

Standard Type II Tree Conservation Plan Notes

1. Cutting or clearing of woodland not in conformance with this Plan or without the expressed written consent of the Planning Director or designee shall be subject to a \$1.50 per square foot mitigation fee.
2. The Department of Environmental Resources (DER) must be contacted prior to the start of any work on the site to address implementation of Tree Conservation measures shown on this plan.
3. Property owners shall be notified by the Developer or Contractor of any Woodland Conservation Areas, (Tree Save Areas, Reforestation Areas, Afforestation Areas, or Selective Clearing Areas) located on their lot or parcel of land and the associated fines for unauthorized disturbance to these areas. Upon the sale of the property the owner / developer or owners representative shall notify the purchaser of the property of any Woodland Conservation Areas.
4. All appropriate bonds will be posted with the Building Official prior to the issuance of any permits. These bonds will be retained as security by the Building Official until all required activities have been satisfied.

GENERAL NOTES

1. THIS PLAN COVERS BOTH PARCEL 76 AND PARCEL 38.
2. THIS PLAN WAS PREPARED FROM THE BEST AVAILABLE INFORMATION AND BASED UPON BEST ENGINEERING JUDGEMENT.
3. DEED COMPOSITE PREPARED BY LOIEDERMAN SOLTESZ ASSOCIATES IN THE DATUM OF NAD 83 STATE PLANE.
4. AERIAL TOPOGRAPHY FROM M-NCPPC GIS, DATED 2001.
5. THE PROPERTY IS REFERENCED IN TAX MAP 153 GRID A2 AND A3.
6. SITE AREA: PARCEL 38: 70.09 ACRES, PARCEL 76: 10.96 ACRES
TOTAL SITE AREA: 81.05 AC.
7. ZONE: R-A (ROTH PARCELS).
8. THERE ARE NO CEMETERIES ON-SITE BASED UPON RECORDS PROVIDED TO LSA.
9. THE PROPERTY IS LOCATED IN WATER SERVICE CATEGORY W6 AND SEWER SERVICE CATEGORY S6.
10. THE PREDOMINANT SOIL TYPES ARE: BELTSVILLE SILT LOAM AND CROOM GRAVELLY SANDY LOAM.
11. PROPOSED USE: OFF-SITE TREE MITIGATION BANK FOR WOODMORE NORTH, TCP II 60/96-01 AND ASHLEIGH STATION, TCP II 68/05.
12. FLOODPLAIN INFORMATION PER PRINCE GEORGE'S COUNTY FLOODPLAIN STUDY FPS 200316 FOR PISCATAWAY CREEK AND ACCOKEEK ROAD PARCELS 38 AND 76.

Type II Tree Conservation Plan Notes for Mitigation Banks

1. This plan does not propose the disturbance of any existing woodlands and therefore is not required to identify or provide any woodland conservation to address the on-site requirements. The sole purpose of this Tree Conservation Plan is to establish off-site mitigation areas to satisfy the requirements for other properties. Any future activities on this property that result in the clearing of any woodland will initiate the Woodland Conservation requirements for this property. At that time the TCP II shall be revised to calculate the requirements for this property and demonstrate how those requirements are being satisfied in addition to mitigation areas already created.
2. Cutting or clearing of woodland not in conformance with this Plan or without the expressed written consent of the Planning Director or designee shall be subject to a \$1.50 per square foot mitigation fee. If replacement of the disturbed woodlands and other requirements that may be required due to the 17411, 251 or 131 replacement requirements associated with the clearing of woodlands.
3. Property owners shall be notified by the Developer or Contractor of any Woodland Conservation Areas, (Tree Save Areas, Reforestation Areas, Afforestation Areas, or Selective Clearing Areas) located on their lot or parcel of land and the associated fines for unauthorized disturbance to these areas. Upon the sale of the property the owner / developer or owners representative shall notify the purchaser of the property of any Woodland Conservation Areas.
4. Mitigation areas created for the purpose of satisfying off-site requirements may not be used to satisfy the requirements for this property in the future.
5. All off-site mitigation on this property shall be encumbered by easements recorded in the Land Records of Prince George's County, Maryland or other protection documents as found acceptable by the M-NCPPC Environmental Planning Section (EPS).
6. All easements on existing woodlands shall be at a rate of 2 acres for every 1 acre required in accordance with NR Article 5-1607(b)(2).
7. Mitigation easements may not encumber lands previously protected or encumbered by protective easements.
8. Prior to the recordation of any easement encumbering any portion of this property, a draft easement document shall be submitted to the EPS and/or the M-NCPPC Legal Department for review and approval.
9. Each easement document shall clearly cross-reference the appropriate TCP II and project names.
10. Timber harvesting activities on the site may occur only after approval of a Forest Stewardship Plan by the Prince George's County Forestry Board and after approval of a revised TCP II by the EPS.
11. If there is an overall easement encumbering a large portion of the property it will be necessary to submit to the EPS all supporting documentation that addresses the sale of each portion of the easement.
12. The TCP II shall be revised with each easement sale to correct the Summary Table and to graphically locate the new easement. This revision shall correspond to the submittal of the draft easement document.
13. If an easement is recorded and it is later found to be unnecessary, a written request shall be submitted to the EPS to evaluate the easement release request. If it is determined that the easement may be released the EPS will notify the applicant and appropriate easement release documents may be submitted for processing. The typical time frame for such a request is approximately 4-8 weeks.
14. The purchase or sale of an easement for the off-site woodland conservation mitigation involves the transfer of real property rights and is subject to Maryland property transfer tax at the time of recordation.

APPLICANT
MID-ATLANTIC INVESTORS OF WOODMORE NORTH, LLC.
6110 EXECUTIVE BOULEVARD SUITE 902
ROCKVILLE, MARYLAND 20852
ATTN: MR. BUD WORTHINGTON
TELEPHONE: 301-231-0009

CARLTON M. GREEN, ESQ.
CASE NO. CAE 97-00258
PISCATAWAY ASSOCIATES LIMITED PARTNERSHIP
L. 4080 F. 491
L. 3550 F. 625 (PARCEL NO. 76)
8.27 AC± computed area
ZONE: RA

P/O EASEMENT #1
OFF-SITE PRESERVATION
REQUIRED FOR
TCP II 60/96-01
2.22 AC. W/O FLOODPLAIN

P/O EASEMENT #1
OFF-SITE PRESERVATION
REQUIRED FOR
TCP II 60/96-01
55.45 AC. W/O FLOODPLAIN
AND W/O 0.50 AC. GAP

ZONE: RA

CARLTON M. GREEN, ESQ.
CASE NO. CAE 97-00258
PISCATAWAY ASSOCIATES LIMITED PARTNERSHIP
L. 3550 F. 625 (PARCEL NO. 38)
described in L. 996 F. 275
61.28 AC± computed area

EASEMENT #2
OFF-SITE PRESERVATION
REQUIRED FOR
TCP II 68/05
5.46 AC.

Woodland Conservation Worksheet
for
Prince George's County

Zone:	R-A
Cross Tract:	1.42
Floodplain:	0.00
Previously Dedicated Land:	0.00
Net Tract (NTA):	1.42

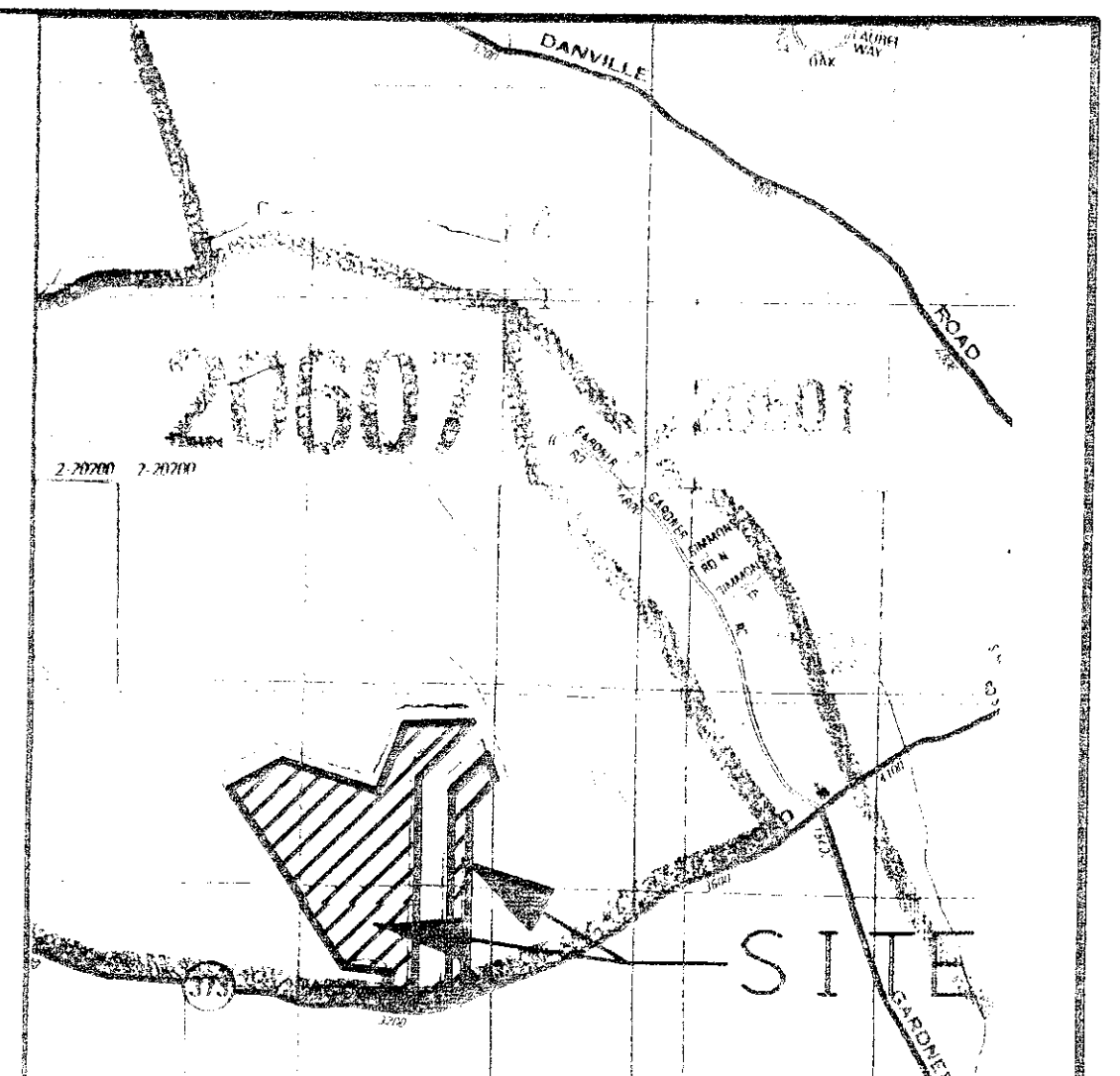
Trade savings in the corresponding columns for each zone:

Zone:	N
Cross Tract:	0.00
Floodplain:	0.00
Previously Dedicated Land:	0.00
Net Tract (NTA):	0.00

Property Description or Subdivision Name:
Is this site subject to the 1980 Ordinance?
Is this a (1) single family lot? (y/n)
Are there prior TCP applications which include a combination of the lot and/or other lots (y/n)
Is this a Mitigation Bank?
Break-even Point (gross/acre):
Clearing permitted with reforestation:

Woodland Conservation Calculations:	Net Tract (acres)	Off-site Floodplain Impacts (acres)
Existing Woodland:	79.60	1.42
Woodland Conservation Threshold (NTA):	0.00%	0.00
Smaller of a or b:	0.00	0.00
Woodland above WCT:	79.60	0.00
Woodland cleared:	0.00	0.00
Smaller of c or e:	0.00	0.00
Clearing above WCT (0.25: 1 replacement requirement):	0.00	0.00
Clearing below WCT (2: 1 replacement requirement):	0.00	0.00
Replacement Threshold (0.1):	20.00%	0.00
Off-site Mitigation being provided on this property:	79.60	0.00
Woodland Conservation Provided:	79.60	0.00

Area of woodland not cleared: 79.6 acres
Woodland retained not part of requirements: 79.6 acres



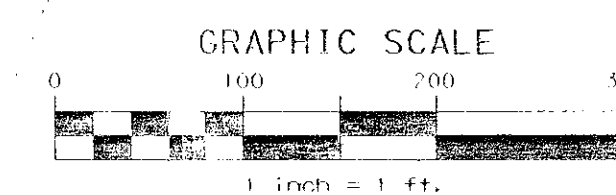
VICINITY MAP
SCALE: 1" = 2000'
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PERMITTED USE No.: 21197516

LEGEND

- 15%-25% SLOPES
- 25% SLOPES OR GREATER
- BOUNDARY LINE
- EXISTING CONTOURS
- FLOOD PLAIN LIMITS
- EXISTING TREE LINE
- BEARINGS AND DISTANCE
- EXISTING STRUCTURES
- PRESERVATION AREAS NOT IN FLOODPLAIN
- FLOODPLAIN PRESERVATION AREA

Off-Site Mitigation Woodland Conservation Summary

Sequential Offset	Off-Site Mitigation	Woodland Conservation	Benefiting Property	Screening	Approval Date
1	77.72	6.88	11/8/06	Woodmore North	JPM 6/1/06
2	5.46	1.42	11/8/06	Ashleigh Station	LIE 10/24/06



OFF-SITE TREE CONSERVATION TYPE II PLAN

PARCELS 38 AND 76
FOR WOODMORE NORTH
5TH/ PISCATAWAY ELECTION DISTRICT
PRINCE GEORGE'S COUNTY, MARYLAND

SHEET 1
OF 1
PROJECT NO. 0202-05-00

Loiederman Soltesz Associates

Civil Engineering
Land Planning
Land Surveying
Environmental Sciences

5	10/12/06	153 GRID A-2 AND A-3	R - A
6	9/26/06	220 SE 3	
7	8/23/06	220 SE 3	
8	7/23/06	220 SE 3	
9	6/27/06	220 SE 3	

Date:	JANUARY 20, 2003
Drawn:	MAN
Checked:	WJD

OFF-SITE TREE CONSERVATION TYPE II PLAN



MISS UTILITY NOTE
INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY EXCAVATING TEST PITS BY HAND WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MISS UTILITY" AT 800-287-7272, 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THE PLAN OR THE TIME FOR WORK IS SHORTER THAN 48 HOURS, THE CONTRACTOR AND THE UTILITY COMPANY MUST PROCEED WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY BE OBTAINED BY REQUESTING THIS PLAN.