100-YEAR FLOODPLAIN (FP)	EXISTING WOODLAND GROSS TRACT AREA	NET TRACT AREA (NTA)	EXISTING WOODLAND IN FLOODPLAIN (FF)	WOODLAND CLEARED ON NET TRACT AREA	WOODLAND CLEARED IN FLOODPLAIN (C-FF)	WOODLAND CLEARED OFF-SITE (C-OS)	WOODLAND PRESERVATION AREA (WPA)	NATURAL REGENERATION AREA (NRA)	WOODLAND RETAINED - NOT CREDITED (WP-NC)
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4	14.40	0.00	14.17	14.40	14.17	0.00	0.00	0.00	0.00	0.00	8.12
5	15.80	0.21	15.80	13.68	13.68	0.21	0.16	0.00	4.36	0.00	1.40
6	13.56	0.21	13.56	13.24	13.24	0.21	0.01	0.00	12.45	0.00	0.00
7	8.63	0.00	8.63	8.63	8.63	0.00	0.00	0.00	8.63	0.00	0.00
8	4.13	0.26	4.13	4.01	4.01	0.26	0.38	0.00	1.41	0.00	1.02
9	6.35	0.55	6.35	5.80	5.80	0.55	0.41	0.00	5.34	0.00	0.00
10	3.30	0.19	3.30	3.11	3.23	0.19	0.24	0.00	1.86	0.00	0.13
11	9.95	0.00	9.95	9.95	9.95	0.00	0.00	0.00	9.95	0.00	0.00
12	4.94	0.00	4.94	4.94	4.94	0.00	0.00	0.00	4.94	0.00	0.24
13	4.81	0.00	4.81	4.81	4.81	0.00	0.00	0.00	4.81	0.00	0.25
14	10.22	0.00	10.14	10.22	10.14	0.00	0.00	0.00	1.21	0.00	0.03
15	5.61	0.00	5.61	5.61	5.61	0.00	0.00	0.00	5.61	0.00	0.20
16	10.16	0.00	10.16	10.16	10.16	0.00	0.00	0.00	10.16	0.00	0.16
17	4.01	0.00	4.01	4.01	4.01	0.00	0.00	0.00	4.01	0.00	0.00
18	10.21	0.00	10.21	10.21	10.21	0.00	0.00	0.00	10.21	0.00	0.00
19	5.50	0.00	5.50	5.50	5.50	0.00	0.00	0.00	5.50	0.00	0.00
TOTAL	145.32	3.33	144.54	141.94	141.26	3.33	0.71	0.71	55.16	1.04	25.75

LEGEND

- PROPERTY BOUNDARY
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- NATURAL REGENERATION AREA (NRA)

M-NCPPC APPROVAL			
PROJECT NAME: DANVILLE ESTATES			
PROJECT NUMBER: SDP-0320-04			
APPROVED BY	DATE	REASON FOR REVISION	
J.L. Stasz	12/29/04		
Kim Finch	03/07/15		
Kim Finch	07/14/16		
Kim Finch	03/01/17	SDP-0320-04	
Kim Finch	07/17/17	SDP-0320-04	
Kim Finch	3/11/2019	SDP-0320-04	

M.N.C.P.P.C. APPROVALS			
PROJECT NAME: DANVILLE ESTATES			
PROJECT NUMBER: SDP-0320-07			
APPROVAL #	APPROVAL DATE	REVIEWER'S SIGNATURE	CERTIFICATION DATE
01	07/08/04	R.G.	01/04/05

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M-NCPPC APPROVAL

PROJECT NAME: DANVILLE ESTATES

PROJECT NUMBER: SDP-0320-07

For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet

Revision numbers must be included in the Project Number



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M-NCPPC
APPROVAL

PROJECT NAME: DANVILLE ESTATES

PROJECT NUMBER: SDP-0320-07

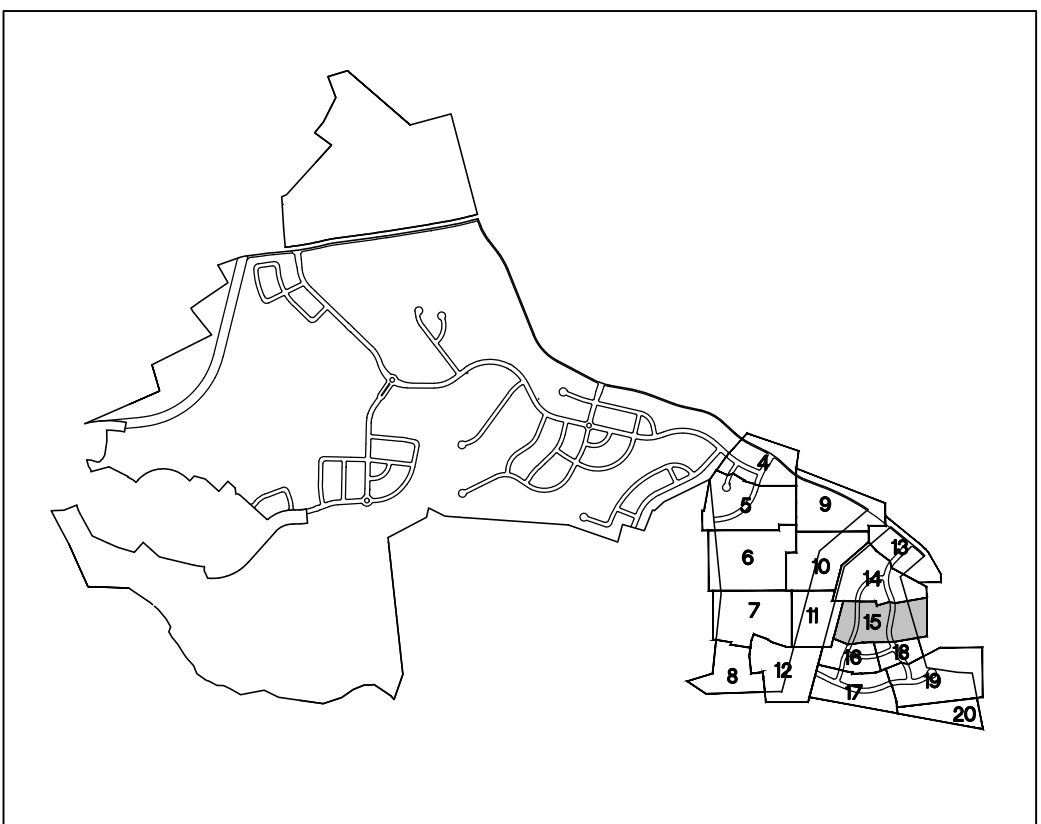
For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet
Revision numbers must be included in the Project Number

M-NCPPC PRINCE GEORGE'S COUNTY PLANNING DEPARTMENT ENVIRONMENTAL PLANNING SECTION			
APPROVAL			
TREE CONSERVATION PLAN			
TCPII-048-04			
APPROVED BY	DATE	DRD #	REASON FOR REVIEW
01 J.L. Stase	12/29/04		
02 Kim Finch	03/07/15		
03 Kim Finch	07/14/16		
04 Kim Finch	03/01/17	SDP-0320-08	REVISION TO TREE CONSERVATION PLAN
05 Kim Finch	07/17/17	SDP-0320-09	REVISION TO TREE CONSERVATION PLAN

M.N.C.P.C. APPROVALS			
PROJECT NAME: DANVILLE ESTATES			
PROJECT NUMBER: SDP-0320			
For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet			
The Revisions Listed Below Apply in this Sheet			
Approval or Revision #	Approval Date	Reviewer's Signature	Certification Date
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WOODLAND CONSERVATION SUMMARY TABLE

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4	14.40	0.00	14.11	14.40	14.11	0.00	6.05	0.00	0.20	0.00	0.00	8.12
5	15.80	2.12	15.80	13.68	13.68	2.12	1.40	0.16	0.00	4.36	0.00	7.40
6	13.56	0.21	13.56	13.24	13.24	0.21	0.34	0.01	0.00	12.45	0.00	0.00
7	8.63	0.00	8.63	8.63	8.63	0.00	0.00	0.00	0.00	8.63	0.00	0.00
8	9.15	0.26	9.15	8.87	8.87	0.26	0.38	0.00	0.00	1.41	0.00	1.02
9	6.35	0.35	6.35	5.80	5.80	0.35	0.41	0.00	0.00	5.34	0.00	0.00
10	3.30	0.13	3.30	3.17	3.23	0.13	1.24	0.00	0.24	1.96	0.00	0.13
11	5.85	0.00	5.85	5.85	5.85	0.00	0.00	0.00	0.00	5.85	0.00	0.00
12	4.44	0.00	4.44	4.44	4.44	0.00	4.31	0.00	0.00	0.34	0.00	0.24
13	9.87	0.00	9.87	9.87	9.87	0.00	8.64	0.00	0.03	0.43	0.00	0.25
14	10.22	0.00	10.14	10.22	10.14	0.00	8.84	0.00	0.00	1.21	0.00	0.03
15	5.61	0.00	5.61	5.61	5.61	0.00	4.81	0.00	0.00	0.54	0.00	0.26
16	10.16	0.00	10.16	10.16	10.16	0.00	4.03	0.00	0.00	0.84	0.24	0.18
17	4.01	0.00	4.01	4.01	4.01	0.00	2.80	0.00	0.00	1.21	0.10	0.00
18	10.21	0.00	10.21	10.21	10.21	0.00	5.45	0.00	0.00	4.32	0.10	0.00
19	5.50	0.00	5.50	5.50	5.50	0.00	0.14	0.00	0.00	5.31	0.00	0.00
TOTAL	145.32	3.33	144.54	141.94	141.26	3.33	54.23	0.17	0.21	55.16	1.04	25.15



SHEET INDEX

LEGEND

- PROPERTY BOUNDARY
- REGULATED STREAM
- FP
- 100-YR FLOODPLAIN
- 100-YR FLOODPLAIN EASEMENT
- PMA
- PRIMARY MANAGEMENT AREA (PMA)
- CONSERVATION EASEMENT
- WETLAND
- VS
- 25' WETLAND BUFFER
- EXISTING TREE LINE
- EXISTING NON-WOODLAND AREA
- PROPOSED TREE LINE
- LDD
- LIMIT OF DISTURBANCE
- TPF
- TEMPORARY TREE PROTECTION FENCE
- PPF
- PERMANENT TREE PROTECTION FENCE
- WOODLAND PRESERVATION SIGN
- ST-1
- SPECIMEN, CHAMPION, HISTORIC TREE WITH CRITICAL ROOT ZONE TO BE SAVED
- ST-1
- SPECIMEN, CHAMPION, HISTORIC TREE WITH CRITICAL ROOT ZONE TO BE REMOVED
- CLEARED FLOODPLAIN AREA (C-FP)
- CLEARED OFF-SITE AREA (C-OS)
- WOODLAND PRESERVATION AREA (WPA)
- WOODLAND RETAINED-NOT CREDITED (NP-NC)
- NATURAL REGENERATION AREA (NRA)

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK
BURTNSVILLE, MARYLAND, 20866
TEL: 301-421-4024 FAX: 301-421-4024

DATE	REVISION	BY	APPR.
01/07/2019	RELOCATED SWM POND, REV. GRADING, LOT LAYOUT, REDUCED PAVING WIDTH & REMOVED SIDEWALK E. OF HERBIN HGE RD	LME	MFC
01/07/2019	ADDED VICE LIBER/FOLIOS AND REVISED WORKSHEETS PER KIM FINCH	LME	MFC
10/11/2016	REVISED OFF-SITE WOODLAND BANK SUMMARY TABLE	RLG	MFC
08/17/2016	REVISED WOODLAND CLEARING ON PARCEL 'E' SHEET 3 & OFF-SITE CLEARING FOR FUTURE CUL-DE-SAC SHEET 4	RLG	MFC
01/24/2016	REVISED TO ELIMINATE LOTS SOUTHWEST OF PERCO RIGHT-OF-WAY AND CHANGE SEWER ALIGNMENT	RLG	MFC
11/23/2013	REVISED PER PLANNING BOARD RESOLUTION	KAB	KAF
		BY	APPR.

PREPARED FOR:
NVR MS CAVALIER PRESERVE, LLC
c/o WOODLAWN DEVELOPMENT GROUP
11700 PLAZA AMERICA DRIVE, SUITE 310
RESTON, VIRGINIA 20190

SCALE	ZONING
1" = 30'	R-L
DATE	TAX MAP - GRID
NOV, 2012	143 B3, B4, C4 153 B1, C1, D1

TYPE II TREE CONSERVATION PLAN	
DANVILLE ESTATES	
LOTS 1-4 BLOCK 'A', 7-9 & 14-28, BLOCK 'B', 13-31 BLOCK 'E', 16-39 BLOCK 'F'	
LOTS 16-31 BLOCK 'G', 14-31 BLOCK 'H', 16-40 BLOCK 'I'	
PISCATAWAY ELECTION DISTRICT No. 05	
PRINCE GEORGE'S COUNTY, MARYLAND	

G. L. W. FILE No.
10009
SHEET
14 OF 19

SHEET	60655 FLOODPLAIN AREA	100-YEAR FLOODPLAIN (FP)	EXISTING WOODLAND 60655 TRACT AREA	EXISTING WOODLAND 60655 TRACT AREA (NTA)	EXISTING WOODLAND 60655 TRACT AREA (NTA)	EXISTING WOODLAND IN FLOOD PLAIN (FP)	WOODLAND CLEARED ON NET TRACT AREA	WOODLAND CLEARED IN FLOODPLAIN (C-FP)	WOODLAND CLEARED OFFSITE (C-OS)	WOODLAND PRESERVATION AREA (NPA)	NATURAL REGENERATION AREA (NRA)	WOODLAND RETAINED - NOT CREATED (NFCN)
3	1.12	0.00	1.25	1.12	1.25	0.00	6.66	0.00	0.00	0.39	0.00	2.18
4	14.40	0.00	14.17	14.40	14.17	0.00	6.05	0.00	0.20	0.00	0.00	8.12
5	15.80	2.12	15.80	13.68	13.68	2.12	1.40	0.16	0.00	4.36	0.00	7.40
6	13.56	0.27	13.56	13.24	13.24	0.27	0.34	0.01	0.00	12.45	0.00	0.00
7	8.63	0.00	8.63	8.63	8.63	0.00	0.00	0.00	0.00	8.63	0.00	0.00
8	0.19	0.26	4.13	8.81	8.81	0.26	0.38	0.00	0.00	1.41	0.00	1.02
9	6.38	0.58	6.38	5.80	5.80	0.58	0.41	0.00	0.00	5.24	0.00	0.39
10	3.30	0.13	3.30	3.11	3.23	0.13	1.24	0.00	0.24	1.96	0.00	0.13
11	5.85	0.00	5.85	5.85	5.85	0.00	0.00	0.00	0.00	5.85	0.00	0.00
12	4.94	0.00	4.94	4.94	4.94	0.00	4.31	0.00	0.00	0.39	0.00	0.24
13	9.81	0.00	9.81	9.81	9.81	0.00	8.64	0.00	0.03	0.43	0.00	0.25
14	10.22	0.00	10.18	10.22	10.18	0.00	8.84	0.00	0.00	1.21	0.00	0.00
15	5.61	0.00	5.61	5.61	5.61	0.00	4.87	0.00	0.00	0.54	0.00	0.20
16	10.16	0.10	10.16	10.16	10.16	0.00	1.23	0.00	0.00	0.91	0.00	0.18
17	4.01	0.00	4.01	4.01	4.01	0.00	2.80	0.00	0.00	1.21	0.10	0.00
18	10.27	0.00	10.27	10.27	10.27	0.00	5.45	0.00	0.00	4.32	0.70	0.00
19	5.50	0.00	5.50	5.50	5.50	0.00	0.19	0.00	0.00	5.31	0.00	0.00
TOTAL	145.32	3.33	144.54	141.99	141.26	3.33	54.23	0.17	0.71	55.76	1.04	25.75

The diagram illustrates various wetland buffer zones and easements. It includes a legend with symbols for PROPERTY BOUNDARY (solid line), REGULATED STREAM (dashed line), 100-YR FLOODPLAIN (line with 'x' marks), FP (line with 'x' marks), PMA (line with 'x' marks), PRIMARY MANAGEMENT AREA (PMA) (line with 'x' marks), CONSERVATION EASEMENT (line with 'x' marks), and WETLAND (shaded area). Below the legend is a map showing a wetland area (shaded) with a 25' WETLAND BUFFER (dashed line), EXISTING TREE LINE (line with 'x' marks), EXISTING NON-WOODED AREA (line with 'x' marks), PROPOSED TREE LINE (line with 'x' marks), LIMIT OF DISTURBANCE (line with 'x' marks), TEMPORARY TREE PROTECTION FENCE (line with 'x' marks), PERMANENT TREE PROTECTION FENCE (line with 'x' marks), and WETLAND PRESERVATION SIGN (triangle).

PROPERTY BOUNDARY

REGULATED STREAM

100-YR FLOODPLAIN

FP

PMA PMA PMA

PRIMARY MANAGEMENT AREA (PMA)

CONSERVATION EASEMENT

WETLAND

25' WETLAND BUFFER

EXISTING TREE LINE

EXISTING NON-WOODED AREA

PROPOSED TREE LINE

LIMIT OF DISTURBANCE

TEMPORARY TREE PROTECTION FENCE

PERMANENT TREE PROTECTION FENCE

WETLAND PRESERVATION SIGN

(X) SPECIMEN, CHAMPION, HISTORIC TREE
ST-1 WITH CRITICAL ROOT ZONE
TO BE REMOVED

	CLEARED OFF-SITE AREA (C-OS)
--	------------------------------

WOODLAND RETAINED-NOT CREDITED (WP-NC)

 NATURAL REGENERATION AREA (NRA)

M-NCPPC
APPROVAL

PROJECT NUMBER: SDP-0320-07

For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet
Revision numbers must be included in the Project Number

<p align="center">M-NCPPC PRINCE GEORGES COUNTY PLANNING DEPARTMENT ENVIRONMENTAL PLANNING SECTION APPROVAL THREE CONSERVATION PLAN TCPII-048-04</p>				
	APPROVED BY	DATE	DRD #	REASON FOR REVISION
	<i>J.L. Siew</i>	12/29/04		
01	Kim Finch	03/07/15		
02	Kim Finch	07/14/16		
03	Kim Finch	03/01/17	SDP 0320-043	NO ACTION REQUIRED. THE PROJECT HAS BEEN REVIEWED AND APPROVED FOR THE PROPOSED DEVELOPMENT. THE PROJECT IS IN COMPLIANCE WITH THE PROPOSED DEVELOPMENT. THE PROJECT IS IN COMPLIANCE WITH THE PROPOSED DEVELOPMENT. THE PROJECT IS IN COMPLIANCE WITH THE PROPOSED DEVELOPMENT.
04	Kim Finch	07/17/17	SDP 0320-06	NO ACTION REQUIRED. THE PROJECT HAS BEEN REVIEWED AND APPROVED FOR THE PROPOSED DEVELOPMENT. THE PROJECT IS IN COMPLIANCE WITH THE PROPOSED DEVELOPMENT. THE PROJECT IS IN COMPLIANCE WITH THE PROPOSED DEVELOPMENT. THE PROJECT IS IN COMPLIANCE WITH THE PROPOSED DEVELOPMENT.
05	<i>Kim C. Finch</i>	3/11/2020	SDP 0320-07	NO ACTION REQUIRED. THE PROJECT HAS BEEN REVIEWED AND APPROVED FOR THE PROPOSED DEVELOPMENT. THE PROJECT IS IN COMPLIANCE WITH THE PROPOSED DEVELOPMENT. THE PROJECT IS IN COMPLIANCE WITH THE PROPOSED DEVELOPMENT. THE PROJECT IS IN COMPLIANCE WITH THE PROPOSED DEVELOPMENT.

PROJECT NAME: DANVILLE ESTATES

For Conditions Of Approval see Site Plan Cover
The Revisions Listed Below Apply

THE REVISIONS LISTED BELOW APPLY TO THIS SHEET			
Approval of	Approval	Reviewer's Signature	Certification

[illegible]

10009

SHEET

15 OF 19

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE • SUITE 250 • BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

07/10/2018	RELOCATED SHM ROAD, GRV. GRADINGS, LOT LAYOUT, REDUCED PAVING WIDTH & REMOVED SIDEWALK E. OF HERBIN HSE RD	LME	MFG
10/01/2021	ADDED WCE LIBERFOLIOS AND REVISED WORKSHEETS PER KIM FINCH	LME	MFG
10/01/2018	REVISED OFF-SITE WOODLAND BANK SUMMARY TABLE	RLS	MFG
07/10/2018	REVISED WOODLAND CLEARING ON PARCEL E, SHEET 3 & OFF-SITE CLEARING FOR FUTURE CUL-DE-SAC SHEET 4	RLS	MFG
10/01/2026	REVISED TO ELIMINATE LOTS SOUTHWEST OF PEFCO RIGHT-OF-WAY AND CHANGE SEWER ALIGNMENT	RLS	MFG
11/20/13	REVISED PER PLANNING BOARD RESOLUTION	KAB	KAF
DATE	REVISION	BY	APPR.

PREPARED FOR:
NVR MS CAVALIER PRESERVE, LLC
c/o WOODLAWN DEVELOPMENT GROUP
11700 PLAZA AMERICA DRIVE, SUITE 310
RESTON, VIRGINIA 20190

1" 30'

DATE _____

NOV 2012

D. I.

R-L

INDEX MAP -

3 B3, B4
3 B1, C1

DANVILLE ESTATES

LOTS 1-4 BLOCK 'A', 7-9 & 14-28, BLOCK 'B', 13-31 BLOCK 'E', 16-39 BLOCK 'F'
LOTS 16-31 BLOCK 'G', 14-31 BLOCK 'H', 16-40 BLOCK 'I'

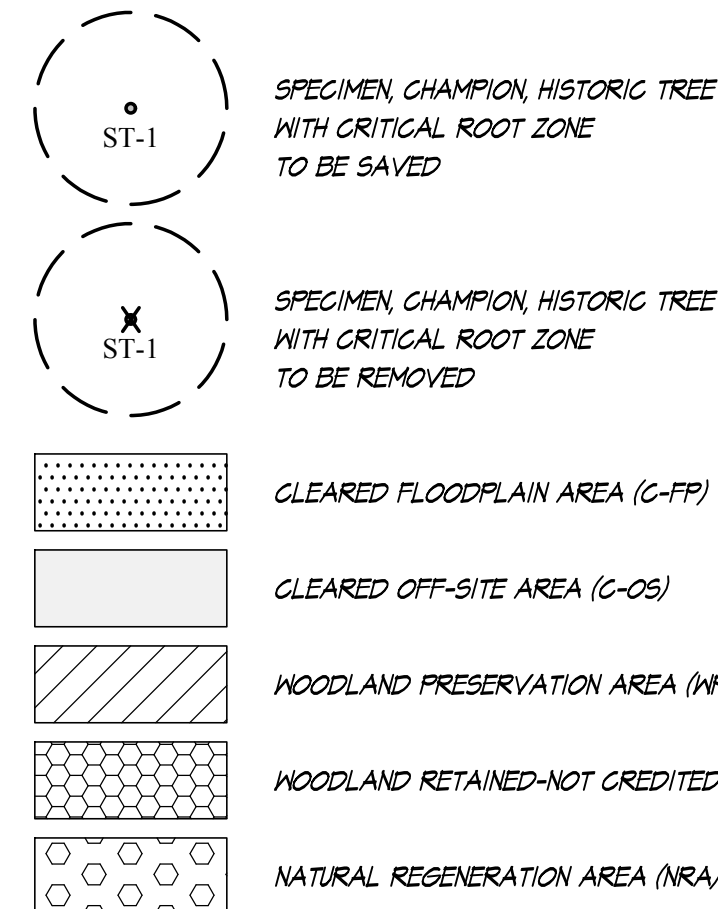
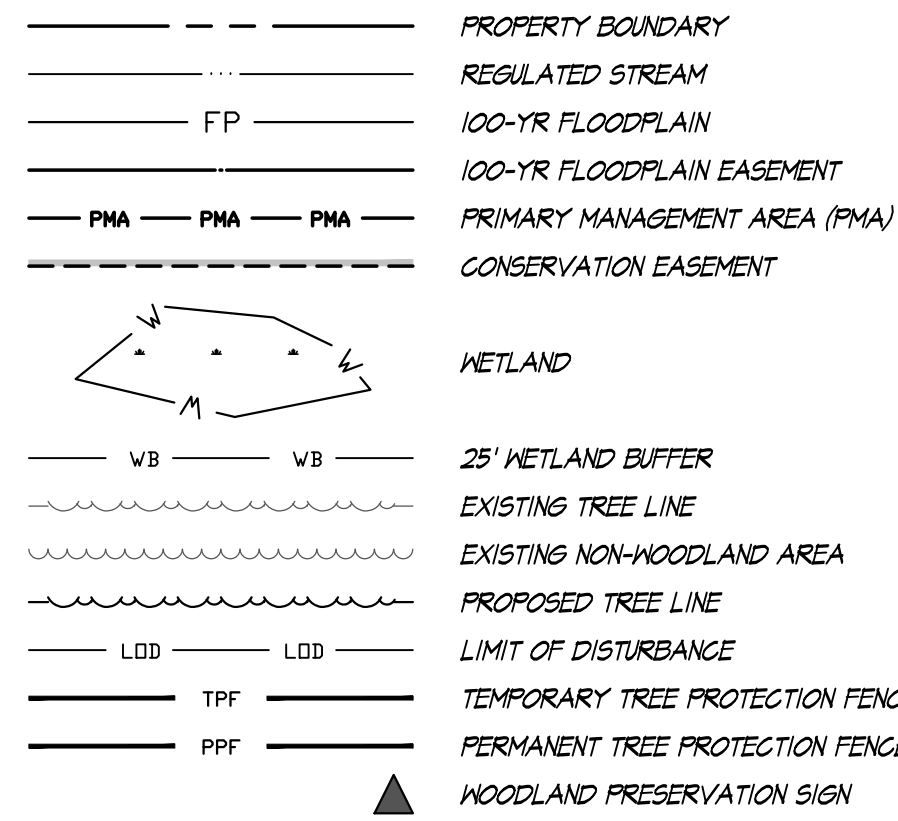
PISCATAWAY ELECTION DISTRICT No. 05



WOODLAND CONSERVATION SUMMARY TABLE

SHEET	GROSS TRACT AREA	100-YEAR FLOODPLAIN (FP)	EXISTING WOODLAND GROSS TRACT AREA	NET TRACT AREA (NTA)	EXISTING WOODLAND NET TRACT AREA (NTA)	EXISTING WOODLAND IN FLOOD PLAIN (FP)	WOODLAND CLEARED ON NET TRACT AREA	WOODLAND CLEARED IN FLOODPLAIN (C-FP)	WOODLAND CLEARED OFF-SITE (C-OS)	WOODLAND PRESERVATION AREA (NPA)	NATURAL REGENERATION AREA (NRA)	WOODLAND RETAINED - NOT CREDITED (NPN-C)
3	1.12	0.00	7.25	7.12	7.25	0.00	4.68	0.00	0.00	0.38	0.00	2.18
4	14.40	0.00	14.11	14.40	14.11	0.00	6.25	0.00	0.20	0.00	0.00	8.12
5	15.80	2.12	15.80	13.68	13.68	2.12	1.40	0.16	0.00	4.36	0.00	7.40
6	13.56	0.21	13.56	13.24	13.24	0.21	0.34	0.01	0.00	12.45	0.00	0.00
7	8.63	0.00	8.63	8.63	8.63	0.00	0.00	0.00	0.00	8.63	0.00	0.00
8	9.13	0.26	9.13	8.87	8.87	0.26	0.36	0.00	0.00	1.41	0.00	1.02
9	6.35	0.55	6.35	5.80	5.80	0.55	0.41	0.00	0.24	5.34	0.00	0.00
10	3.30	0.13	3.30	3.17	3.23	0.13	1.24	0.00	0.24	1.86	0.00	0.13
11	5.85	0.00	5.85	5.85	5.85	0.00	0.00	0.00	0.00	5.85	0.00	0.00
12	4.94	0.00	4.94	4.94	4.94	0.00	4.31	0.00	0.00	0.34	0.00	0.24
13	9.87	0.00	9.87	9.87	9.87	0.00	8.69	0.00	0.03	0.93	0.00	0.25
14	10.22	0.00	10.19	10.22	10.19	0.00	8.84	0.00	0.00	1.21	0.00	0.03
15	5.61	0.00	5.61	5.61	5.61	0.00	4.81	0.00	0.00	0.54	0.00	0.20
16	10.16	0.00	10.16	10.16	10.10	0.00	9.03	0.00	0.00	0.84	0.24	0.18
17	4.01	0.00	4.01	4.01	4.01	0.00	2.80	0.00	0.00	1.21	0.10	0.00
18	10.21	0.00	10.21	10.21	10.21	0.00	5.95	0.00	0.00	4.32	0.10	0.00
19	5.50	0.00	5.50	5.50	5.50	0.00	0.91	0.00	0.00	5.31	0.00	0.00
TOTAL	145.32	3.33	144.54	141.94	141.26	3.33	54.23	0.17	0.71	55.16	1.04	25.75

LEGEND



THIS BLOCK IS FOR OFFICIAL USE ONLY. QR label certifies that this plan meets conditions of final approval by the Planning Board, it's designee or the District Council.

M-NCPPC APPROVAL

PROJECT NAME: DANVILLE ESTATES
PROJECT NUMBER: SDP-0320-07

For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet. Revision numbers must be included in the Project Number.

APPROVED BY	DATE	REASON FOR REVISION
J.L. Stasz	12/29/04	
Kim Finch	03/07/15	
Kim Finch	07/19/16	SDP 0320-04
Kim Finch	03/01/17	SDP 0320-06
Kim Finch	07/17/17	SDP 0320-06
Kim Finch	8/11/2019	SDP 0320-07

M.N.C.P.C. APPROVALS			
PROJECT NAME: DANVILLE ESTATES			
PROJECT NUMBER: SDP-0320			
For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet. The Revisions Listed Below Apply to this Sheet.			
Approval or Revision #	Approval Date	Reviewer's Signature	Certification Date
01	07/08/04	R.G.	01/04/05

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND, 20866
TEL: 301-421-4024 FAX: 410-980-1520 10/16/16 301-881-2524 FAX: 301-421-4886

DATE	REVISION	BY	APP'R.
01/01/2019	RELOCATED SWM POND, REV. GRADING, LOT LAYOUT, REDUCED PAVING WIDTH & REMOVED SIDEWALK E. OF HERBIN HGE RD	LME	MFC
01/01/2019	ADDED WCE LIBER/FOLIOS AND REVISED WORKSHEETS PER KIM FINCH	LME	MFC
10/17/2016	REVISED OFF-SITE WOODLAND BANK SUMMARY TABLE	RLG	MFC
08/17/2016	REVISED WOODLAND CLEARING ON PARCEL 'E' SHEET 3 & OFF-SITE CLEARING FOR FUTURE CUL-DE-SAC SHEET 4	RLG	MFC
01/29/2016	REVISED TO ELIMINATE LOTS SOUTHWEST OF PERCO RIGHT-OF-WAY AND CHANGE SEWER ALIGNMENT	RLG	MFC
11/20/13	REVISED PER PLANNING BOARD RESOLUTION	KAB	KAF
		BY	APP'R.

PREPARED FOR:
NVR MS CAVALIER PRESERVE, LLC
c/o WOODLAWN DEVELOPMENT GROUP
11700 PLAZA AMERICA DRIVE, SUITE 310
RESTON, VIRGINIA 20190

SCALE	ZONING
1" = 30'	R-L
DATE	TAX MAP - GRID
NOV, 2012	143 B3, B4, C4 153 B1, C1, D1

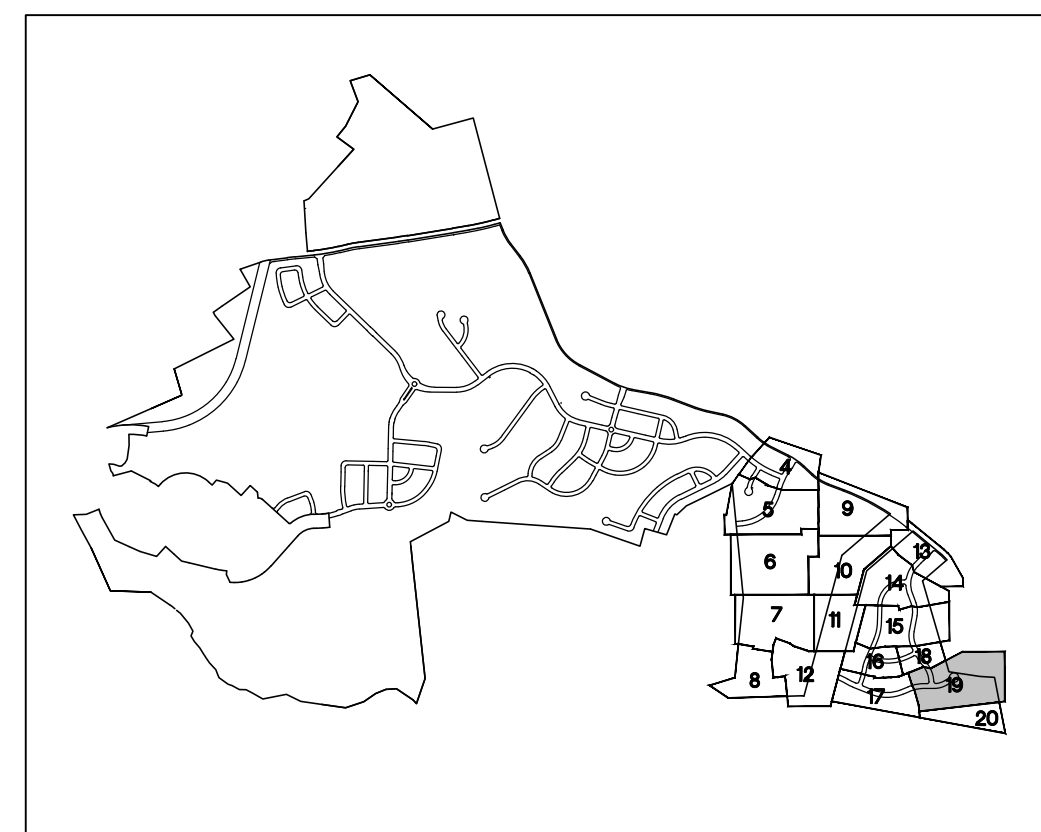
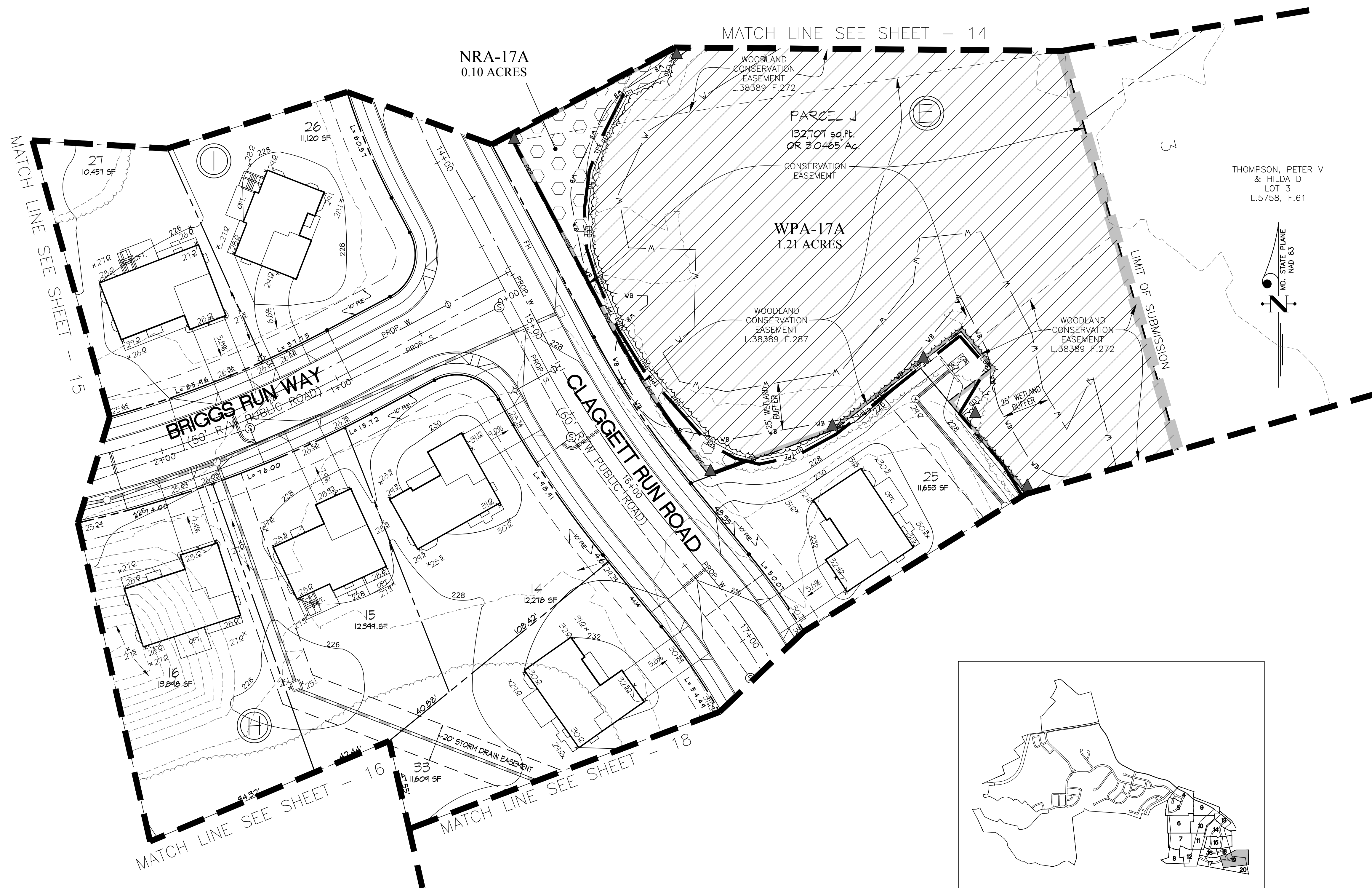
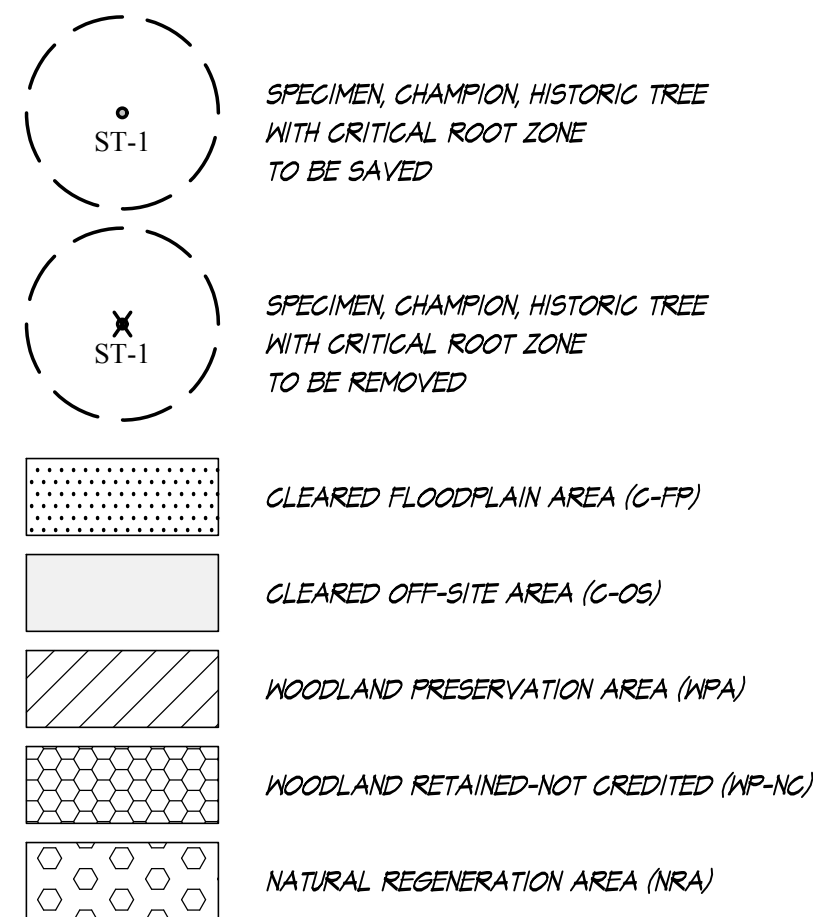
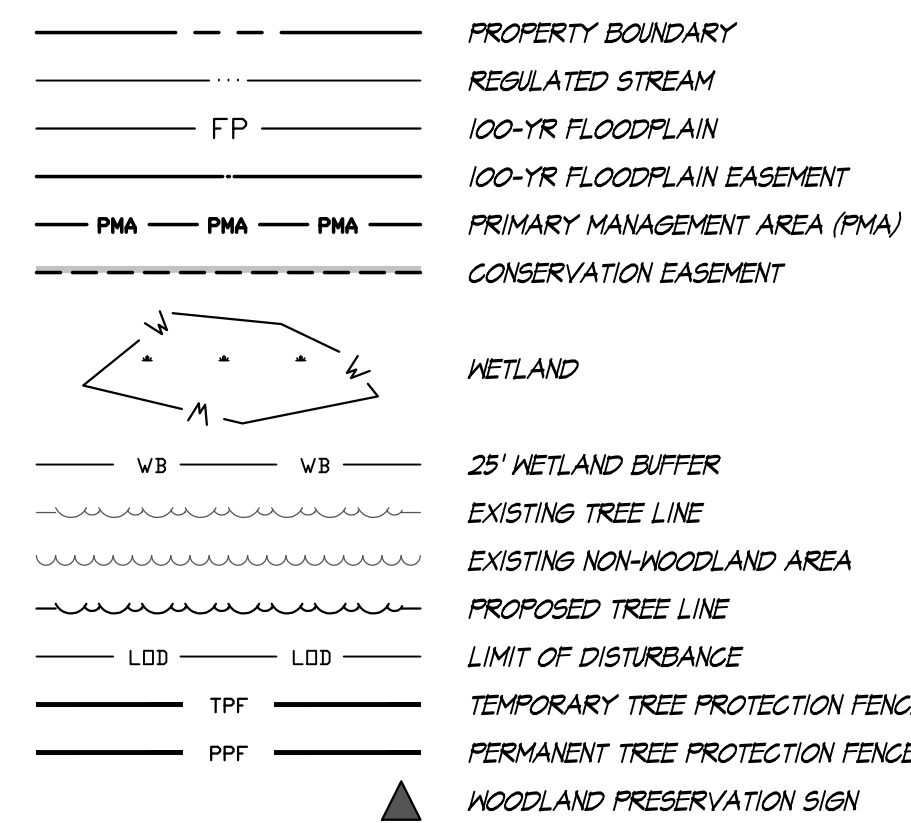
TYPE II TREE CONSERVATION PLAN	
DANVILLE ESTATES	
LOTS 1-4 BLOCK 'A', 7-9 & 14-28, BLOCK 'B', 13-31 BLOCK 'E', 16-39 BLOCK 'F', LOTS 16-31 BLOCK 'G', 14-31 BLOCK 'H', 16-40 BLOCK 'I'	
PISCATAWAY ELECTION DISTRICT No. 05	
PRINCE GEORGE'S COUNTY, MARYLAND	

G. L. W. FILE No.
10009
SHEET
16 OF 19

WOODLAND CONSERVATION SUMMARY TABLE

SHEET	GROSS TRACT AREA	100-YEAR FLOODPLAIN (FP)	EXISTING WOODLAND GROSS TRACT AREA	NET TRACT AREA (NTA)	EXISTING WOODLAND NET TRACT AREA (NTA)	EXISTING WOODLAND IN FLOOD PLAIN (FP)	WOODLAND CLEARED ON NET TRACT AREA	WOODLAND CLEARED ON FLOODPLAIN (G-FP)	WOODLAND CLEARED OFF-SITE (G-OS)	WOODLAND PRESERVATION AREA (WPA)	NATURAL REGENERATION AREA (NRA)	WOODLAND RETAINED - NOT CREDITED (NP-NC)
3	1.12	0.00	1.12	1.12	1.12	0.00	4.68	0.00	0.00	0.34	0.00	2.18
4	14.40	0.00	14.11	14.40	14.11	0.00	6.05	0.00	0.20	0.00	0.00	8.12
5	15.80	2.12	15.80	13.68	13.68	2.12	1.40	0.16	0.00	4.36	0.00	7.40
6	13.56	0.21	13.56	13.24	13.24	0.21	0.34	0.01	0.00	12.95	0.00	0.00
7	8.63	0.00	8.63	8.63	8.63	0.00	0.00	0.00	0.00	8.63	0.00	0.00
8	4.13	0.26	4.13	8.81	8.81	0.26	0.38	0.00	0.00	1.41	0.00	7.02
9	6.35	0.35	6.35	5.80	5.80	0.35	0.41	0.00	0.24	5.34	0.00	0.00
10	3.30	0.13	3.30	3.17	3.23	0.13	1.24	0.00	0.24	1.86	0.00	0.13
11	5.85	0.00	5.85	5.85	5.85	0.00	0.00	0.00	0.00	5.85	0.00	0.00
12	4.44	0.00	4.44	4.44	4.44	0.00	4.31	0.00	0.00	0.34	0.00	0.24
13	4.81	0.00	4.81	4.81	4.81	0.00	8.64	0.00	0.03	0.43	0.00	0.25
14	10.22	0.00	10.18	10.22	10.18	0.00	8.84	0.00	0.00	1.21	0.00	0.03
15	5.61	0.00	5.61	5.61	5.61	0.00	4.81	0.00	0.00	0.54	0.00	0.20
16	10.16	0.00	10.16	10.16	10.10	0.00	4.03	0.00	0.00	0.81	0.24	0.18
17	4.01	0.00	4.01	4.01	4.01	0.00	2.80	0.00	0.00	1.21	0.10	0.00
18	10.21	0.00	10.21	10.21	10.21	0.00	5.15	0.00	0.00	4.33	0.10	0.00
19	5.50	0.00	5.50	5.50	5.50	0.00	0.14	0.00	0.00	5.31	0.00	0.00
TOTAL	145.32	3.33	144.54	141.94	141.26	3.33	54.23	0.11	0.11	55.16	1.04	25.15

LEGEND



SHEET INDEX

THIS BLOCK IS FOR
OFFICIAL USE ONLY
QR label certifies that this plan
meets conditions of final approval
by the Planning Board, its designee
or the District Council.

M-NCPPC
APPROVAL

PROJECT NAME: DANVILLE ESTATES
PROJECT NUMBER: SDP-0320-07

For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet
Revision numbers must be included in the Project Number

M-NCPPC PROJECT GROWTH/DEVELOPMENT PLANNING DEPARTMENT ENVIRONMENTAL PLANNING SECTION APPROVAL TREE CONSERVATION PLAN TCPII-048-04			
APPROVED BY	DATE	REVIEWER	REASON FOR REVISION
01 J.L. Stasz	12/29/04		
02 Kim Finch	03/07/15		
03 Kim Finch	07/14/16		
04 Kim Finch	03/01/17	SDP 0320-08	REVISIONS LISTED BELOW APPLY TO THIS SHEET
05 Kim Finch	07/17/17	SDP 0320-09	REVISIONS LISTED BELOW APPLY TO THIS SHEET
06 Kim Finch	3/11/2019	SDP 0320-01	REVISIONS LISTED BELOW APPLY TO THIS SHEET

M.N.C.P.C. APPROVALS

PROJECT NAME: DANVILLE ESTATES

PROJECT NUMBER: SDP-0320

For Conditions Of Approval see Site Plan Cover Sheet or Approval Sheet
The Revisions Listed Below Apply to this Sheet

Approval or Revision #	Approval Date	Reviewer's Signature	Certification Date
01	07/08/04	R.G.	01/04/05

GLWGUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND, 20866
TEL: 301-421-4024 FAX: 410-980-1520 10/16, 301-881-2524 FAX: 301-421-4186

L:\CADD\DRAWINGS\0000\PLANS BY QUN\TPII\0008-DANVILLE-1029-17.dwg DES. DRN. RLG CHK. KAF

DATE	REVISION	BY	APPR.
01/07/2019	RELOCATED SWAMP POND, REV. GRADING, LOT LAYOUT, REDUCED PAVING WIDTH & REMOVED SIDEWALK E. OF HERBIN HGE RD	LME	MFC
01/07/2019	ADDED NCE LIBER/FOLIOS AND REVISED WORKSHEETS PER KIM FINCH	LME	MFC
10/17/2016	REVISED OFF-SITE WOODLAND BANK SUMMARY TABLE	RLG	MFC
08/17/2016	REVISED WOODLAND CLEARING ON PARCEL 'E' SHEET 3 & OFF-SITE CLEARING FOR FUTURE CUL-DE-SAC SHEET 4	RLG	MFC
01/24/2016	REVISED TO ELIMINATE LOTS SOUTHWEST OF PERCO RIGHT-OF-WAY AND CHANGE SEWER ALIGNMENT	RLG	MFC
11/20/13	REVISED PER PLANNING BOARD RESOLUTION	KAB	KAF
		BY	APPR.

PREPARED FOR:

NVR MS CAVALIER PRESERVE, LLC
c/o WOODLAWN DEVELOPMENT GROUP
11700 PLAZA AMERICA DRIVE, SUITE 310
RESTON, VIRGINIA 20190

SCALE

1" = 30'

DATE

NOV., 2012

ZONING

R-L

TAX MAP - GRID

143 B3, B4, C4
153 B1, C1, D1

TYPE II TREE CONSERVATION PLAN

DANVILLE ESTATES
LOTS 1-4 BLOCK 'A', 7-9 & 14-28, BLOCK 'B', 13-31 BLOCK 'E', 16-39 BLOCK 'F'
LOTS 16-31 BLOCK 'G', 14-31 BLOCK 'H', 16-40 BLOCK 'I'

PISCATAWAY ELECTION DISTRICT No. 05

PRINCE GEORGE'S COUNTY, MARYLAND








G. L. W. FILE No.

10009

SHEET

17 OF 19

The diagram illustrates a wetland area with several boundaries and easements. At the top, a horizontal line is labeled 'PROPERTY BOUNDARY'. Below it, a dashed line is labeled 'REGULATED STREAM'. Further down, a solid line is labeled '100-YR FLOODPLAIN'. Below the floodplain, a horizontal line is labeled '100-YR FLOODPLAIN EASEMENT'. Below the easement, a horizontal line is labeled 'PRIMARY MANAGEMENT AREA (PMA)'. Below the PMA, a horizontal line is labeled 'CONSERVATION EASEMENT'. The central area is labeled 'WETLAND'. Below the wetland, a horizontal line is labeled '25' WETLAND BUFFER'. Below the buffer, a horizontal line is labeled 'EXISTING TREE LINE'. Below the tree line, a horizontal line is labeled 'EXISTING NON-WOODLAND AREA'. Below the non-woodland area, a horizontal line is labeled 'PROPOSED TREE LINE'. Below the tree line, a horizontal line is labeled 'LIMIT OF DISTURBANCE'. Below the limit of disturbance, a horizontal line is labeled 'TEMPORARY TREE PROTECTION FENCE'. Below the fence, a horizontal line is labeled 'PERMANENT TREE PROTECTION FENCE'. Below the fence, a horizontal line is labeled 'WOODLAND PRESERVATION SIGN'. The diagram also includes a north arrow pointing upwards and a scale bar at the bottom right.

	SPECIMEN, CHAMPION, HISTORIC TREE WITH CRITICAL ROOT ZONE TO BE SAVED
	SPECIMEN, CHAMPION, HISTORIC TREE WITH CRITICAL ROOT ZONE TO BE REMOVED
	CLEARED FLOODPLAIN AREA (C-FP)
	CLEARED OFF-SITE AREA (C-OS)
	WOODLAND PRESERVATION AREA (WP)
	WOODLAND RETAINED-NOT CREDITED
	NATURAL REGENERATION AREA (NRA)

SHEET	GROSS FLOODPLAIN AREA	100-YEAR FLOOD (FP)	EXISTING WOODLAND GROSS TRACT AREA (NTA)	NET TRACT AREA (NTA)	EXISTING WOODLAND NET TRACT AREA (NTA)	EXISTING WOODLAND IN FLOOD FLAIN (FP)	WOODLAND CLEARED ON TRACT AREA	WOODLAND CLEARED IN FLOODPLAIN (C-FP)	WOODLAND CLEARED OFF-TRACT AREA (C-OS)	WOODLAND PRESERVATION AREA (PPA)	NATURAL REGENERATION AREA (NRA)	WOODLAND RETAINED - NOT CREATED (W-FNC)
3	1.12	0.00	1.25	1.12	1.25	0.00	4.68	0.00	0.00	0.34	0.00	2.18
4	14.40	0.00	14.11	14.40	14.11	0.00	6.05	0.00	0.00	0.00	0.00	8.12
5	15.80	2.12	15.80	13.68	13.68	2.12	1.40	0.16	0.00	4.36	0.00	1.40
6	13.56	0.21	13.56	13.24	13.24	0.21	0.34	0.01	0.00	12.45	0.00	0.00
7	8.63	0.00	8.63	8.63	8.63	0.00	0.00	0.00	0.00	8.63	0.00	0.00
8	4.13	0.26	4.13	3.87	3.87	0.26	0.38	0.00	0.00	1.41	0.00	1.02
9	6.35	0.55	6.35	5.80	5.80	0.55	0.41	0.24	0.00	5.38	0.00	0.00
10	3.80	0.13	3.80	3.20	3.20	0.13	0.00	0.00	0.00	1.86	0.00	0.13
11	5.85	0.00	5.85	5.85	5.85	0.00	0.00	0.00	0.00	5.85	0.00	0.00
12	4.44	0.00	4.44	4.44	4.44	0.00	4.31	0.00	0.00	0.34	0.00	0.24
13	4.81	0.00	4.81	4.81	4.81	0.00	8.64	0.00	0.03	0.43	0.00	0.25
14	10.22	0.00	10.14	10.22	10.14	0.00	8.84	0.00	0.00	1.21	0.00	0.03
15	5.61	0.00	5.61	5.61	5.61	0.00	4.87	0.00	0.00	0.54	0.00	0.20
16	10.16	0.00	10.16	10.16	10.16	0.00	0.00	0.00	0.00	0.00	0.24	0.18
17	4.01	0.00	4.01	4.01	4.01	0.00	2.80	0.00	0.00	1.21	0.10	0.00
18	10.21	0.00	10.21	10.21	10.21	0.00	5.45	0.00	0.00	4.32	0.10	0.00
19	5.50	0.00	5.50	5.50	5.50	0.00	0.14	0.00	0.00	5.31	0.00	0.00
TOTAL	145.32	3.33	144.94	141.44	141.26	3.33	54.23	0.11	0.71	55.76	1.04	25.75

THOMPSON, PETER V
& HILDA D
LOT 3
L.5758, F.61

WPA-18A
0.31 ACRES

NRA-18A
0.70 ACRES

W/F JOHN A. &
AUREEN D. WATKINS
4632 F. 721

RD, RANDOLPH Q
PARCEL 63
L.12710, F.394

WPA-18B
4.01 ACRES

**THIS BLOCK IS FOR
OFFICIAL USE ONLY**

QR label certifies that this plan meets conditions of final approval by the Planning Board, it's designee or the District Council.

M-NCPPC
APPROVAL

PROJECT NAME: DANVILLE ESTATES
PROJECT NUMBER: SDP-0320-07

For Conditions of Approval see Site Plan Cover Sheet or Approval
Revision numbers must be included in the Project Number

PREPARED FOR:
CAVALIER PRESERVE, LLC
LAWN DEVELOPMENT GROUP
AZA AMERICA DRIVE, SUITE 310
STON, VIRGINIA 20190

SCALE
1" = 3'
DATE

ZONING
R-L
TAX MAP -

DANVILLE ESTATES
LOTS 1-4 BLOCK 'A', 7-9 & 14-28, BLOCK 'B', 13-31 BLOCK 'E', 16-39 BLOCK 'F'
LOTS 16-31 BLOCK 'G', 14-31 BLOCK 'H', 16-40 BLOCK 'I'

L. W. FILE NO.

0009

SHEET 1

OF 19

GLW **GUTSCHICK LITTLE & WEBER, P.A.**
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE • SUITE 250 • BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

[illegible]

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