

VICINITY MAP

SCALE: 1" = 2000'



SITE INFORMATION	
TOTAL TRACT AREA	2.32-ACRES
EXISTING FORESTED AREA	2.32-ACRES
EXISTING ZONING	INDUSTRIAL (I-1)
PROP. PRESERVATION AREA	0.27-ACRES
PROP. REFORESTATION AREA	0.00-ACRES
FOREST TO BE CLEARED	2.00-ACRES

Owner's Acknowledgement

I hereby acknowledge that I have been advised of the restrictions established by this plan. I further acknowledge that cutting, clearing, or damaging trees or understory vegetation in the woodland conservation area without a revision to this plan or written authorization from the MNCPPC Environmental Planning Section or the Department of Environmental Resources will constitute a violation of the woodland conservation ordinance. Hazardous trees may be pruned or removed after obtaining a written report from a licensed tree expert and providing a copy to the MNCPPC Environmental Planning Section.

Signature

[Signature]

Date

4/16/06

M-NCPPC
Prince George's County Planning Department
Environmental Planning Section

APPROVAL

TREE CONSERVATION PLAN

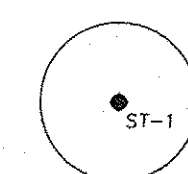
TCP-II/051 /06

Approved By: *[Signature]* Date

1	
2	
3	
4	
5	
6	

LEGEND:

SPECIMEN TREE
(and critical root zone)
(CRZ shown = 1.5*dbh)



PROPERTY LINE

EX. CHAIN LINK FENCE

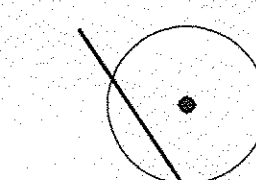
LIMIT-OF-DISTURBANCE

TREE PROTECTION FENCING

RETENTION AREA

TREE PROTECTION SIGNAGE

ROOT PRUNING LINE
(not indicated on plan)
(provided herein if necessary)



Forest Stand 1 = Entire Site
Mixed Hardwoods
2.32-acres

ScD=B3
(Entire Site)

3 STORY OFFICE=6,400 SF
EACH FLOOR TOTAL 19,200 SF
47 PARKING SPACE REQ'D
F. F. EL. 136.0

2 STORY WAREHOUSE=16,280 SF EACH FLOOR
TOTAL 32,560 SF
24 PARKING SPACE REQ'D
F. F. EL. 136.0
SECOND F. EL. 158.0

SIGNATURE BLOCK:

[Signature] 4/18/06
Matthew V. Smith
Environmental Scientist
Qualified Professional Status as
per the Forest Conservation Act

SPECIMEN TREE LIST

TREE NUMBER	SIZE-DBH	SCIENTIFIC NAME	COMMON NAME	CONDITION	SAVE/REMOVE
ST-1	30"	Quercus phellos	Willow Oak	Good	Save

SOILS CHART

SYMBOL	NAME	K-Factor	HYDRIC	COMMENTS
ScD	Sandy & Clayey Land	0.17	No	Well drained; rapid permeability; very high water capacity

TREE CONSERVATION PLAN (TCP-II)

LYDELL INDUSTRIAL CENTER

004876 P LYDELL ROAD
PRINCE GEORGE'S COUNTY, MARYLAND

Date: April 17, 2006

Scale: 1" = 20'

Design: MVS Drawn: MVS

Sheet: 1 of 2

CAD File: Lydell NRI-TCP.dwg

Project No.: 05-110

Date: 4.17.06

Revision: Revised as per 4.06.06 EPS Comments

Standard TCP Notes

I. INTRODUCTION

This tree conservation plan has been prepared to facilitate development of the Lydell Industrial Center Property and comply with the Maryland Forest Conservation Act of 1991.

II. CONSTRUCTION SEQUENCE

1. Install tree protection devices around existing trees to remain as per Forest Conservation Plan.
2. Mass grade the site as per the Grading Plan.
3. Construct buildings/structures and associated infrastructure improvements as per the Development Plan
4. Stabilize all disturbed areas as per the Grading Plan. Install plantings, if necessary, as specified by the Forest Conservation Plan. See FCP Notes and Details for specifications..
5. Remove all sediment control measures and temporary Tree Protection Devices with the permission of the MNCPPC inspector. Hold post-construction meeting with the MNCPPC to assure compliance the the Forest Conservation Plan.

III. WATER QUALITY PROTECTION NOTES

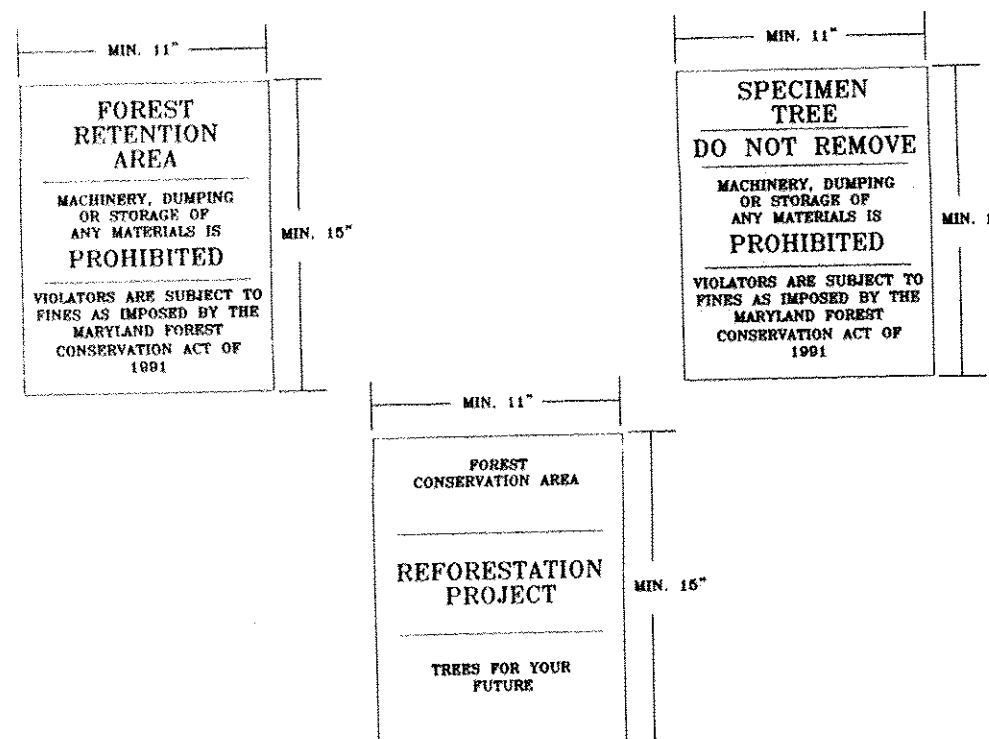
1. The proposed project shall be constructed in a manner which will not violate Maryland's Water Quality Standards as set forth in COMAR 26.08.02.
2. Protection devices as shown on the FCP shall be in place prior to any grading or land clearing.
3. All construction materials not used in the project shall be removed and disposed of in a manner which will prevent their entry into Waters of the U.S.
4. Sediment transport into adjacent waters of the State shall be minimized.
5. During the construction period, all persons involved in the project shall use sanitary facilities and adhere to sanitary wastewater disposal practices as approved by the local health department.
6. Disturbances of wetlands and waterways shall be avoided or minimized through the use of other practical alternatives.

IV. TREE PROTECTION NOTES

1. Pre-construction meeting, held on-site to include a presentation of protective measures to construction supervisors, equipment operators, developer's representative, and site and sediment control inspectors.
2. Clearing limits shall be rough staked by developer in order to facilitate location for trenching and fencing installation.
3. No clearing or grading shall begin in areas where tree treatment and preservation measures have not been completed.
4. The sequence of tree treatment and conservation measures shall be:
 - a) Root pruning trenching.
 - b) Tree protection fencing.
 - c) Aeration system installation.
 - d) Sign installation.
 - e) Tree pruning and chemical treatment.
 - f) Mulch treatment.
5. Above measures shall be directed in the field by the project forester, arborist, naturalist, ecologist, site engineer, or landscape architect.
6. Tree protection fencing shall be maintained and repaired by the developer or contractor for the duration of construction and once approved by the DER site inspector, must not be altered without prior approval by the DER site inspector.
7. Access to fenced areas will only be permitted with the prior approval of the owner's representative and the DER site inspector.
8. Designated aeration zones shall be protected with temporary fencing until final grading.
9. Any excavation or grading required within the fenced areas shall be done as directed and approved by the person mentioned in Note #5 and the DER site inspector.
10. Trees, shrubs, or undergrowth shall be removed from the protected root zone areas only when necessary and shall be removed by hand.
11. Refer to tree protection action key for specific treatment of each specimen tree.
12. Attachment of signage, fencing, etc., to trees to be saved is prohibited.
13. After construction, all temporary barriers, fencing, debris, etc., shall be removed from the site by the contractor.
14. No sod or seed shall be planted within the designated root zones for all trees to be saved.

Tree Signage

Not to Scale



- Notes:
1. Signage is to be placed at 50 foot intervals along the retention/reforestation/afforestation boundaries, and around specimen trees.
 2. Attachment of signs to trees is prohibited.
 3. Bottom of signs to be higher than top of tree protection fence.
 4. Signs commercially available from The Tree Company, Catonsville, Maryland.

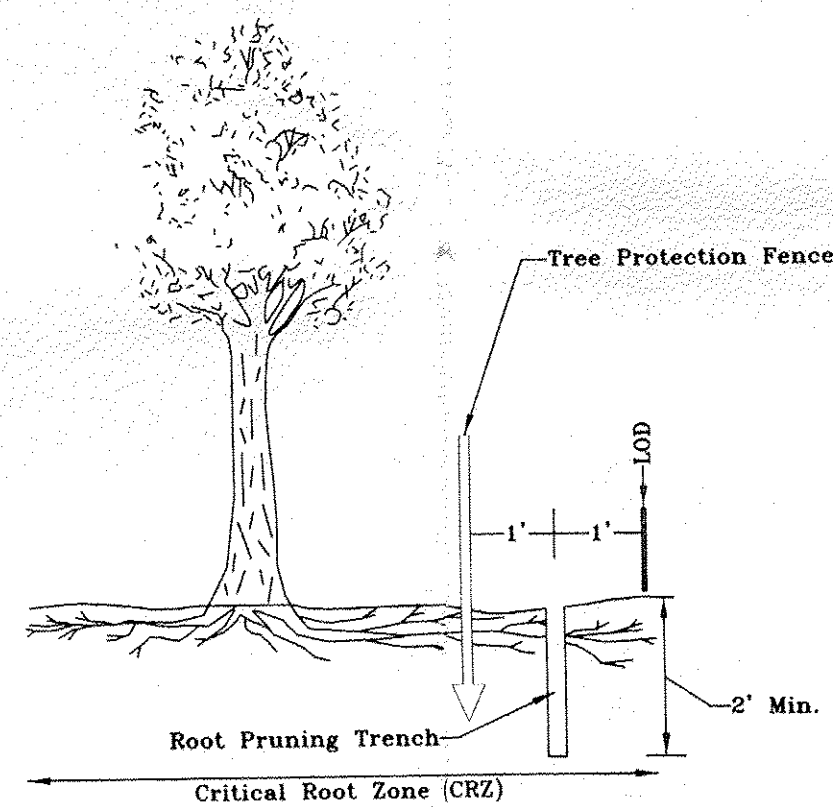
15. Exotic invasive species and refuse will be reasonably removed from reforestation areas, forest conservation easements, and stream valley buffers.
16. Tree staking and guying shall be done per details and may be required on hillsides or windy areas. The contractor shall ensure that trees remain vertical and upright for the duration of the guarantee period.

V. REQUIRED TCP-II NOTES

1. Cutting or clearing of woodland not in conformance with this Plan or without the expressed written consent of the Planning Director or designee shall be subject to a \$1.50 per square foot mitigation fee.
2. The Forest Resources Unit of the Department of Environmental Resources (DER) must be contacted at (301) 925-5820 prior to the start of any work on the site to address implementation of Tree Conservation measures shown on this plan.
3. Property owners shall be notified by the Developer or Contractor of any Woodland Conservation Areas (Tree Save Areas, Reforestation Areas, Afforestation Areas, or Selective Clearing Areas) located on their lot or parcel of land and the associated fines for unauthorized disturbances to these areas. Upon the sale of the property the owner/developer or owners representative shall notify the purchaser of the property of any Woodland Conservation Areas.
4. All appropriate bonds will be posted with the Building Official prior to the issuance of any permits. These bonds will be retained as surety by the Building Official until all required activities have been satisfied.
5. The location of all Tree Protection Devices (TPD's) shown on this Plan shall be flagged or staked in the field prior to the pre-construction meeting with the Forest Resources Unit of the DER and the Sediment and Erosion Control Inspector from DER. Upon approval of the flagged or staked TPD locations by the Forest Resources Unit, installation of the TPD's may begin. TPD installation shall be completed prior to installation of initial Sediment Controls. No cutting or clearing of trees may begin before final approval of TPD installation.
6. Woodland Conservation -- Tree Save Areas shall be posted as shown at the same time as Tree Protective Device installation and/or start of reforestation activities. These signs shall remain in place.

Root Pruning Detail

Not to Scale

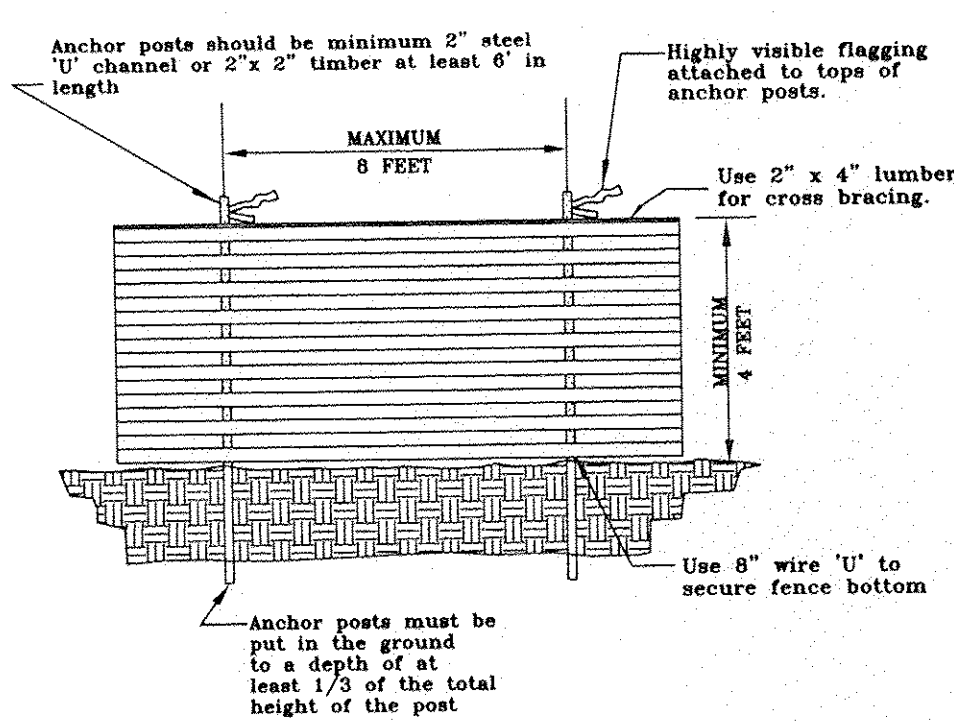


1. EXACT LOCATION SPECIFIED IN FIELD BY PROJECT FORESTER.
2. BACKFILL ROOT PRUNING TRENCH.
3. ROOT PRUNING EQUIPMENT TO BE APPROVED BY THE PLANNING DEPARTMENT.
4. ROOTS SHOULD BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT.

Temporary Protection Fence

Blaze Orange Plastic Mesh

Not to Scale



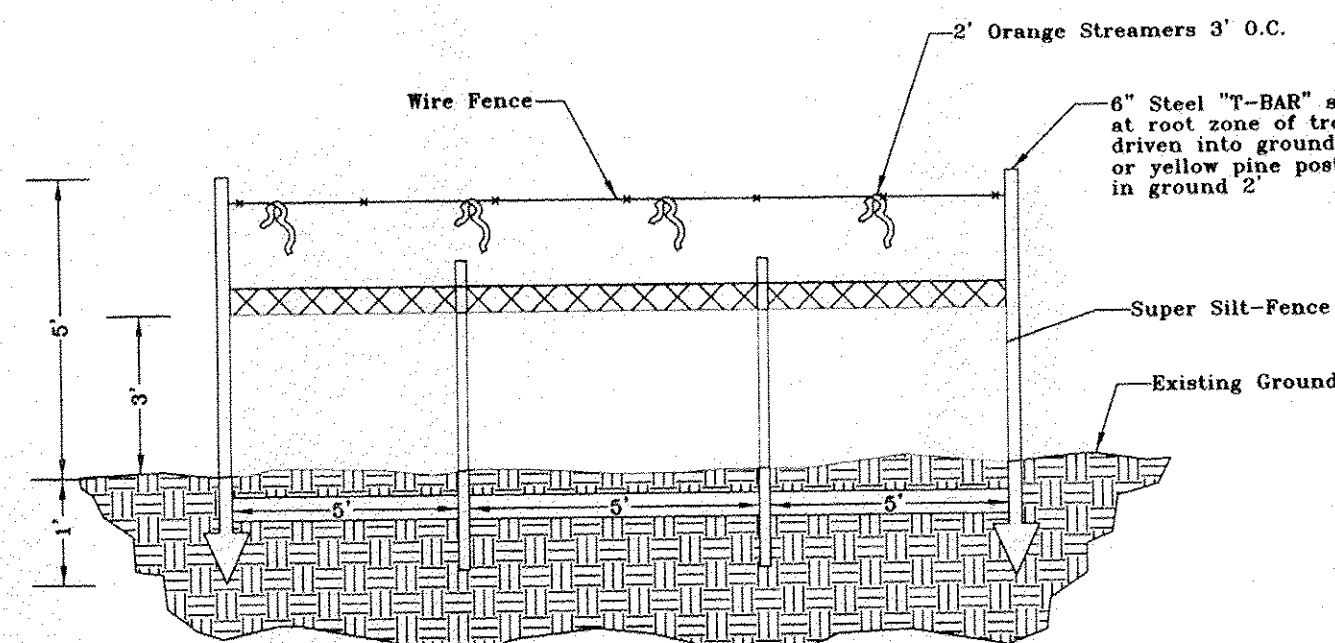
1. BLAZE ORANGE PLASTIC MESH FENCE FOR PORRST PROTECTION DEVICE ONLY.
2. RETENTION AREA WILL BE SET AS PART OF THE REVIEW PROCESS.
3. BOUNDARIES OF RETENTION AREA SHOULD BE STAKED AND FLAGGED PRIOR TO INSTALLING DEVICE.
4. ROOT DAMAGE SHOULD BE AVOIDED.
5. PROTECTIVE SIGNAGE MAY ALSO BE USED.
6. DEVICE SHOULD BE MAINTAINED THROUGHOUT CONSTRUCTION.

Source: Prince George's County, Maryland: Woodland Conservation Manual

Combined Silt & Tree Protection Fence

Super-silt fence

Not to Scale



1. SIFT FENCE TO BE RIELED INTO THE SOIL.
2. RETENTION AREA WILL BE SET AS PART OF THE REVIEW PROCESS.
3. BOUNDARIES OF RETENTION AREA SHOULD BE STAKED AND FLAGGED PRIOR TO INSTALLING DEVICE.
4. ROOT DAMAGE SHOULD BE AVOIDED.
5. PROTECTIVE SIGNAGE ARE ALSO REQUIRED.
6. DEVICE SHOULD BE MAINTAINED THROUGHOUT CONSTRUCTION.
7. LOCATE FENCE OUTSIDE THE CRITICAL ROOT ZONE WHERE POSSIBLE.

CALL "MISS UTILITY" AT
1-800-257-7777.

48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF THE PRINCE GEORGE'S COUNTY CODE.

Woodland Conservation Worksheet for Prince George's County

Zone:	I-1		
Gross Tract:	2.32		
Floodplain:	0.00		
Previously Dedicated Land:	0.00		
Net Tract (NTA):	2.32	0.00	0.00
*Include acreage in the corresponding columns for each zone.			
Property Description or Subdivision Name:	TCP-II / Lydell Industrial Center		
Is this site subject to the 1989 Ordinance?	N		
Reforestation Requirement Reduction Questions			
Is this one (1) single family lot? (y,n)	N		
Are there prior TCP approvals which include a combination of this lot and/or other lots. (y,n)	N		
Is this a Mitigation Bank	N		
Break-even Point (preservation) =	0.74 acres		
Clearing permitted w/o reforestation =	1.58 acres		

Woodland Conservation Calculations:	Net Tract (acres)	Floodplain (acres)	Off-site Impacts (acres)
Existing Woodland	2.32	0.00	
Woodland Conservation Threshold (NTA) =	15.00%	0.35	
Smaller of a or b		0.35	
Woodland above WCT		1.97	
Woodland cleared	2.00	0.00	0.00
Smaller of d or e		1.97	
Clearing above WCT (0.25 : 1) replacement requirement		0.49	
Clearing below WCT (2:1 replacement requirement)		0.03	
Afforestation Threshold (AFT) =	15.00%	0.00	
Off-site Mitigation being provided on this property		0.00	
Woodland Conservation Required		0.87	

Woodland Conservation Provided:	(acres)
Woodland Preservation	0.27
Afforestation / Reforestation	0.00
Area approved for fee-in-lieu	0.00
Credits for Off-site Mitigation on another property	0.60
Off-site Mitigation being provided on this property	0.00
Total Woodland Conservation Provided	0.87

Area of woodland not cleared 0.32 acres
Woodland retained not part of requirements: 0.05 acres

Prepared by:

Signed _____ Date _____

Revised 9/1/04

No on-site reforestation is proposed by this plan. Compensation for forest clearing is proposed as off-site preservation. The off-site credit will be secured and preserved on the project entitled "Jackson Estates", which is currently under TCP review by MNCPPC. In the event that off-site mitigation is not feasible and/or acceptable, then the Woodland Conservation requirement shall be in the form of a fee-in-lieu payment at the rate of \$0.50 per square foot of required reforestation.

Mitigation requirement = 0.60-acres = 26,136 s.f. X 0.50 = \$13,068.00

Payment shall be made prior to issuance of any permits.

M-NCPCC Prince George's County Planning Department Environmental Planning Section	
APPROVAL	
TREE CONSERVATION PLAN	
TCP-II/051/06	
Approved By: <u>KEH</u> 6/6/06 Date	
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SIGNATURE BLOCK:

Matthew V. Smith 4/18/06
Matthew V. Smith
Environmental Scientist
Qualified Professional Status as
per the Forest Conservation Act

S&S Planning and Design, LLC
Planning & Environmental Services
76 Baltimore Street
Cumberland, Maryland 21502
301-724-7611

Planning and Design, LLC

Date:	4/17/06
Revision:	
Revised as per 4.06.06 EPS Comments	

TREE CONSERVATION PLAN (TCP-II)
STANDARD NOTES & WORKSHEET
LYDELL INDUSTRIAL CENTER

004876 P LYDELL ROAD
PRINCE GEORGE'S COUNTY, MARYLAND

Date: April 17, 2006
Scale: N.T.S.
Design: MVS Drawn: MVS
Sheet: 2 of 2
CAD File: Lydell NRI-TCP.dwg
Project No.: 05-110