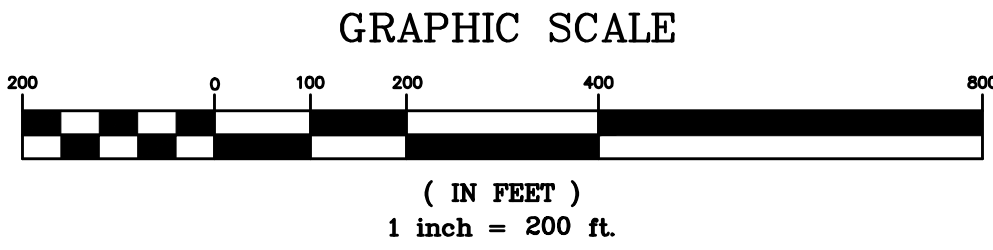


TREE CONSERVATION PLAN TYPE-II
FOR
MILL BRANCH

QUEEN ANNE ELECTION DISTRICT 7
PRINCE GEORGE'S COUNTY, MARYLAND



DSP NOTES:

THE HOUSES ON LOTS ABUTTING MILL BRANCH ROAD SHALL DEMONSTRATE THE FOLLOWING ADDITIONAL ARCHITECTURAL AND SITING TREATMENTS TO BE MORE SENSITIVE TO THE SCENIC AND HISTORIC CHARACTER OF MILL BRANCH ROAD. (PGCPB No. 08-66, FILE No. DSP-07017, PAGE 16, CONDITIONS) 4, 6, 7)

- a. ALL ELEVATIONS SHALL BE SHEATHED WITH EXTERIOR MATERIALS OF TRADITIONAL CHARACTER OR THE APPEARANCE OF IT. ACCEPTABLE EXTERIOR MATERIALS INCLUDE HARDPLANK LAP SIDING (SMOOTH FINISH) OR EQUIVALENT, AND DOMESTICALLY-SCALED COMMON BRICK IN A TRADITIONAL "RED" PALETTE. NEITHER RANDOM-ASHLAR, NOR FINISHED STONE SHALL BE USED FOR ANY ELEVATIONS OR FOUNDATIONS.
- b. WHENEVER POSSIBLE, WINDOWS ON ALL ELEVATIONS SHALL BE FRAMED WITH DECORATIVE SHUTTERS OF TRADITIONAL DESIGN AND APPROPRIATE SCALE. SHUTTER COLORS SHALL BE LIMITED TO BLACK, DARK GREEN, OR DARK RED, AND ONLY ONE SHUTTER COLOR SHALL BE USED PER HOUSE.
- c. NO HIP-ROOF ELEVATION OPTIONS SHALL BE USED. ALL MAIN BLOCK AND SECONDARY BLOCK ROOFS SHALL BE SIDE-GABLED OR FRONT-AND-SIDE-GABLED OR FRONT-AND-SIDE-GABLED. HIP ROOF FORMS SHALL BE LIMITED TO OPTIONAL ONE-STORY ADDITIONS OR PROJECTING WINDOW BAY OPTIONS ONLY. ROOFS SHALL BE COVERED ONLY WITH ASPHALT ARCHITECTURAL-GRADE SHINGLES IN A TRADITIONAL DARK COLOR, IF ANY METAL ROOFING IS USED FOR SECONDARY ROOFS OR MINOR FEATURES, IT SHOULD BE DETAILED AND FINISHED IN A TRADITIONAL MANNER AND EMPLOY A COLOR TO MATCH THE REMAINDER OF THE ROOF OR ONE FROM AN APPROVED LIST OF MATERIALS.
- d. ALL ELEVATIONS FACING MILL BRANCH ROAD SHALL UTILIZE AT LEAST FOUR ARCHITECTURAL FEATURES (SUCH AS FULL-SIZE WINDOWS OR DOORS), IN A BALANCED AND ATTRACTIVE ARRANGEMENT.
- e. f. THE HOUSE ON LOT 1 & 2 SHALL BE TREATED WITH BRICK ON ALL FOUR SIDES.
- g. THE HOUSE ON LOT 3 SHALL BE TURNED APPROXIMATELY 45 DEGREES CLOCKWISE TO FACE TOWARDS ITS ACCESS DRIVEWAY AND SHALL BE TREATED WITH BRICK ON FOUR SIDES.
- h. THE HOUSE ON LOT 4 SHALL BE TREATED WITH BRICK ON THE FRONT AND TWO SIDES.
- i. THE HOUSE ON LOT 10 SHALL BE TREATED WITH BRICK ON ALL FOUR SIDES.
- j. THE HOUSE ON LOT 13 SHALL BE ROTATED TO PARALLEL THE HOUSE ON LOTS 10 AND 14, AND SHALL BE TREATED WITH BRICK ON ALL FOUR SIDES.
- k. THE HOUSE ON LOT 14 SHALL BE TREATED WITH BRICK ON ALL FOUR SIDES.
- l. THE HOUSE ON LOT 18 SHALL BE ROTATED SUCH THAT THE FRONT-LOADED GARAGE ON THE RIGHT SIDE OF THE HOUSE WILL NOT FACE MILL BRANCH ROAD. THE FRONT AND SIDES OF THE HOUSE SHALL BE TREATED WITH BRICK.
- m. THE HOUSE ON LOT 19 SHALL BE ROTATED SUCH THAT THE GARAGE ON THE RIGHT SIDE OF THE HOUSE WILL NOT FACE MILL BRANCH ROAD. THE SIDE OF THE HOUSE SHALL BE PARALLEL TO MILL BRANCH ROAD. THE FRONT AND SIDES OF THE HOUSE SHALL BE TREATED WITH BRICK.
- n. SHOULD SITE CONDITIONS OR SELECTION OF A DIFFERENT MODEL ON A PARTICULAR LOT NECESSITATE ANY FURTHER SITING REVISIONS, THE REVISIONS SHALL BE MADE SO AS TO FOLLOW THE FOLLOWING GUIDELINES:

- (1) GARAGES SHALL NOT FACE MILL BRANCH ROAD.
- (2) ANY SIDE FACING MILL BRANCH ROAD SHOULD BE TREATED WITH BRICK. ANY HOUSE WITH A BRICK SIDE MUST UTILIZE BRICK ON THE FRONT AND BOTH SIDES. ANY HOUSE WITH A BRICK REAR MUST UTILIZE BRICK ON ALL FOUR SIDES.
- (3) ALL ELEVATIONS FACING MILL BRANCH ROAD SHOULD HAVE AT LEAST FOUR ARCHITECTURAL FEATURES IN A BALANCED AND ATTRACTIVE ARRANGEMENT.
6. NO ENTRANCE FEATURE SHALL BE CONSTRUCTED FOR THIS SUBDIVISION WITHOUT A REVISION TO THE DETAILED SITE PLAN. ENTRANCE FEATURES SHALL NOT BE PERMITTED WITHIN THE SCENIC EASEMENT OR THE PUBLIC UTILITY EASEMENT.
7. ALL VEHICLES VISITING THE SITE FOR CONSTRUCTION PURPOSES SHALL ACCESS MILL BRANCH ROAD DIRECTLY FROM U.S. 301 AND SHALL NOT TRAVEL ON MILL BRANCH ROAD TO THE EAST/SOUTH OF THE SITE.

SPECIAL NOTE:

The following text is taken directly from the Resolution, items (paragraph) #11(c):

11. "Prior to the approval of the final plat, a limited detailed site plan shall be approved for all lots adjacent to historic Mill Branch Road to address the conservation of the scenic rural viewshed through preservation, viewshed management, facade treatments and viewshed enhancement. The detailed site plan shall address but no limited to the following:"

c. "Any facade that face the historic road shall be treated with brick or other compatible material and shall be architecturally designed to enhance the rural character of the development."

All attempts have been made to comply with this directive.

OWNER/DEVELOPER:
K & P BUILDERS INC.
13627 ANNAPOLIS ROAD
BOWIE, MARYLAND 20720
T.P.NO. OFFICE (301) 262-7227
FAX NO. (301) 805-7528

MISS UTILITY
FOR LOCATION OF UTILITIES CALL 1-800-257-7777
48 HOURS IN ADVANCE OF ANY WORK IN THE VICINITY



SHEET INDEX

SHEET NO.	PLAN TYPE
1 OF 15	COVER SHEET
2 OF 15	TCP-II
3 OF 15	TCP-II
4 OF 15	TCP-II
5 OF 15	TCP-II
6 OF 15	TCP-II
7 OF 15	TCP-II
8 OF 15	TCP-II
9 OF 15	TCP-II
10 OF 15	TCP-II
11 OF 15	TCP-II
12 OF 15	TCP-II
13 OF 15	TCP-II
14 OF 15	DETAIL SHEET
15 OF 15	DETAIL SHEET

SITE NOTES

- ADC 15H # J8 AND 9
- 200 SHEET NO. 204NE 14 # 15
- POLICE: "COLLINGTON CENTER" COUNTY - 4.2 MILES
- FIRE: MITCHELLEVILLE CO. 43 - 2.2 MILES
- TAX MAP/GRID: 63/E1, PARCEL 5
- OWNER/DEED REF: P F SUMMERS K&P LLC
L. 17729, F. 246
- TAX ACCT. NUMBERS: 0802553 # 0802546
- ELECTION DISTRICT: 7
- COUNCIL DISTRICT: 4
- ZONING: AR (PRIOR R-A)
- SEWER & WATER CATEGORIES:
SEWER - G
WATER - G
PROPOSED PRIVATE WELL & SEPTIC
- THE WETLAND INFORMATION SHOWN ON THIS PLAN IS FROM A STUDY DONE BY C.D.D.I., DATED 10-9-03.
- THE 100 YEAR FLOODPLAIN SHOWN IS FROM FLOODPLAIN STUDY #200351, BY THE DEPARTMENT OF ENVIRONMENTAL RESOURCES DATED 9-17-03.
- THE PATUXENT RIVER PRIMARY MANAGEMENT AREA (P.M.A.) IS FROM THE APPROVED NATURAL RESOURCE INVENTORY PLAN, NR/066/05-02, DATED 5-3-06.
- GROSS TRACT AREA OF SITE: 105.29 ACRES
100 YEAR FLOODPLAIN AREA: 16.93 ACRES
- BOUNDARY PREPARED BY C.D.D.I., BASED ON FIELD SURVEY.
- 2 FT. TOPO FROM SURVEY PERFORMED BY C.D.D.I.
- STORMWATER MANAGEMENT CONCEPT: 2708-2006 APPROVED 1-30-06
- APPROVED PRELIMINARY PLAN NO.: 4-05140
- THERE ARE NO KNOWN HISTORIC RESOURCES OR CEMETERIES WITHIN THE SITE.
- PROPOSED USE: SINGLE FAMILY HOMES.
- AR ZONING REQUIREMENTS:
DENSITY: 0.50
LOTS PERMITTED: 43 (87.25 x 0.50)
LOTS PROPOSED: 38
PARCELS PROPOSED: 2 (PROPOSED FOR DEDICATION TO ROUTE 301)
- MINIMUM STANDARDS:
LOT AREA: 87,120 S.F. (IN GENERAL)
FRONT YARD: 50 FEET
REAR YARD: 35 FEET
SIDE YARD: 35 FEET/17 FEET
LOT WIDTH AT STREET: 25 FEET
LOT WIDTH AT BUILDING LINE: 150 FEET
MAXIMUM LOT COVERAGE: 10%

- PROPOSED VARYING LOT SIZE:
60% OF LOTS AT LEAST 2 ACRE; 19 MINIMUM; 25 PROPOSED
1 ACRE LOTS PER 25 ACRES; 4 MAXIMUM; 0 PROPOSED
LOTS LESS THAN 50,000 S.F., BUT GREATER THAN 43,560 S.F.:
2 MAXIMUM; 1 PROPOSED
REMAINING LOTS AT LEAST 50,000 S.F.
- ALL STREETS PROPOSED FOR PUBLIC DEDICATION.
- ALL EXISTING STRUCTURES SHALL BE REMOVED.
- THIS PROJECT IS EXEMPT FROM MANDATORY PARK LAND DEDICATION.
- ALL LOTS HAVE ADEQUATE PERCOLATION TESTING AND SEPTIC RECOVERY AREAS AND HAVE BEEN APPROVED BY THE P.G. COUNTY HEALTH DEPT. DIVISION OF ENVIRONMENTAL HEALTH IN A LETTER DATED 12-6-06.
- "ALL AFFORESTATION AND ASSOCIATED FENCING SHALL BE INSTALLED PRIOR TO THE ISSUANCE OF THE BUILDING PERMITS FOR EACH LOT. A CERTIFICATION PREPARED BY A QUALIFIED PROFESSIONAL MAY BE USED TO PROVIDE VERIFICATION THAT A THE AFFORESTATION AND FENCE INSTALLATION HAVE BEEN COMPLETED. IT MUST INCLUDE, AT A MINIMUM, PHOTOS OF THE AFFORESTATION AREAS AND THE ASSOCIATED FENCING FOR EACH LOT, WITH LABELS ON THE PHOTOS IDENTIFYING THE LOCATIONS AND A PLAN SHOWING THE LOCATIONS WHERE THE PHOTOS WERE TAKEN".

LEGEND:

	WOODLAND RETAINED NOT PART OF REQUIREMENTS (WOODLAND IS EITHER IN FLOODPLAIN OR DEDICATED AREA FOR ROUTE 301.)
	WOODLAND PRESERVATION AREA
	WOODLAND AFFORESTATION/ REFORESTATION AREA
	NATURAL REGENERATION
	DESIGNATED PATUXENT MANAGEMENT AREA
	EXISTING TREE LINE

QUALIFIED PROFESSIONAL CERTIFICATION

THIS PLAN COMPLIES WITH THE CURRENT REQUIREMENTS OF
SUBTITLE 25 AND THE WOOD LAND WILDLIFE

SIGNED:
MILTON M. PEREZ

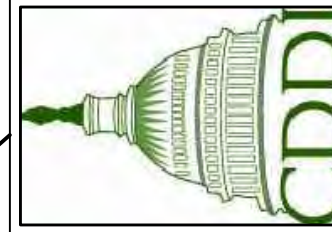
12-13-2024
DATE

POWDER MILL ROAD - SUITE 200 - BELTSVILLE, MD 20705
PHONE (301) 937-3501, EMAIL: PEREZ@CDDI.NET
QUALIFIED PROFESSIONAL

Prince George's County Planning Department, M-NCPPC
Environmental Planning Section

TREE CONSERVATION PLAN APPROVAL

TCP2-89-2007		
Approved by	Date	Reason for Revision
00 KIM FINCH	2/20/2009	
01 KIM FINCH	10/14/2013	
02	12/17/2024	Single Lot Revision-Lot 36
03		
04		
05		
06		



CAPITOL DEVELOPMENT DESIGN, INC.
ENGINEERS - PLANNERS - SURVEYOR'S
4600 POWDER MILL ROAD - SUITE 200 - BELTSVILLE, MD 20705
OFFICE (301) 937-3501

MILL BRANCH
QUEEN ANNE ELECTION DISTRICT 7
PRINCE GEORGE'S COUNTY, MARYLAND

TCP II COVER SHEET

REVISIONS

11/25/08 REV. PER
RESOLUTION COM. MP.
07/09/24 REV.
LOT 36 INFORMATION.

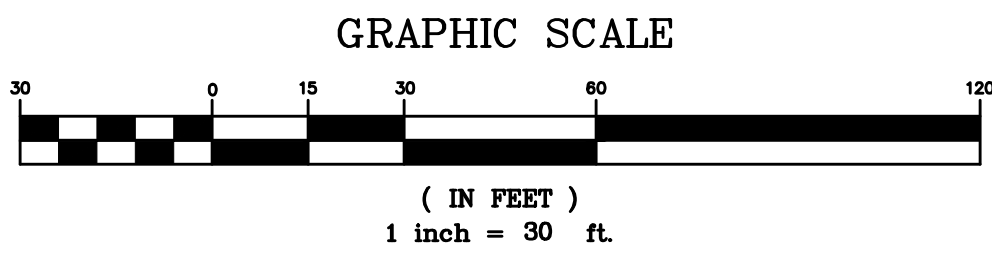
DATE: JUNE, 2024

DWN. DS CHECKED GB

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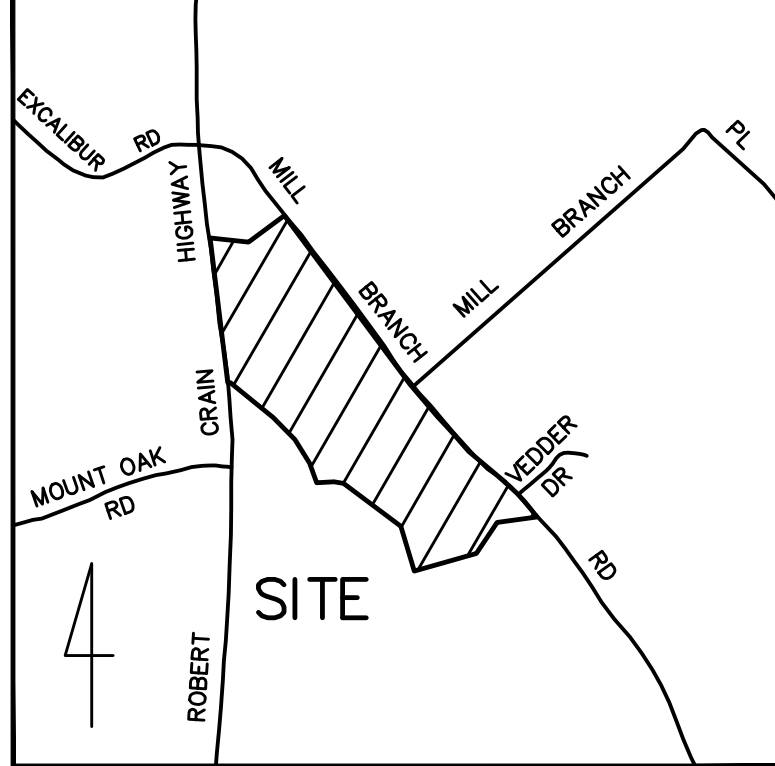
PROJECT/FILE NO.
02-083

SHEET NO.
1 OF 15

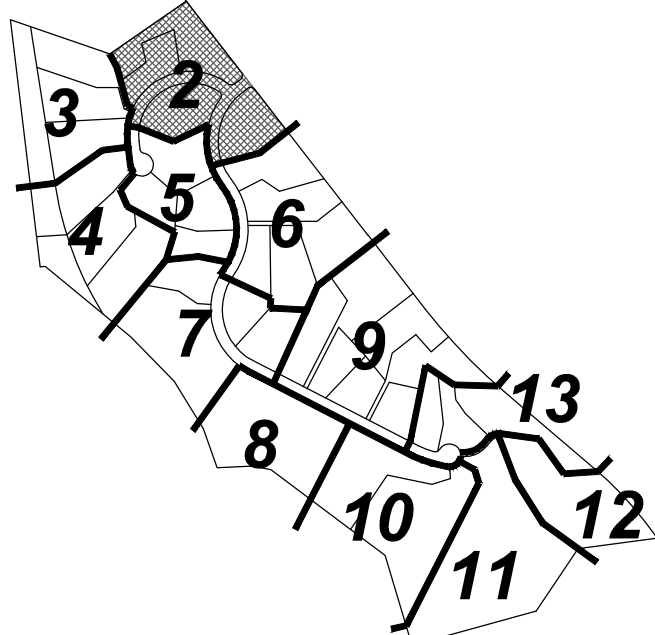


WOODLAND REF./AFFORESTATION
AREA #1
1.36 AC.
SEE LANDSCAPE PLAN FOR 40'
SCENIC ESMT. PLANTING
LAYOUT AND DETAILS

WOODLAND REF./AFFORESTATION
AREA #17
5.21 AC.
SEE LANDSCAPE PLAN FOR 40'
SCENIC ESMT. PLANTING
LAYOUT AND DETAILS



VICINITY MAP
SCALE: 1"=2000'



KEY PLAN
NOT TO SCALE

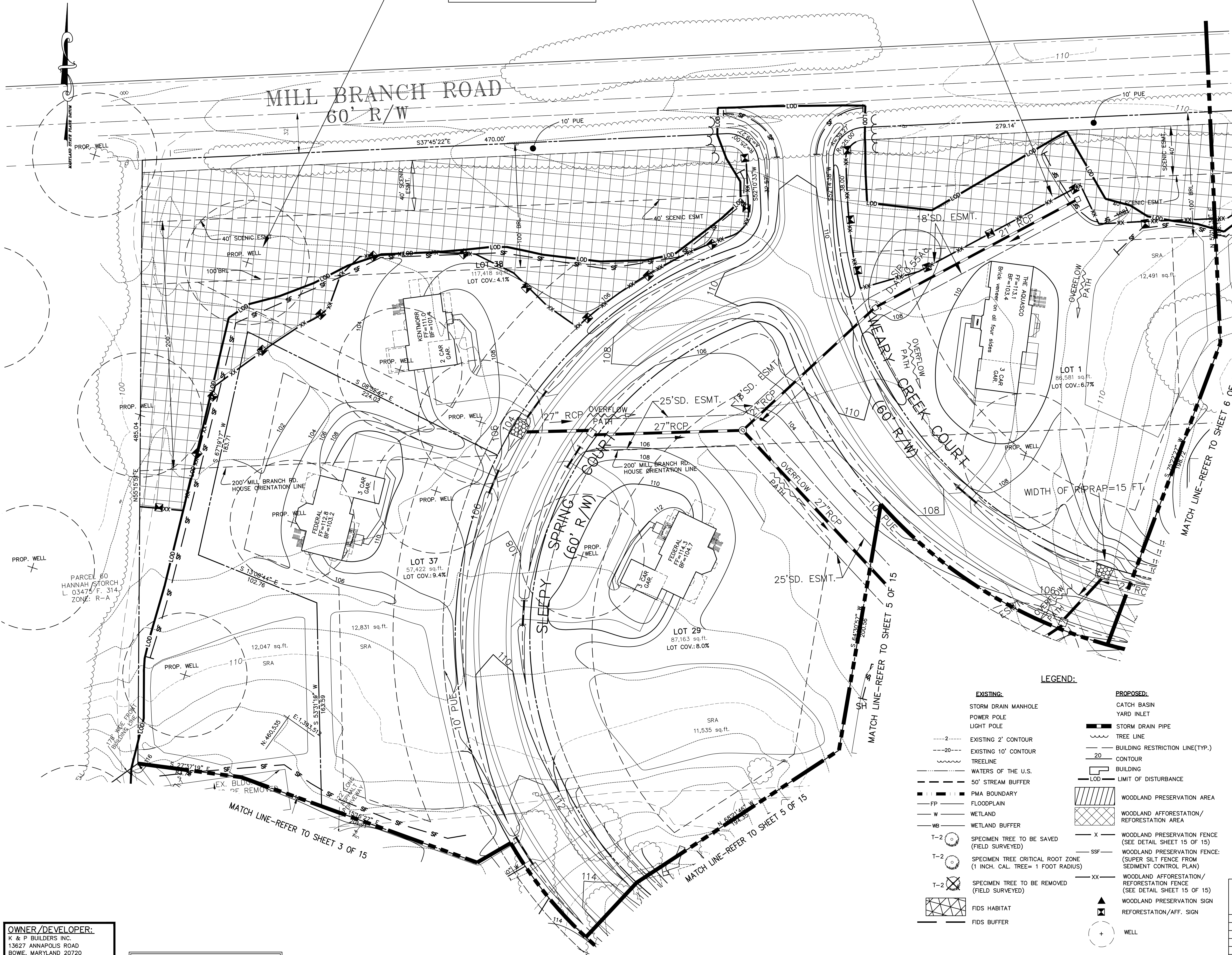
CAPITOL DEVELOPMENT DESIGN, INC.
ENGINEERS - PLANNERS - SURVEYOR'S
4600 POWDER MILL ROAD - SUITE 200 - BELTSVILLE, MD 20705
OFFICE (301) 937-3501 FAX (301) 937-3507

MILL BRANCH
QUEEN ANNE ELECTION DISTRICT 7
PRINCE GEORGE'S COUNTY, MARYLAND

TREE CONSERVATION PLAN-TYPE II

REVISIONS
11/25/08 REV. PER
RESOLUTION COMM. ME

DATE: JULY, 2024
DWN. DS CHECKED GB
SCALE: 1"=30'
PROJECT/FILE NO. 02-083
SHEET NO. 2 OF 15

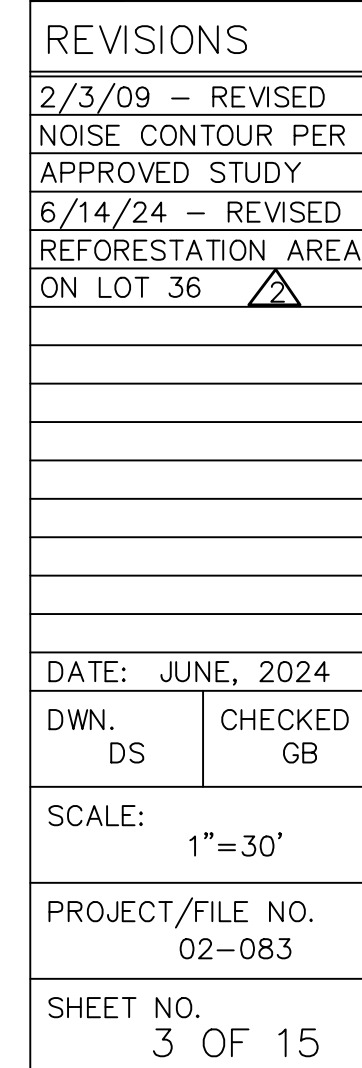
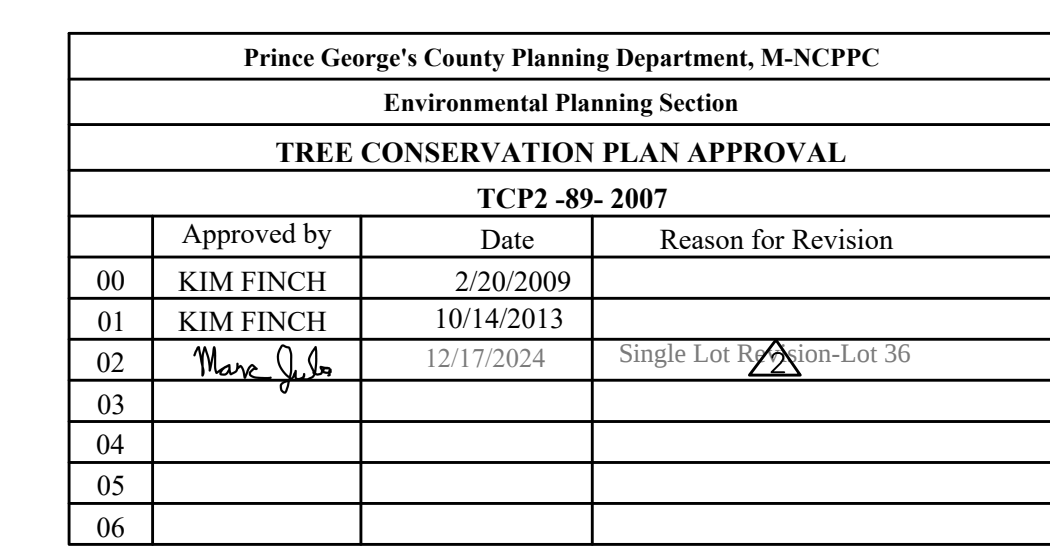
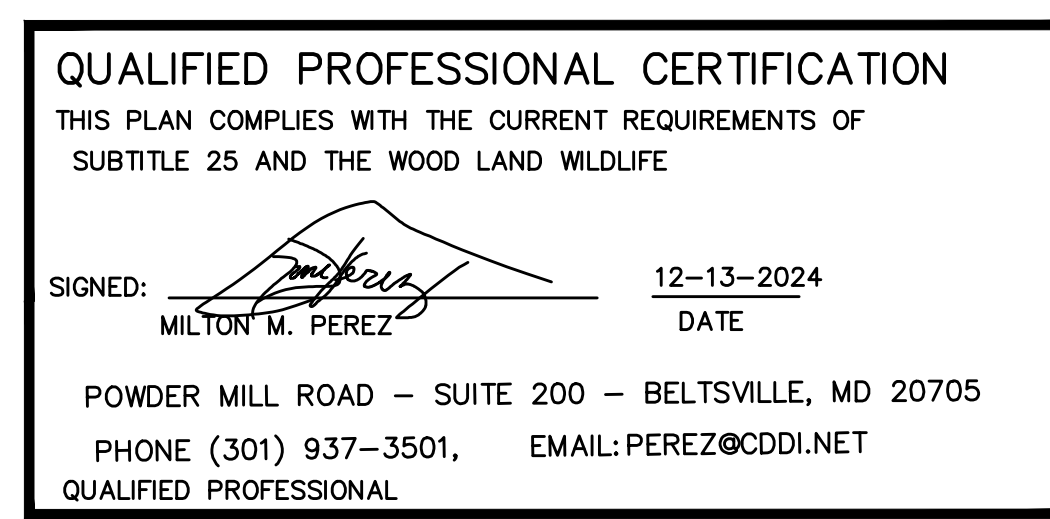
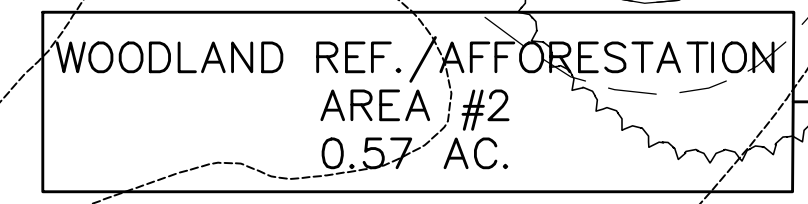
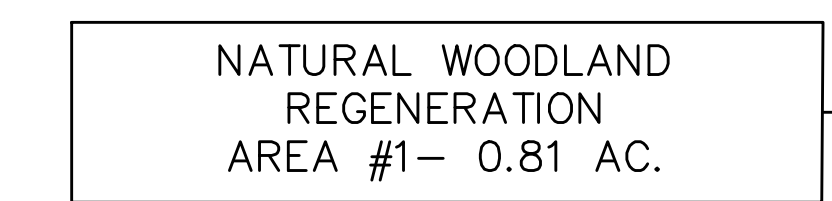
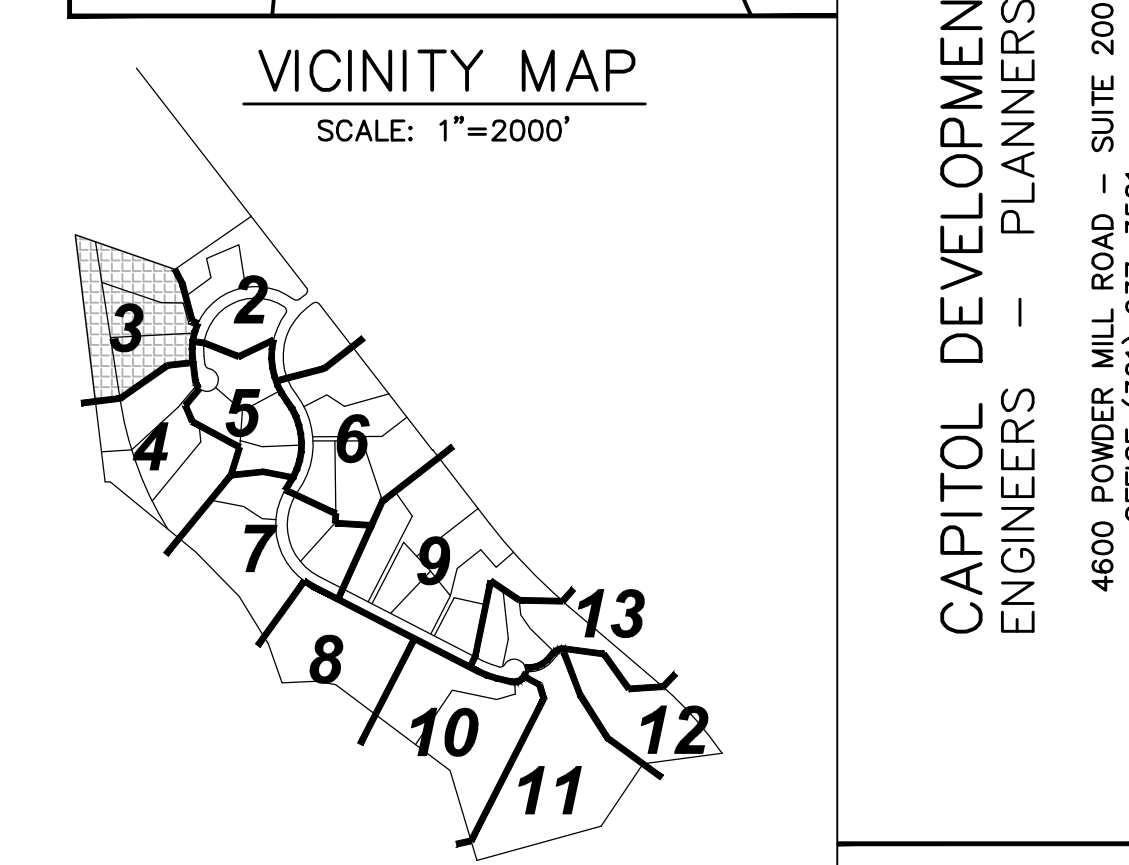


- LEGEND:**
- EXISTING:**
- STORM DRAIN MANHOLE
 - POWER POLE
 - LIGHT POLE
 - EXISTING 2' CONTOUR
 - EXISTING 10' CONTOUR
 - TREELINE
 - WATERS OF THE U.S.
 - 50' STREAM BUFFER
 - PMA BOUNDARY
 - FLOODPLAIN
 - WETLAND
 - WETLAND BUFFER
 - SPECIMEN TREE TO BE SAVED (FIELD SURVEYED)
 - SPECIMEN TREE CRITICAL ROOT ZONE (1 INCH. CAL. TREE= 1 FOOT RADIUS)
 - SPECIMEN TREE TO BE REMOVED (FIELD SURVEYED)
 - FIDS HABITAT
 - FIDS BUFFER
- PROPOSED:**
- CATCH BASIN
 - YARD INLET
 - STORM DRAIN PIPE
 - TREE LINE
 - BUILDING RESTRICTION LINE(TYP.)
 - CONTOUR
 - BUILDING
 - LIMIT OF DISTURBANCE
 - WOODLAND PRESERVATION AREA
 - WOODLAND AFFORESTATION/ REFORESTATION AREA
 - WOODLAND PRESERVATION FENCE (SEE DETAIL SHEET 15 OF 15)
 - WOODLAND PRESERVATION FENCE: (SUPER SILT FENCE FROM SEDIMENT CONTROL PLAN)
 - WOODLAND AFFORESTATION/ REFORESTATION FENCE (SEE DETAIL SHEET 15 OF 15)
 - WOODLAND PRESERVATION SIGN
 - REFORESTATION/AFF. SIGN
 - WELL

OWNER/DEVELOPER:
K & P BUILDERS INC.
13627 ANNAPOLIS ROAD
BOWIE, MARYLAND 20720
T.P.NO. OFFICE (301) 262-7227
FAX NO. (301) 805-7528

MISS UTILITY
FOR LOCATION OF UTILITIES CALL 1-800-257-7777
48 HOURS IN ADVANCE OF ANY WORK IN THE VICINITY

Prince George's County Planning Department, M-NCPPC Environmental Planning Section TREE CONSERVATION PLAN APPROVAL TCP2-89-2007			
Approved by	Date	Reason for Revision	
00 KIM FINCH	2/20/2009		
01 KIM FINCH	10/14/2013		
02	10/17/2024	Single Lot Revision-Lot 36	
03			
04			
05			
06			



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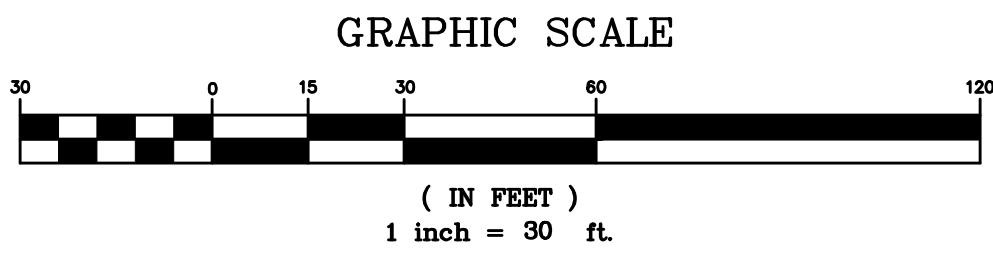
CAPITOL DEVELOPMENT DESIGN, INC.
ENGINEERS — PLANNERS — SURVEYOR'S

4600 POWDER MILL ROAD — SUITE 200 — BELTSVILLE, MD 20705
OFFICE (301) 937-3501
FAX (301) 937-3507



MILL BRANCH
QUEEN ANNE ELECTION DISTRICT 7
PRINCE GEORGE'S COUNTY, MARYLAND

TREE CONSERVATION PLAN – TYPE II

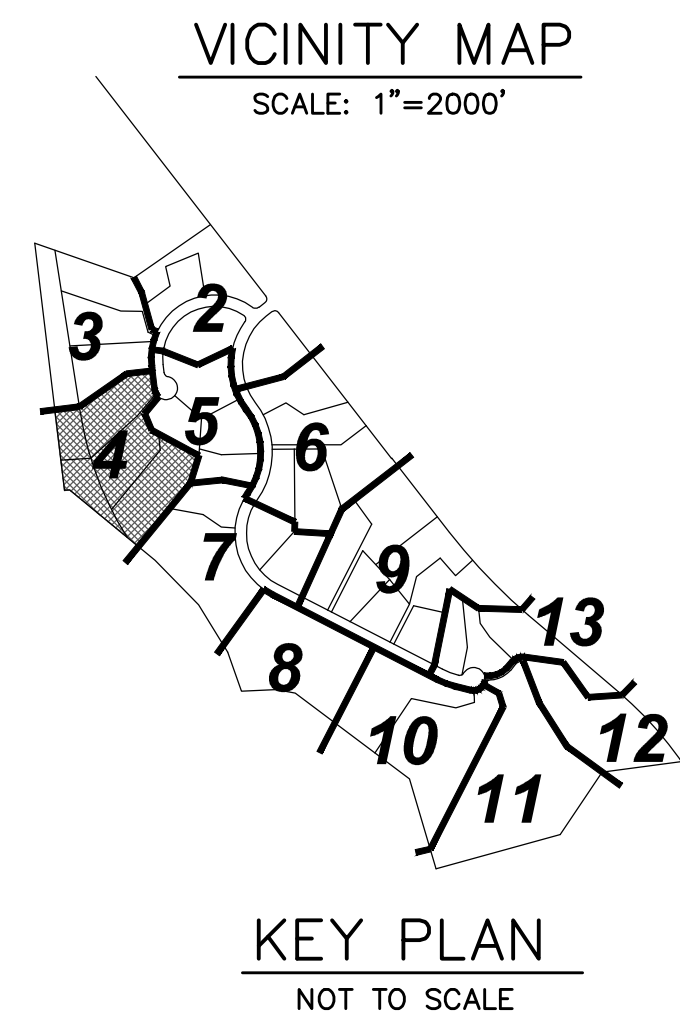
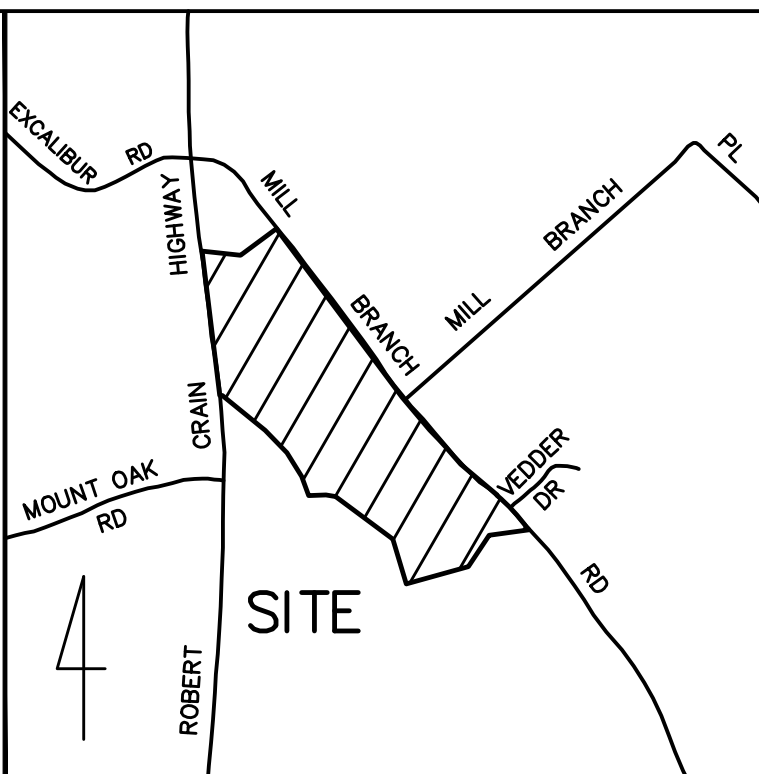


WOODLAND REF./AFFORESTATION
AREA #5
0.37 AC.

WOODLAND PRESERVATION
AREA #2
0.20 AC.

WOODLAND PRESERVATION
AREA #3
12.15 AC.

WOODLAND REF./AFFORESTATION
AREA #8
0.17 AC.



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MILL BRANCH

QUEEN ANNE ELECTION DISTRICT 7
PRINCE GEORGE'S COUNTY, MARYLAND

TREE CONSERVATION PLAN - TYPE II

REVISIONS

2/3/09 - REVISED
NOISE CONTOUR PER
APPROVED STUDY

DATE: JULY, 2024

DWN. DS CHECKED GB

SCALE: 1"=30'

PROJECT/FILE NO.
02-083

SHEET NO.
4 OF 15

WOODLAND PRESERVATION
AREA #1
1.07 AC.

WOODLAND REF./AFFORESTATION
AREA #4
0.69 AC.

OWNER/DEVELOPER:

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ROBERT S CRAIN HWY. (U.S ROUTE 301)
(VARIABLE R/W)

LEGEND:

EXISTING:

STORM DRAIN MANHOLE
POWER POLE
LIGHT POLE
EXISTING 2' CONTOUR
EXISTING 10' CONTOUR
TREELINE
WATERS OF THE U.S.
50' STREAM BUFFER
PMA BOUNDARY
FLOODPLAIN
WETLAND
WETLAND BUFFER
SPECIMEN TREE TO BE SAVED
(FIELD SURVEYED)
SPECIMEN TREE CRITICAL ROOT ZONE
(1 INCH. CAL. TREE= 1 FOOT RADIUS)
SPECIMEN TREE TO BE REMOVED
(FIELD SURVEYED)
FIDS HABITAT
FIDS BUFFER
UNMITIGATED 65 DBA
LDN CONTOUR

PROPOSED:

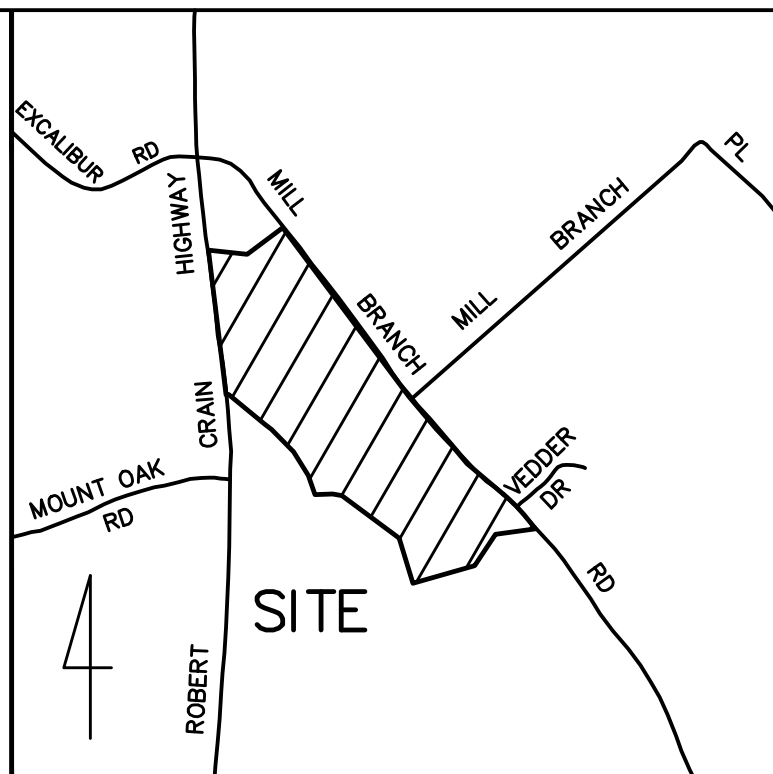
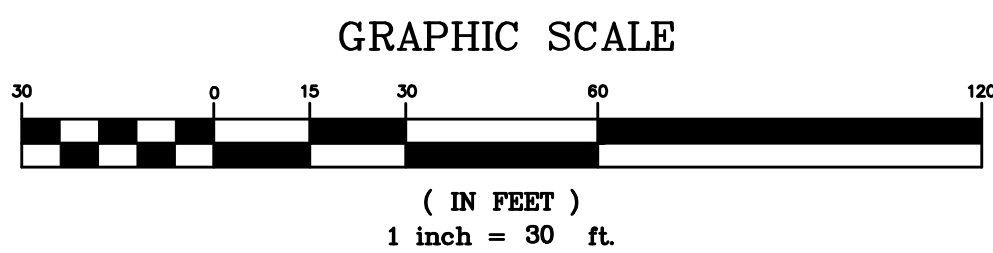
CATCH BASIN
YARD INLET
STORM DRAIN PIPE
TREE LINE
BUILDING RESTRICTION LINE(TYP.)
CONTOUR
BUILDING
LIMIT OF DISTURBANCE
WOODLAND PRESERVATION AREA
WOODLAND AFFORESTATION/
REFORESTATION AREA
WOODLAND PRESERVATION FENCE
(SEE DETAIL SHEET 15 OF 15)
WOODLAND PRESERVATION FENCE:
(SUPER SILT FENCE FROM
SEDIMENT CONTROL PLAN)
WOODLAND AFFORESTATION/
REFORESTATION FENCE
(SEE DETAIL SHEET 15 OF 15)
WOODLAND PRESERVATION SIGN
REFORESTATION/AFF. SIGN
WELL

Prince George's County Planning Department, M-NCPPC
Environmental Planning Section

TREE CONSERVATION PLAN APPROVAL

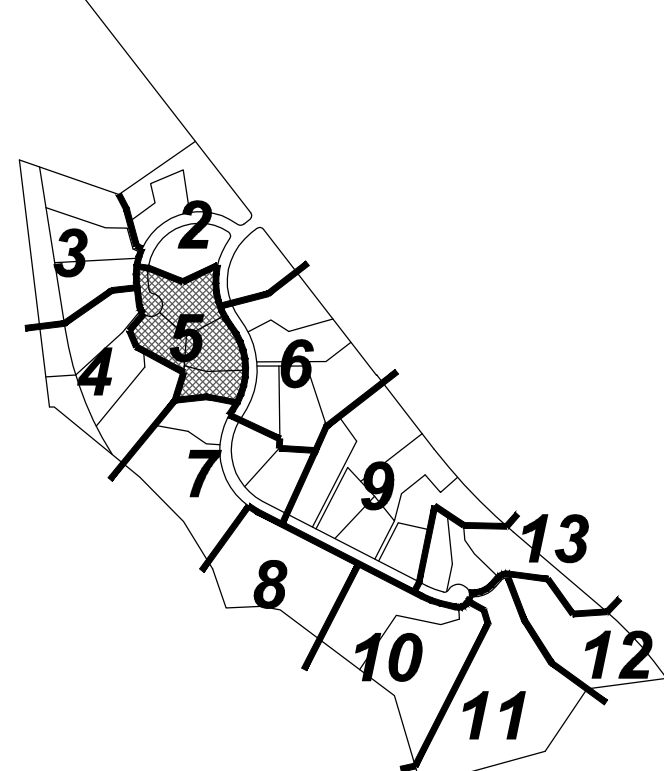
TCP2-89-2007

Approved by	Date	Reason for Revision
00 KIM FINCH	2/20/2009	
01 KIM FINCH	10/14/2003	
02 <i>Wendy J. Lee</i>	12/17/2024	Single Lot Revision-Lot 36
03		
04		
05		
06		



VICINITY MAP

SCALE: 1"=2000'



KEY PLAN

NOT TO SCALE



CAPITOL DEVELOPMENT DESIGN, INC.
ENGINEERS - PLANNERS - SURVEYOR'S
4600 POWDER MILL ROAD - SUITE 200 - BELTSVILLE, MD 20705
OFFICE (301) 937-3507
FAX (301) 937-3507

MILL BRANCH
QUEEN ANNE ELECTION DISTRICT 7
PRINCE GEORGE'S COUNTY, MARYLAND

TREE CONSERVATION PLAN - TYPE II

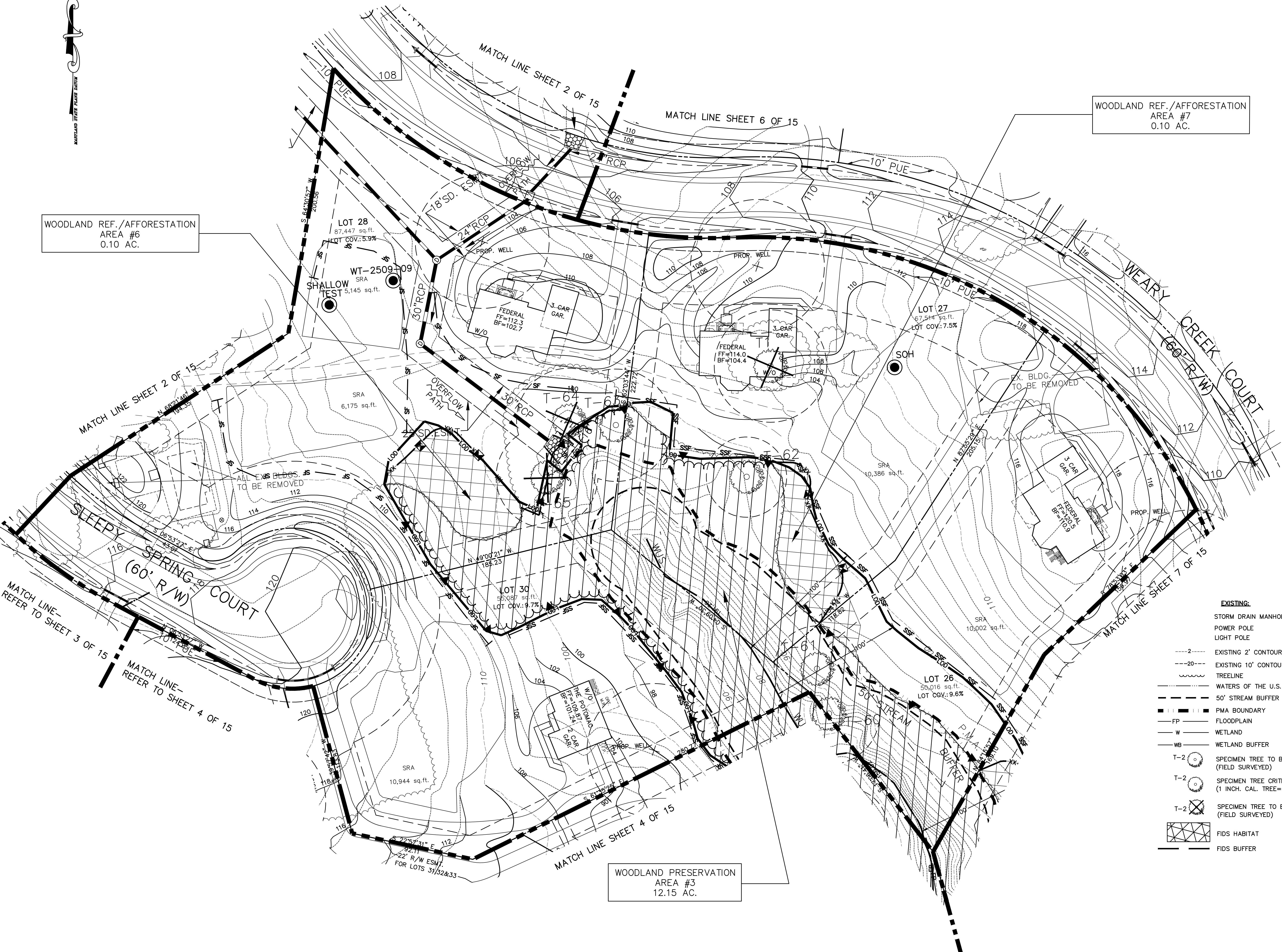
REVISIONS

11/25/08	REV. PER
RESOLUTION COMM. MP	
2/3/09	REVISED
TREE T-65 PER CO.	
COMMENTS	

DATE:	JUNE, 2024
DWN.	DS
CHECKED	GB
SCALE:	1"=30'
PROJECT/FILE NO.	02-083
SHEET NO.	5 OF 15

OWNER/DEVELOPER:
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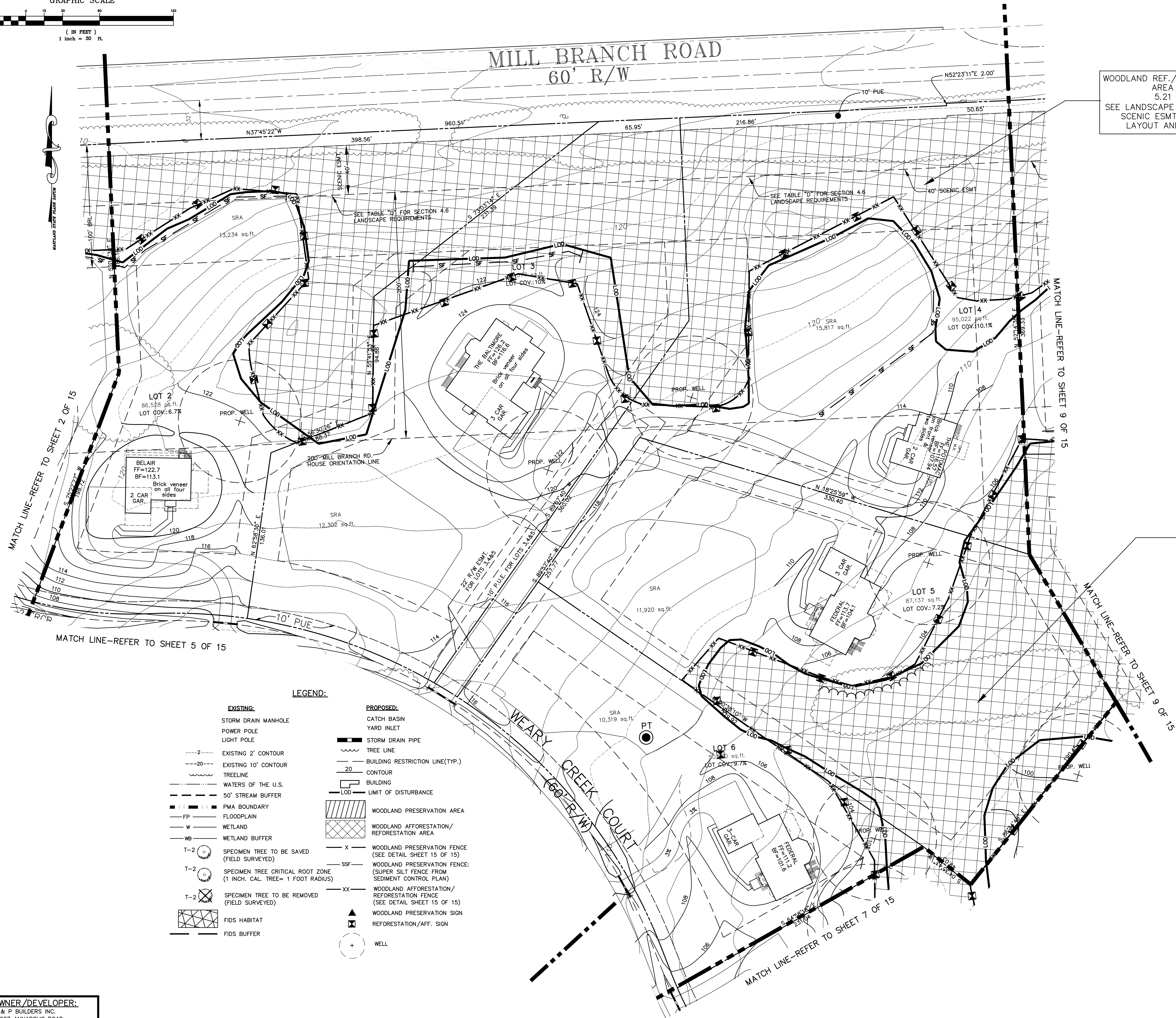
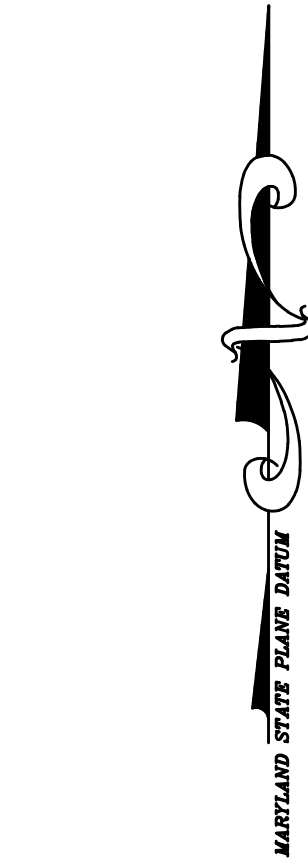
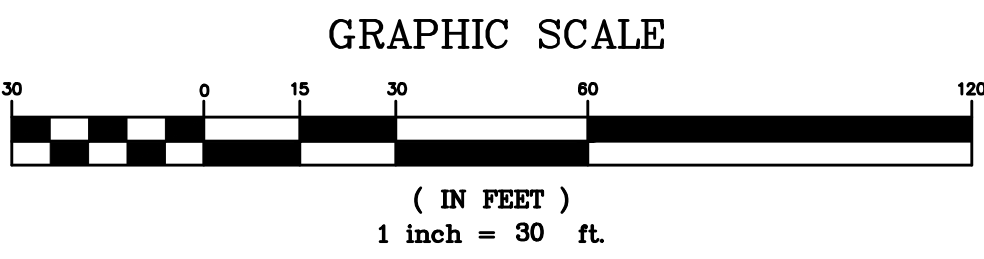


LEGEND:

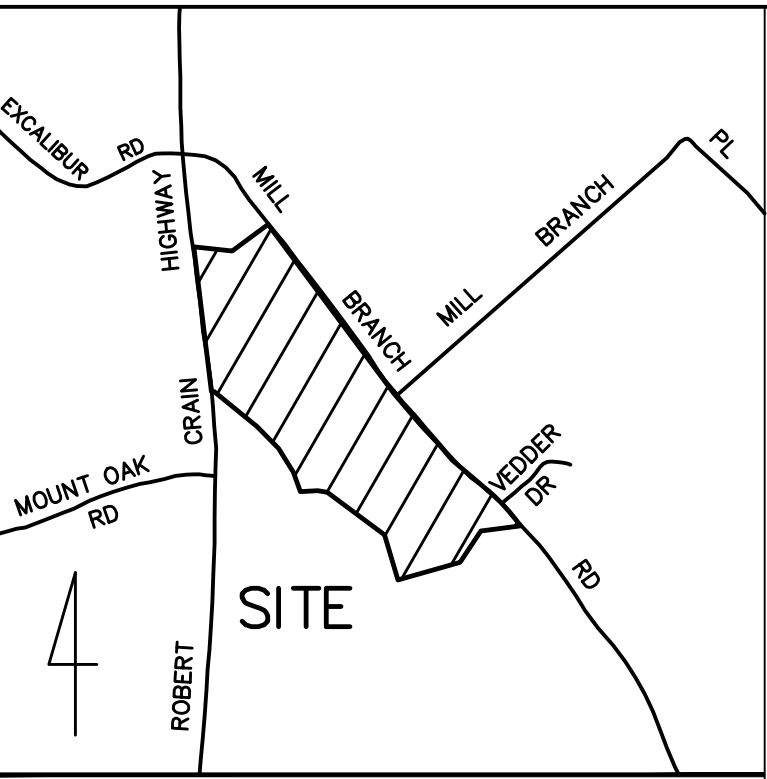
- EXISTING:**
- STORM DRAIN MANHOLE
 - POWER POLE
 - LIGHT POLE
 - EXISTING 2' CONTOUR
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 - WETLAND BUFFER
 - SPECIMEN TREE TO BE SAVED (FIELD SURVEYED)
 - SPECIMEN TREE CRITICAL ROOT ZONE (1 INCH. CAL. TREE= 1 FOOT RADIUS)
 - SPECIMEN TREE TO BE REMOVED (FIELD SURVEYED)
 - FIDS HABITAT
 - FIDS BUFFER
- PROPOSED:**
- CATCH BASIN
 - YARD INLET
 - STORM DRAIN PIPE
 - TREE LINE
 - BUILDING RESTRICTION LINE(TYP.)
 - CONTOUR
 - BUILDING
 - LIMIT OF DISTURBANCE
 - WOODLAND PRESERVATION AREA
 - WOODLAND AFFORESTATION/ REFORESTATION AREA
 - WOODLAND PRESERVATION FENCE (SEE DETAIL SHEET 15 OF 15)
 - WOODLAND PRESERVATION FENCE: (SUPER SILT FENCE FROM SEDIMENT CONTROL PLAN)
 - WOODLAND AFFORESTATION/ REFORESTATION FENCE (SEE DETAIL SHEET 15 OF 15)
 - WOODLAND PRESERVATION SIGN
 - REFORESTATION/AFF. SIGN
 - WELL

Prince George's County Planning Department, M-NCPPC
Environmental Planning Section
TREE CONSERVATION PLAN APPROVAL
TCP2-89-2007

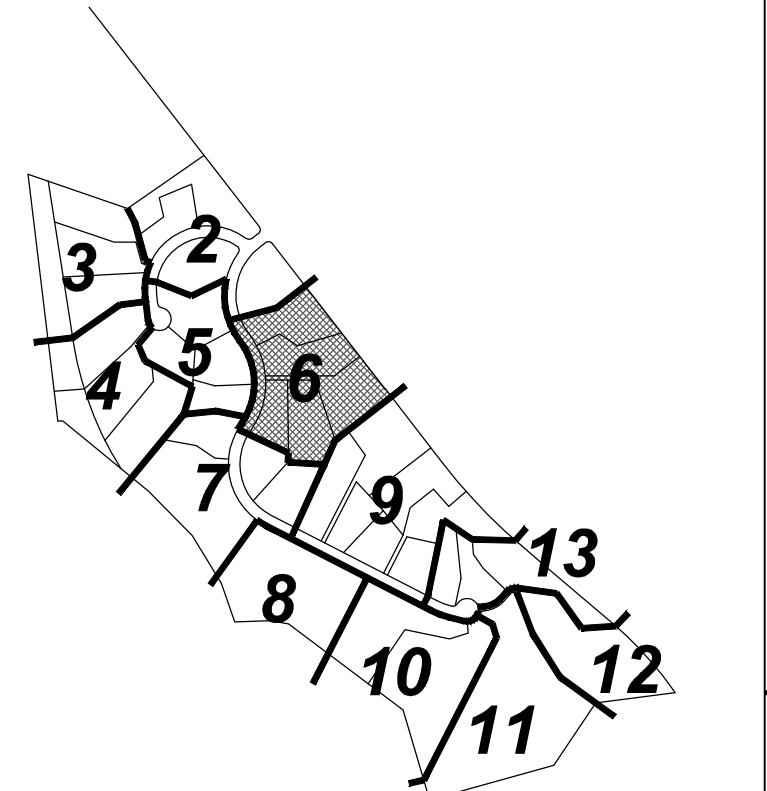
Approved by	Date	Reason for Revision
00 KIM FINCH	3/20/2009	
01 KIM FINCH	10/14/2003	
02 <i>Mark J. G.</i>	12/17/2024	Single Lot Revision-Lot 36
03		
04		
05		
06		



WOODLAND REF./AFFORESTATION
AREA #17
5.21 AC.
SEE LANDSCAPE PLAN FOR 40'
SCENIC ESMT. PLANTING
LAYOUT AND DETAILS



VICINITY MAP
SCALE: 1"=2000'



KEY PLAN
NOT TO SCALE

WOODLAND REF./AFFORESTATION
AREA #18
2.37 AC.

LEGEND:

- EXISTING:**
- STORM DRAIN MANHOLE
 - POWER POLE
 - LIGHT POLE
 - EXISTING 2' CONTOUR
 - EXISTING 10' CONTOUR
 - TREELINE
 - WATERS OF THE U.S.
 - 50' STREAM BUFFER
 - PMA BOUNDARY
 - FLOODPLAIN
 - WETLAND
 - WETLAND BUFFER
 - SPECIMEN TREE TO BE SAVED (FIELD SURVEYED)
 - SPECIMEN TREE CRITICAL ROOT ZONE (1 INCH. CAL. TREE= 1 FOOT RADIUS)
 - SPECIMEN TREE TO BE REMOVED (FIELD SURVEYED)
 - FIDS HABITAT
 - FIDS BUFFER
- PROPOSED:**
- CATCH BASIN
 - YARD INLET
 - STORM DRAIN PIPE
 - TREE LINE
 - BUILDING RESTRICTION LINE(TYP.)
 - CONTOUR
 - BUILDING
 - LIMIT OF DISTURBANCE
 - WOODLAND PRESERVATION AREA
 - WOODLAND AFFORESTATION/ REFORESTATION AREA
 - WOODLAND PRESERVATION FENCE (SEE DETAIL SHEET 15 OF 15)
 - WOODLAND PRESERVATION FENCE: (SUPER SILT FENCE FROM SEDIMENT CONTROL PLAN)
 - WOODLAND AFFORESTATION/ REFORESTATION FENCE (SEE DETAIL SHEET 15 OF 15)
 - WOODLAND PRESERVATION SIGN
 - REFORESTATION/AFF. SIGN
 - WELL

OWNER/DEVELOPER:
K & P BUILDERS, INC.
13627 ANNAPOLIS ROAD
BOWIE, MARYLAND 20720
T.P.NO. OFFICE (301) 262-7227
FAX NO. (301) 805-7528

MISS UTILITY
FOR LOCATION OF UTILITIES CALL 1-800-257-7777
48 HOURS IN ADVANCE OF ANY WORK IN THE VICINITY

Prince George's County Planning Department, M-NCPPC Environmental Planning Section TREE CONSERVATION PLAN APPROVAL TCP2-89-2007			
Approved by	Date	Reason for Revision	
00 KIM FINCH	2/20/2009		
01 KIM FINCH	10/14/2003		
02 <i>Wade G. G.</i>	12/17/2024	Single Lot Revision-Lot 36	
03			
04			
05			
06			

REVISIONS
11/25/08 REV. PER
RESOLUTION COMM. MP

DATE: JUNE, 2024
DWN. DS CHECKED GB

SCALE: 1"=30'

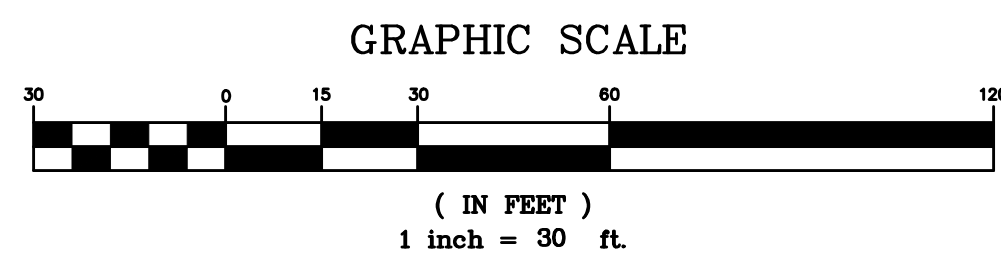
PROJECT/FILE NO.
02-083

SHEET NO.
6 OF 15

CAPITOL DEVELOPMENT DESIGN, INC.
ENGINEERS - PLANNERS - SURVEYOR'S
4600 POWDER MILL ROAD - SUITE 200 - BELTSVILLE, MD 20705
OFFICE (301) 937-3507
FAX (301) 937-3507

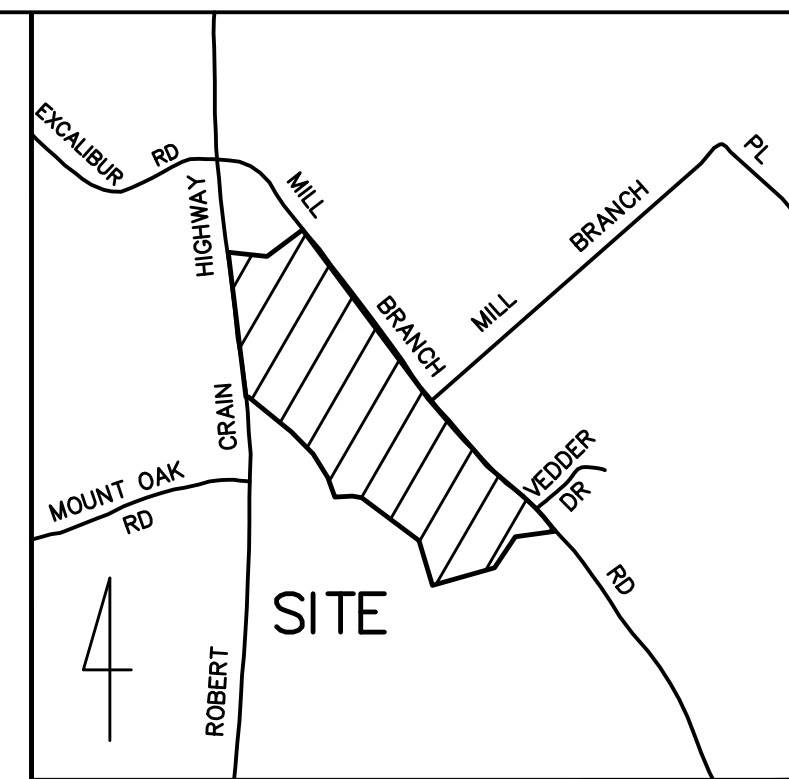
MILL BRANCH
QUEEN ANNE ELECTION DISTRICT 7
PRINCE GEORGE'S COUNTY, MARYLAND

TREE CONSERVATION PLAN-TYPE II

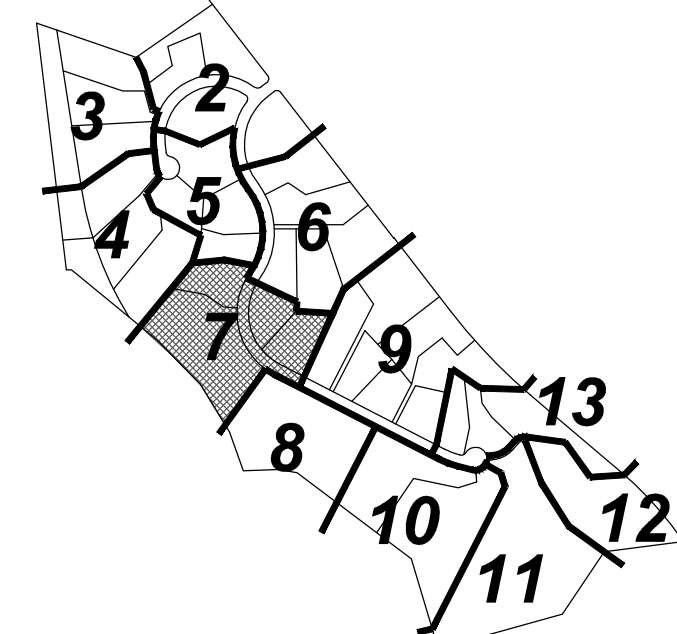


WOODLAND REF./AFFORESTATION
AREA #18
2.37 AC.

WOODLAND REF./AFFORESTATION
AREA #9
0.31 AC.



VICINITY MAP
SCALE: 1"=2000'



KEY PLAN
NOT TO SCALE

WOODLAND REF./AFFORESTATION
AREA #11
0.62 AC.

WOODLAND REF./AFFORESTATION
AREA #10
0.48 AC.

WOODLAND PRESERVATION
AREA #3
12.15 AC.

OWNER/DEVELOPER:
K & P BUILDERS INC.
13627 ANNAPOLIS ROAD
BOWIE, MARYLAND 20720
T.P.NO. OFFICE (301) 262-7227
FAX NO. (301) 805-7528

MISS UTILITY
FOR LOCATION OF UTILITIES CALL 1-800-257-7777
48 HOURS IN ADVANCE OF ANY WORK IN THE VICINITY

LEGEND:

- EXISTING:**
- STORM DRAIN MANHOLE
 - POWER POLE
 - LIGHT POLE
 - EXISTING 2' CONTOUR
 - EXISTING 10' CONTOUR
 - TREELINE
 - WATERS OF THE U.S.
 - 50' STREAM BUFFER
 - PMA BOUNDARY
 - FLOODPLAIN
 - WETLAND
 - WETLAND BUFFER
 - SPECIMEN TREE TO BE SAVED (FIELD SURVEYED)
 - SPECIMEN TREE CRITICAL ROOT ZONE (1 INCH. CAL. TREE= 1 FOOT RADIUS)
 - SPECIMEN TREE TO BE REMOVED (FIELD SURVEYED)
 - FIDS HABITAT
 - FIDS BUFFER
- PROPOSED:**
- CATCH BASIN
 - YARD INLET
 - STORM DRAIN PIPE
 - TREE LINE
 - BUILDING RESTRICTION LINE(TYP.)
 - CONTOUR
 - BUILDING
 - LOD
 - LIMIT OF DISTURBANCE
 - WOODLAND PRESERVATION AREA
 - WOODLAND AFFORESTATION/ REFORESTATION AREA
 - WOODLAND PRESERVATION FENCE (SEE DETAIL SHEET 15 OF 15)
 - WOODLAND PRESERVATION FENCE: (SUPER SILT FENCE FROM SEDIMENT CONTROL PLAN)
 - WOODLAND AFFORESTATION/ REFORESTATION FENCE (SEE DETAIL SHEET 15 OF 15)
 - WOODLAND PRESERVATION SIGN
 - REFORESTATION/AFF. SIGN
 - WELL

Prince George's County Planning Department, M-NCPPC Environmental Planning Section TREE CONSERVATION PLAN APPROVAL TCP2-89-2007			
Approved by	Date	Reason for Revision	
00 KIM FINCH	2/20/2009		
01 KIM FINCH	10/14/2003		
02 <i>Kevin J. Go</i>	12/17/2024	Single Lot Revision-Lot 36	
03			
04			
05			
06			

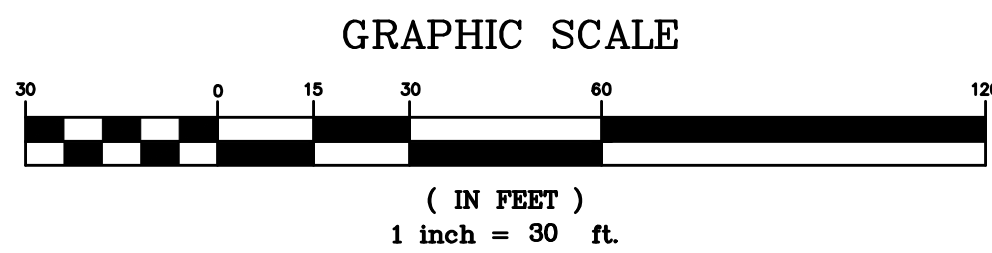
CAPITOL DEVELOPMENT DESIGN, INC.
ENGINEERS - PLANNERS - SURVEYOR'S
4600 POWDER MILL ROAD - SUITE 200 - BELTSVILLE, MD 20705
OFFICE (301) 937-3507
FAX (301) 937-3507

MILL BRANCH
QUEEN ANNE ELECTION DISTRICT 7
PRINCE GEORGE'S COUNTY, MARYLAND

TREE CONSERVATION PLAN-TYPE II

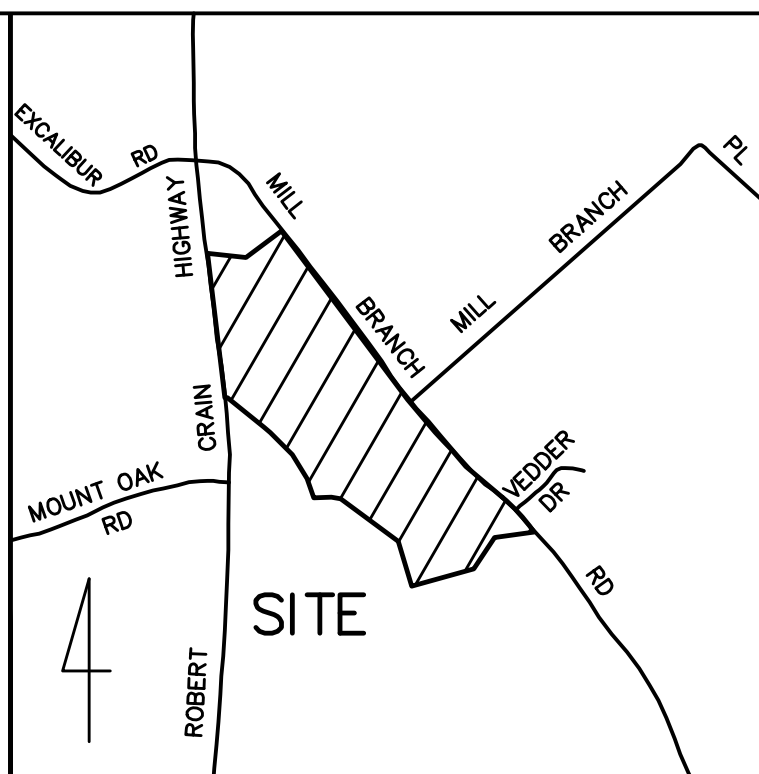
REVISIONS

DATE: JUNE, 2024
DWN. DS CHECKED GB
SCALE: 1"=30'
PROJECT/FILE NO. 02-083
SHEET NO. 7 OF 15

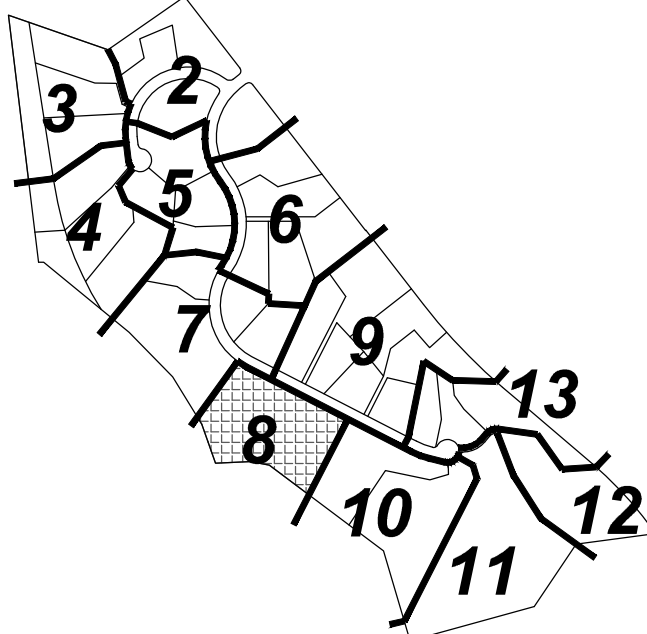


WOODLAND REF./AFFORESTATION
AREA #10
0.48 AC.

WOODLAND REF./AFFORESTATION
AREA #12
0.20 AC.



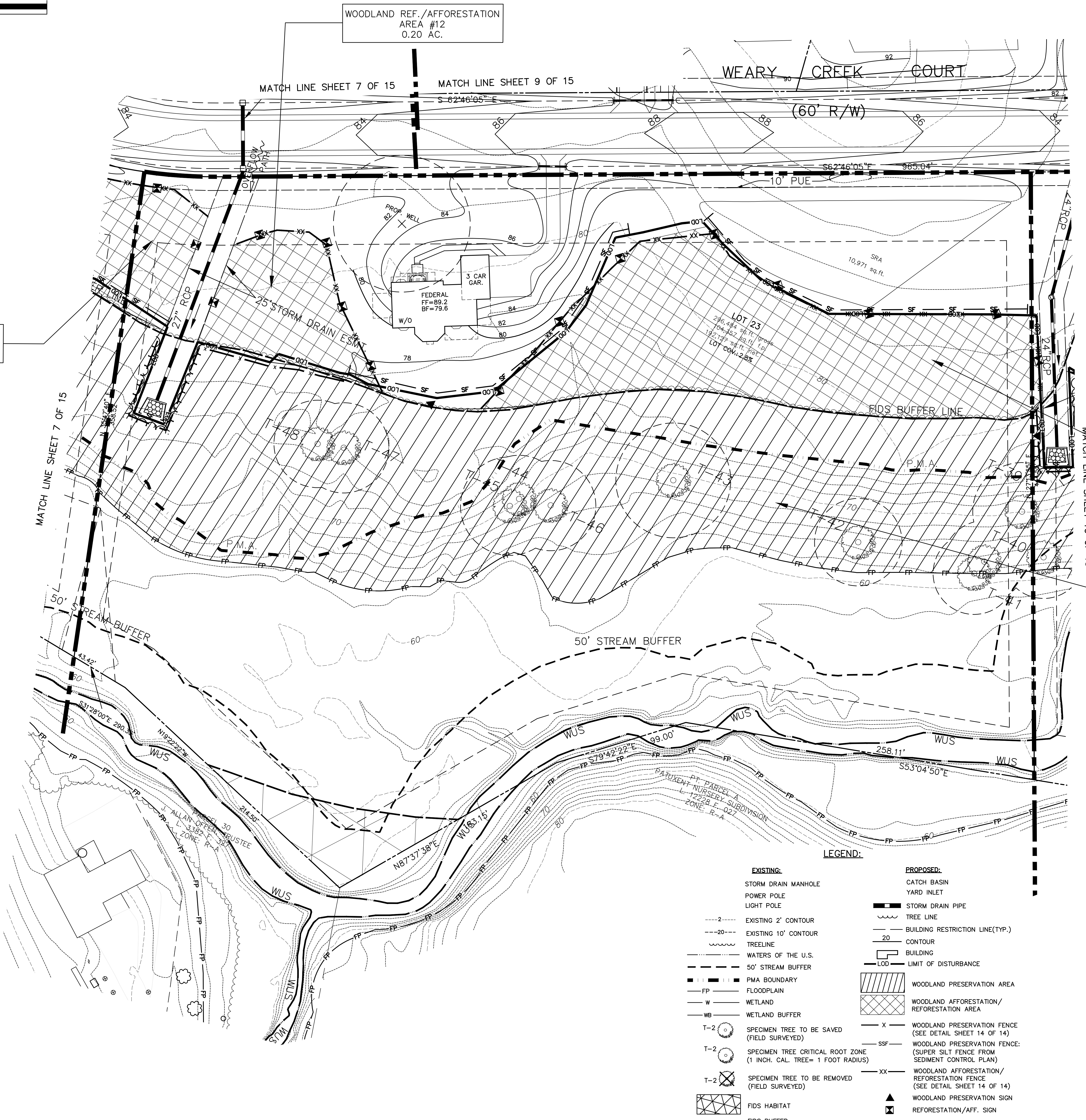
VICINITY MAP
SCALE: 1"=2000'



KEY PLAN
NOT TO SCALE

WOODLAND REF./AFFORESTATION
AREA #13
0.73 AC.

WOODLAND PRESERVATION
AREA #3
12.15 AC.



LEGEND:

- EXISTING:**
STORM DRAIN MANHOLE
POWER POLE
LIGHT POLE
EXISTING 2' CONTOUR
EXISTING 10' CONTOUR
TREELINE
WATERS OF THE U.S.
50' STREAM BUFFER
PMA BOUNDARY
FLOODPLAIN
WETLAND
WETLAND BUFFER
SPECIMEN TREE TO BE SAVED (FIELD SURVEYED)
SPECIMEN TREE CRITICAL ROOT ZONE (1 INCH. CAL. TREE= 1 FOOT RADIUS)
SPECIMEN TREE TO BE REMOVED (FIELD SURVEYED)
FIDS HABITAT
FIDS BUFFER
- PROPOSED:**
CATCH BASIN
YARD INLET
STORM DRAIN PIPE
TREE LINE
BUILDING RESTRICTION LINE(TYP.)
CONTOUR
BUILDING
LIMIT OF DISTURBANCE
WOODLAND PRESERVATION AREA
WOODLAND AFFORESTATION/REFORESTATION AREA
WOODLAND PRESERVATION FENCE (SEE DETAIL SHEET 14 OF 14)
WOODLAND PRESERVATION FENCE: (SUPER SILT FENCE FROM SEDIMENT CONTROL PLAN)
WOODLAND AFFORESTATION/REFORESTATION FENCE (SEE DETAIL SHEET 14 OF 14)
WOODLAND PRESERVATION SIGN
REFORESTATION/AFF. SIGN
WELL

OWNER/DEVELOPER:
K & P BUILDERS INC.
13627 ANNAPOLIS ROAD
BOWIE, MARYLAND 20720
T.P.NO. OFFICE (301) 262-7227
FAX NO. (301) 805-7528

MISS UTILITY
FOR LOCATION OF UTILITIES CALL 1-800-257-7777
48 HOURS IN ADVANCE OF ANY WORK IN THE VICINITY

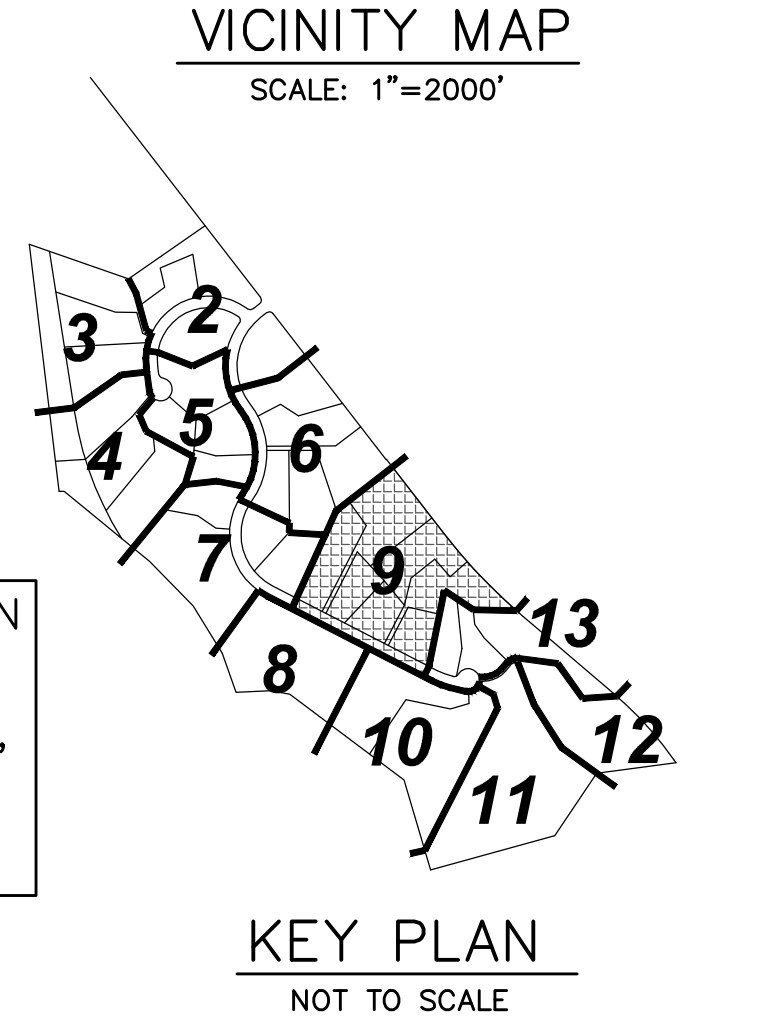
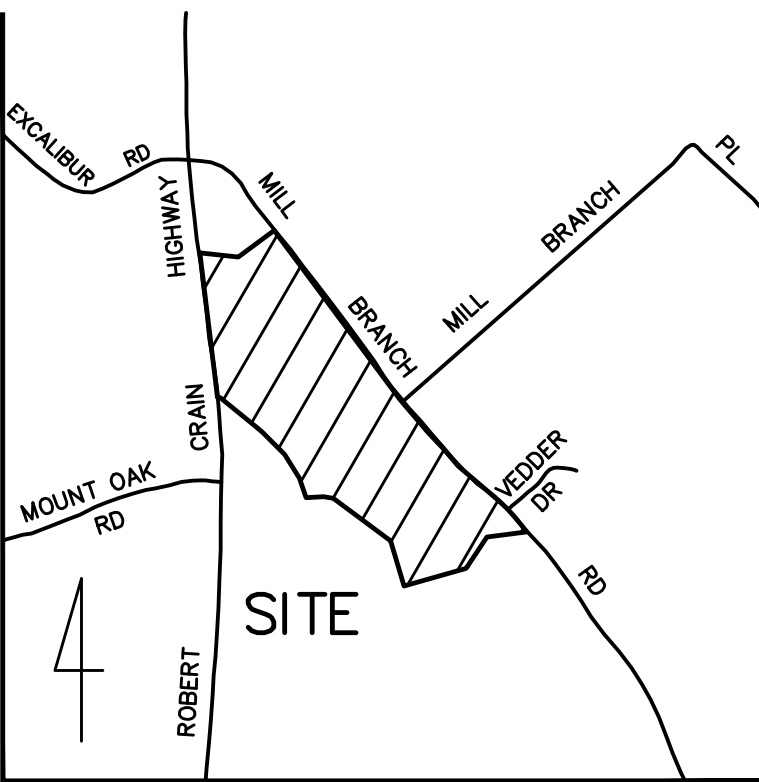
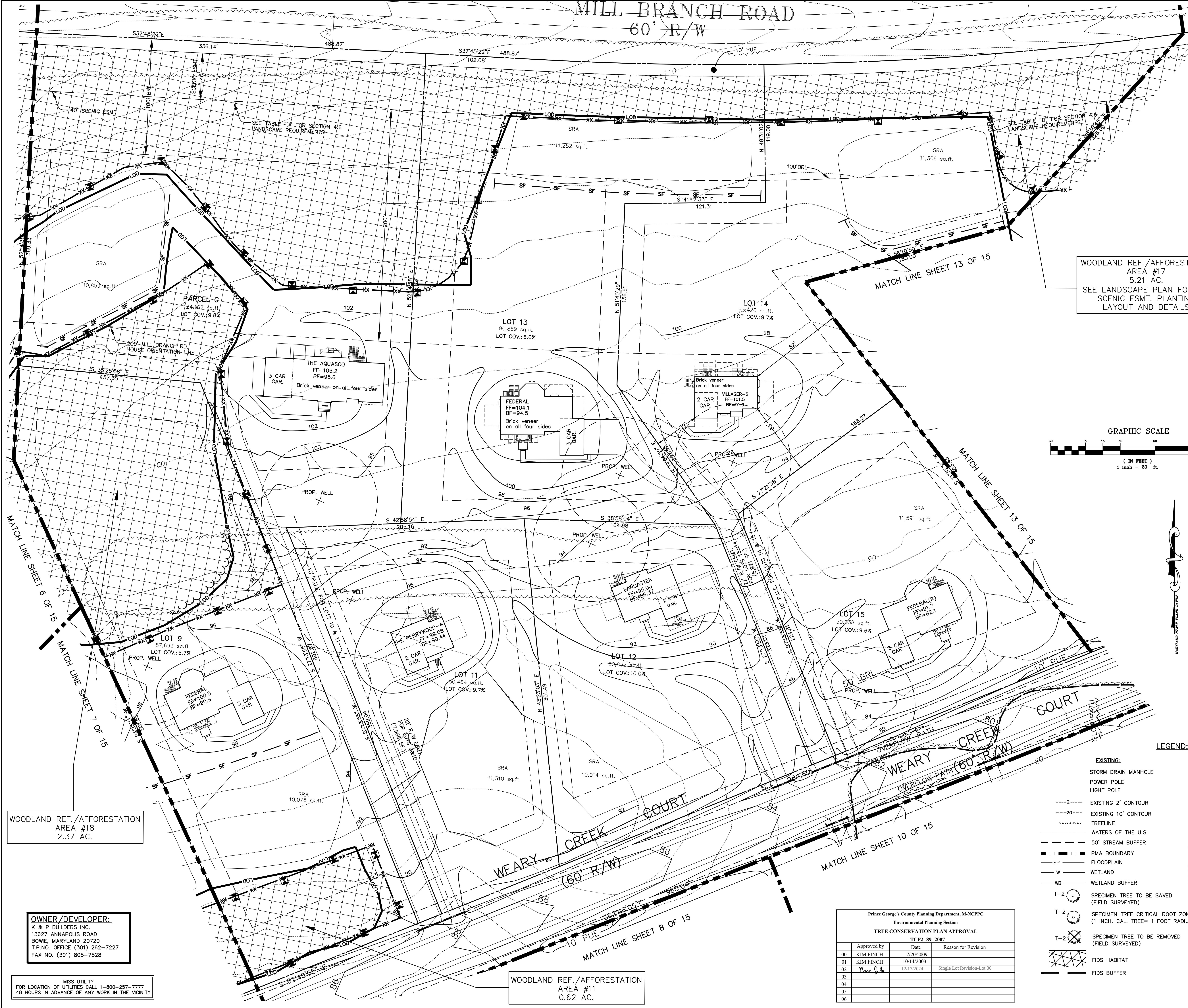
Prince George's County Planning Department, M-NCPPC Environmental Planning Section TREE CONSERVATION PLAN APPROVAL TCP2-89-2007		
Approved by	Date	Reason for Revision
00 KIM FINCH	2/20/2009	
01 KIM FINCH	10/14/2003	
02 Marc J. Lee	12/17/2004	Single Lot Revision-Lot 36
03		
04		
05		
06		

CAPITOL DEVELOPMENT DESIGN, INC.
ENGINEERS - PLANNERS - SURVEYOR'S
4600 POWDER MILL ROAD - SUITE 200 - BELTSVILLE, MD 20705
OFFICE (301) 937-3501 FAX (301) 937-3507

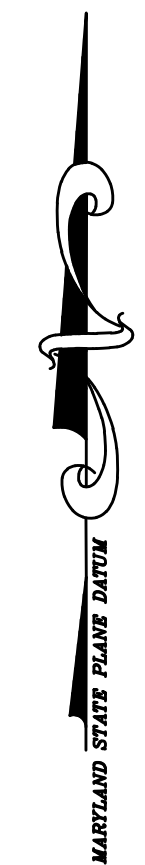
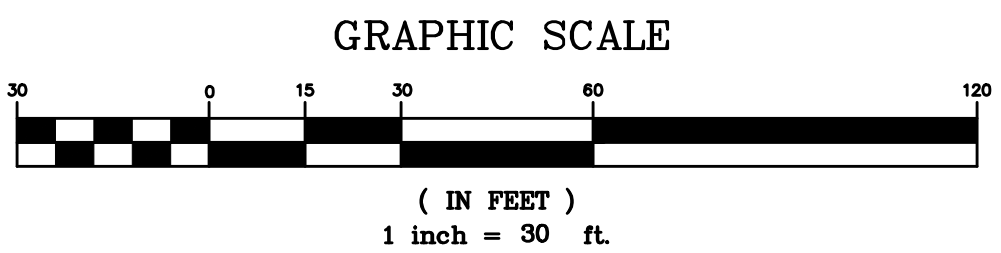
MILL BRANCH
QUEEN ANNE ELECTION DISTRICT 7
PRINCE GEORGE'S COUNTY, MARYLAND

TREE CONSERVATION PLAN-TYPE II

REVISIONS		
DATE:	JUNE, 2024	
DWN.	DS	CHECKED GB
SCALE:	1"=30'	
PROJECT/FILE NO.	02-083	
SHEET NO.	8 OF 15	



WOODLAND REF./AFFORESTATION
AREA #17
5.21 AC.
SEE LANDSCAPE PLAN FOR 40'
SCENIC ESMT. PLANTING
LAYOUT AND DETAILS



LEGEND:

- EXISTING:**
STORM DRAIN MANHOLE
POWER POLE
LIGHT POLE
---2--- EXISTING 2' CONTOUR
---20--- EXISTING 10' CONTOUR
TREELINE
WATERS OF THE U.S.
50' STREAM BUFFER
PMA BOUNDARY
FP FLOODPLAIN
W WETLAND
WB WETLAND BUFFER
T-2 SPECIMEN TREE TO BE SAVED (FIELD SURVEYED)
T-2 SPECIMEN TREE CRITICAL ROOT ZONE (1 INCH. CAL. TREE= 1 FOOT RADIUS)
T-2 X SPECIMEN TREE TO BE REMOVED (FIELD SURVEYED)
FIDS HABITAT
FIDS BUFFER
- PROPOSED:**
CATCH BASIN
YARD INLET
STORM DRAIN PIPE
TREE LINE
BUILDING RESTRICTION LINE(TYP.)
CONTOUR
BUILDING
LOD LIMIT OF DISTURBANCE
WOODLAND PRESERVATION AREA
WOODLAND AFFORESTATION/ REFORESTATION AREA
WOODLAND PRESERVATION FENCE (SEE DETAIL SHEET 15 OF 15)
WOODLAND PRESERVATION FENCE (SUPER SILT FENCE FROM SEDIMENT CONTROL PLAN)
WOODLAND AFFORESTATION/ REFORESTATION FENCE (SEE DETAIL SHEET 15 OF 15)
WOODLAND PRESERVATION/AFF. SIGN
WELL

WOODLAND REF./AFFORESTATION
AREA #18
2.37 AC.

OWNER/DEVELOPER:
K & P BUILDERS INC.
13627 ANNAPOLIS ROAD
BOWIE, MARYLAND 20720
T.P.NO. OFFICE (301) 262-7227
FAX NO. (301) 805-7528

MISS UTILITY
FOR LOCATION OF UTILITIES CALL 1-800-257-7777
48 HOURS IN ADVANCE OF ANY WORK IN THE VICINITY

WOODLAND REF./AFFORESTATION
AREA #11
0.62 AC.

Prince George's County Planning Department, M-NCPPC Environmental Planning Section TREE CONSERVATION PLAN APPROVAL TCP2-89-2007			
Approved by	Date	Reason for Revision	
00 KIM FINCH	2/20/2009		
01 KIM FINCH	10/14/2003		
02 <i>Blaise J. Jr.</i>	12/17/2024	Single Lot Revision-Lot 36	
03			
04			
05			
06			



CAPITOL DEVELOPMENT DESIGN, INC.
ENGINEERS - PLANNERS - SURVEYOR'S
4600 POWDER MILL ROAD - SUITE 200 - BELTSVILLE, MD 20705
OFFICE (301) 937-3507
FAX (301) 937-3507

MILL BRANCH
QUEEN ANNE ELECTION DISTRICT 7
PRINCE GEORGE'S COUNTY, MARYLAND

TREE CONSERVATION PLAN-TYPE II

REVISIONS	
11/25/08 REV. PER	
RESOLUTION COMM. MP	

DATE: JUNE, 2024	
DWN. DS	CHECKED GB
SCALE: 1"=30'	
PROJECT/FILE NO. 02-083	
SHEET NO. 9 OF 15	



WOODLAND REF./AFFORESTATION
AREA #14
0.10 AC.

WOODLAND PRESERVATION
AREA #3
12.15 AC.



CAPITOL DEVELOPMENT DESIGN, INC.
ENGINEERS — PLANNERS — SURVEYOR'S
4600 POWDER MILL ROAD — SUITE 200 — BELTSVILLE, MD 20705
OFFICE (301) 937-3501
FAX (301) 937-3507

MILL BRANCH
QUEEN ANNE ELECTION DISTRICT 7
PRINCE GEORGE'S COUNTY MARYLAND

TREETREE CONSERVATION PLAN-TYPE II

REVISIONS

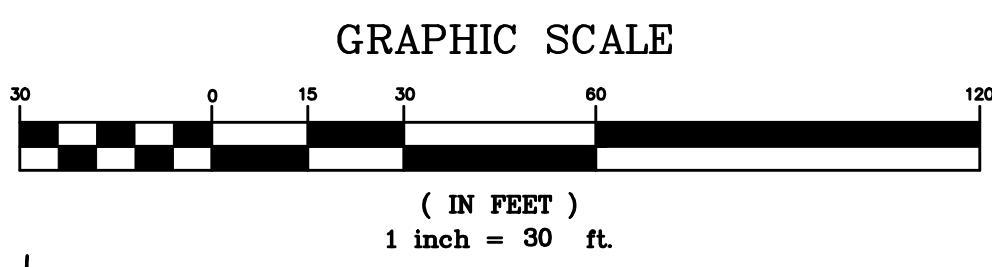
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OWNER/DEVELOPER:
K & P BUILDERS INC.
13627 ANNAPOLIS ROAD
BOWIE, MARYLAND 20720
T.P.NO. OFFICE (301) 262-7227
FAX NO. (301) 805-7528

MISS UTILITY
FOR LOCATION OF UTILITIES CALL 1-800-257-7777
48 HOURS IN ADVANCE OF ANY WORK IN THE VICINITY

WOODLAND PRESERVATION
AREA #5
0.04 AC.

Prince George's County Planning Department, M-NCPPC			
Environmental Planning Section			
TREE CONSERVATION PLAN APPROVAL			
TCP2-89-2007			
	Approved by	Date	Reason for Revision
00	KIM FINCH	2/20/2009	
01	KIM FINCH	10/14-2003	
02	<i>Kenzie J. J...</i>	12/17/2024	Single Lot Revision-Lot 36
03			
04			
05			
06			

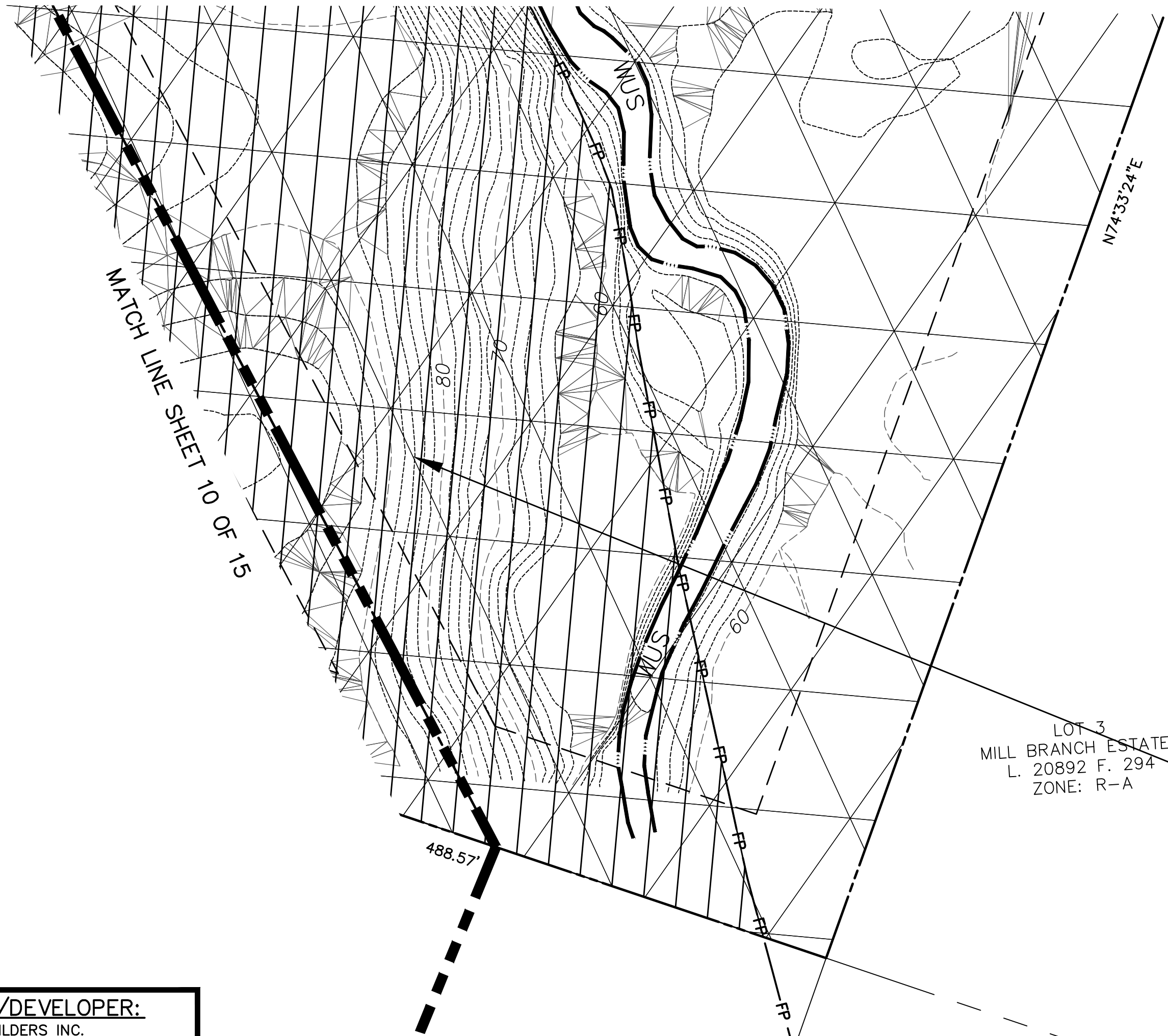


WOODLAND REF./AFFORESTATION
AREA #16
0.03 AC.

LEGEND:

- EXISTING:**
- ⊙ STORM DRAIN MANHOLE
 - ⊙ POWER POLE
 - ☆ LIGHT POLE
 - 2'--- EXISTING 2' CONTOUR
 - 20'--- EXISTING 10' CONTOUR
 - ~~~~~ TREELINE
 - WATERS OF THE U.S.
 - 50'--- 50' STREAM BUFFER
 - PMA--- PMA BOUNDARY
 - FP--- FLOODPLAIN
 - W--- WETLAND
 - WB--- WETLAND BUFFER
 - T-2 (○) SPECIMEN TREE TO BE SAVED (FIELD SURVEYED)
 - T-2 (○) SPECIMEN TREE CRITICAL ROOT ZONE (1 INCH. CAL. TREE= 1 FOOT RADIUS)
 - T-2 (⊗) SPECIMEN TREE TO BE REMOVED (FIELD SURVEYED)
 - ▨ FIDS HABITAT
 - FIDS BUFFER
- PROPOSED:**
- CATCH BASIN
 - YARD INLET
 - S Storm Drain Pipe
 - Tree Line
 - Building Restriction Line(TYP.)
 - 20'--- CONTOUR
 - Building
 - LOD --- LIMIT OF DISTURBANCE
 - ▨ WOODLAND PRESERVATION AREA
 - ▨ WOODLAND AFFORESTATION/ REFORESTATION AREA
 - X --- WOODLAND PRESERVATION FENCE (SEE DETAIL SHEET 14 OF 14)
 - SSF --- WOODLAND PRESERVATION FENCE: (SUPER SILT FENCE FROM SEDIMENT CONTROL PLAN)
 - XX --- WOODLAND AFFORESTATION/ REFORESTATION FENCE (SEE DETAIL SHEET 14 OF 14)
 - ▲ WOODLAND PRESERVATION SIGN
 - ▲ REFORESTATION/AFF. SIGN
 - ⊕ WELL

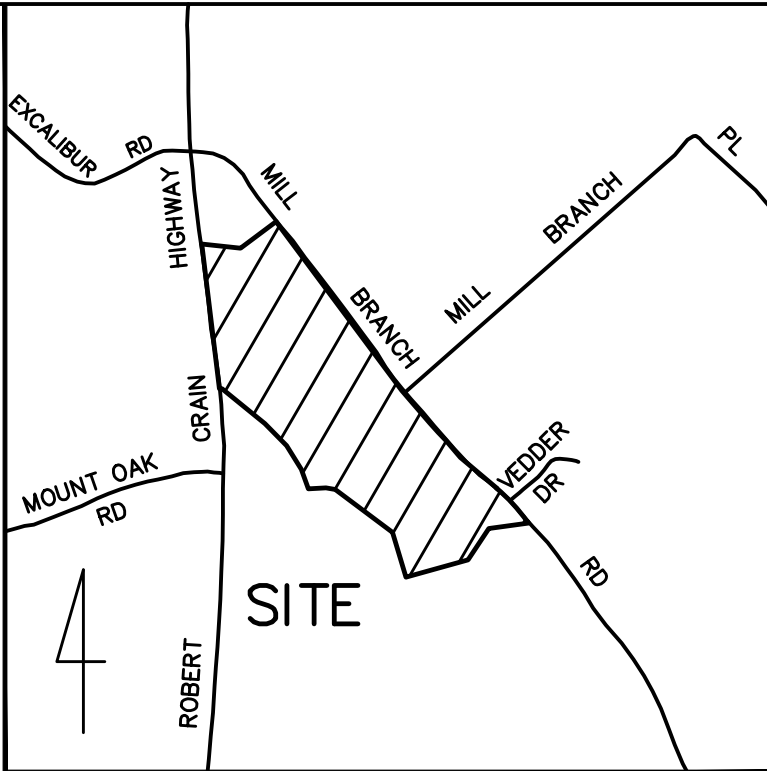
INSET 'A'



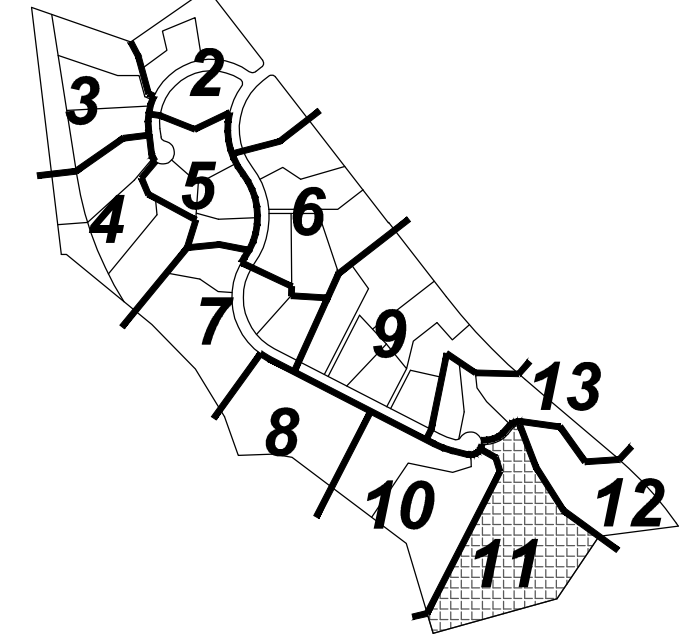
WOODLAND PRESERVATION
AREA #3
12.15 AC.

WOODLAND PRESERVATION
AREA #6
1.10 AC.

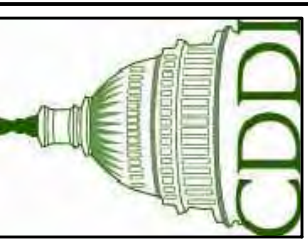
WOODLAND PRESERVATION
AREA #4
4.03 AC.



VICINITY MAP
SCALE: 1"=2000'



KEY PLAN
NOT TO SCALE



CAPITOL DEVELOPMENT DESIGN, INC.
ENGINEERS — PLANNERS — SURVEYOR'S
4800 POWDER MILL ROAD — SUITE 200 — BELTSVILLE, MD 20705
OFFICE (301) 937-3507

MILL BRANCH
QUEEN ANNE ELECTION DISTRICT 7
PRINCE GEORGE'S COUNTY, MARYLAND

TREE CONSERVATION PLAN—TYPE II

REVISIONS

DATE: JUNE, 2024	DWN.	CHECKED
DS	GB	
SCALE: 1"=30'		
PROJECT/FILE NO. 02-083		
SHEET NO. 11 OF 15		

Prince George's County Planning Department, M-NCPPC Environmental Planning Section TREE CONSERVATION PLAN APPROVAL TCP2-89-2007		
Approved by	Date	Reason for Revision
00 KIM FINCH	2/20/2009	
01 KIM FINCH	10/14/2003	
02 Marc J. In	12/17/2024	Single Lot Revision-Lot 36
03		
04		
05		
06		

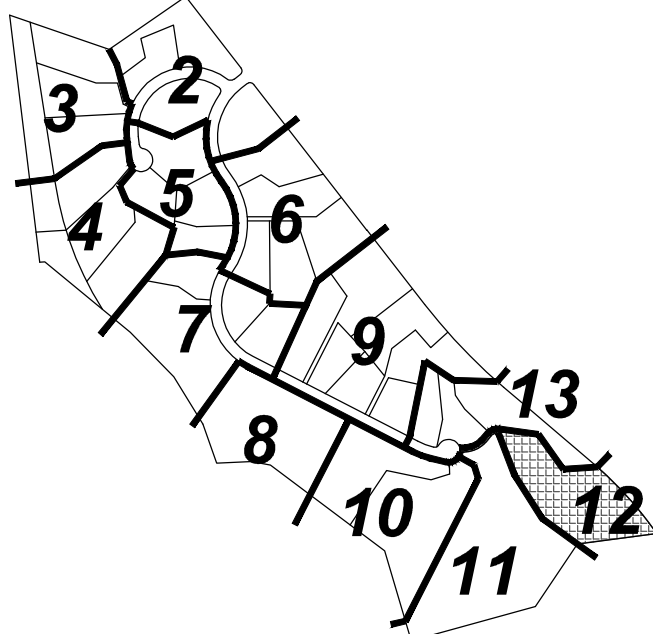
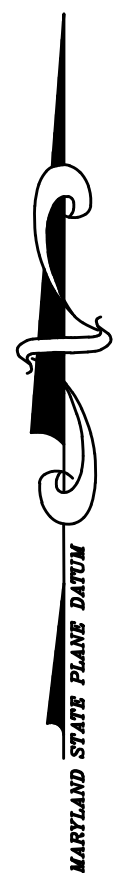
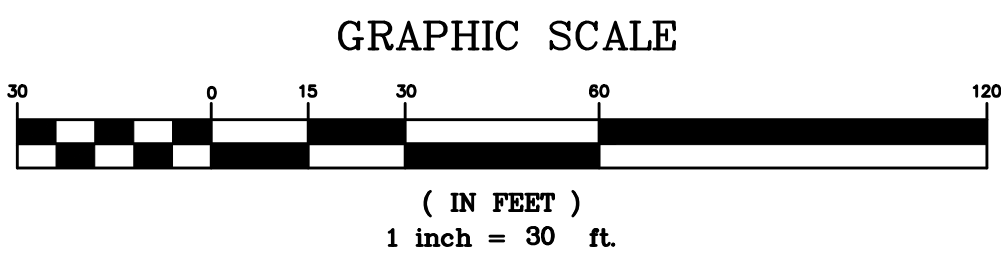
OWNER/DEVELOPER:
K & P BUILDERS INC.
13627 ANNAPOLIS ROAD
BOWIE, MARYLAND 20720
T.P.NO. OFFICE (301) 262-7227
FAX NO. (301) 805-7528

MISS UTILITY
FOR LOCATION OF UTILITIES CALL 1-800-257-7777
48 HOURS IN ADVANCE OF ANY WORK IN THE VICINITY

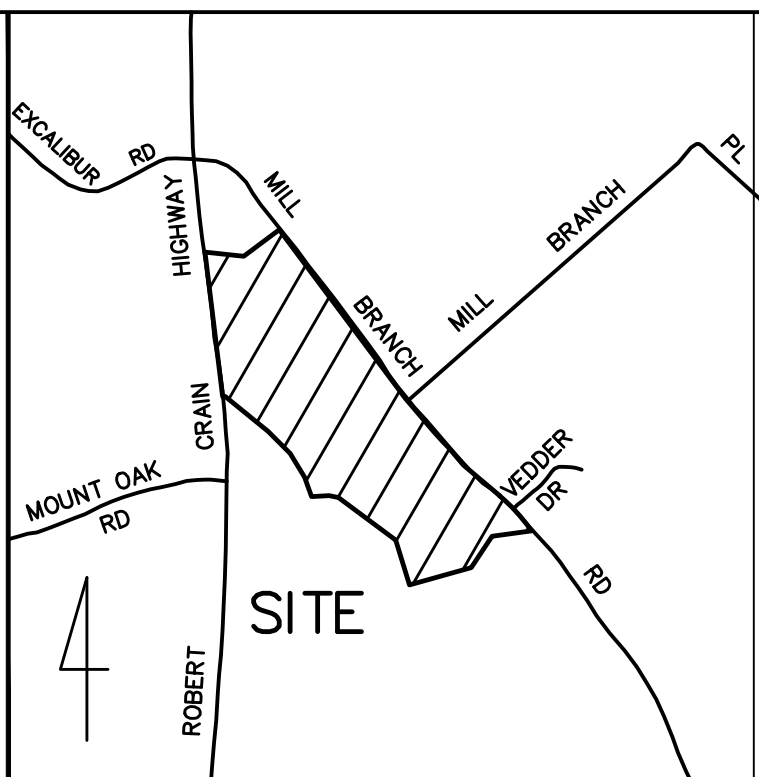
LOT 7
HIDDEN HILLS SUBDIVISION
L. 20883 F. 661
ZONE: R-A

LOT 3
MILL BRANCH ESTATES
L. 20892 F. 294
ZONE: R-A

MATCH LINE
SEE INSET 'A' THIS SHEET



KEY PLAN
NOT TO SCALE



VICINITY MAP
SCALE: 1"=2000'

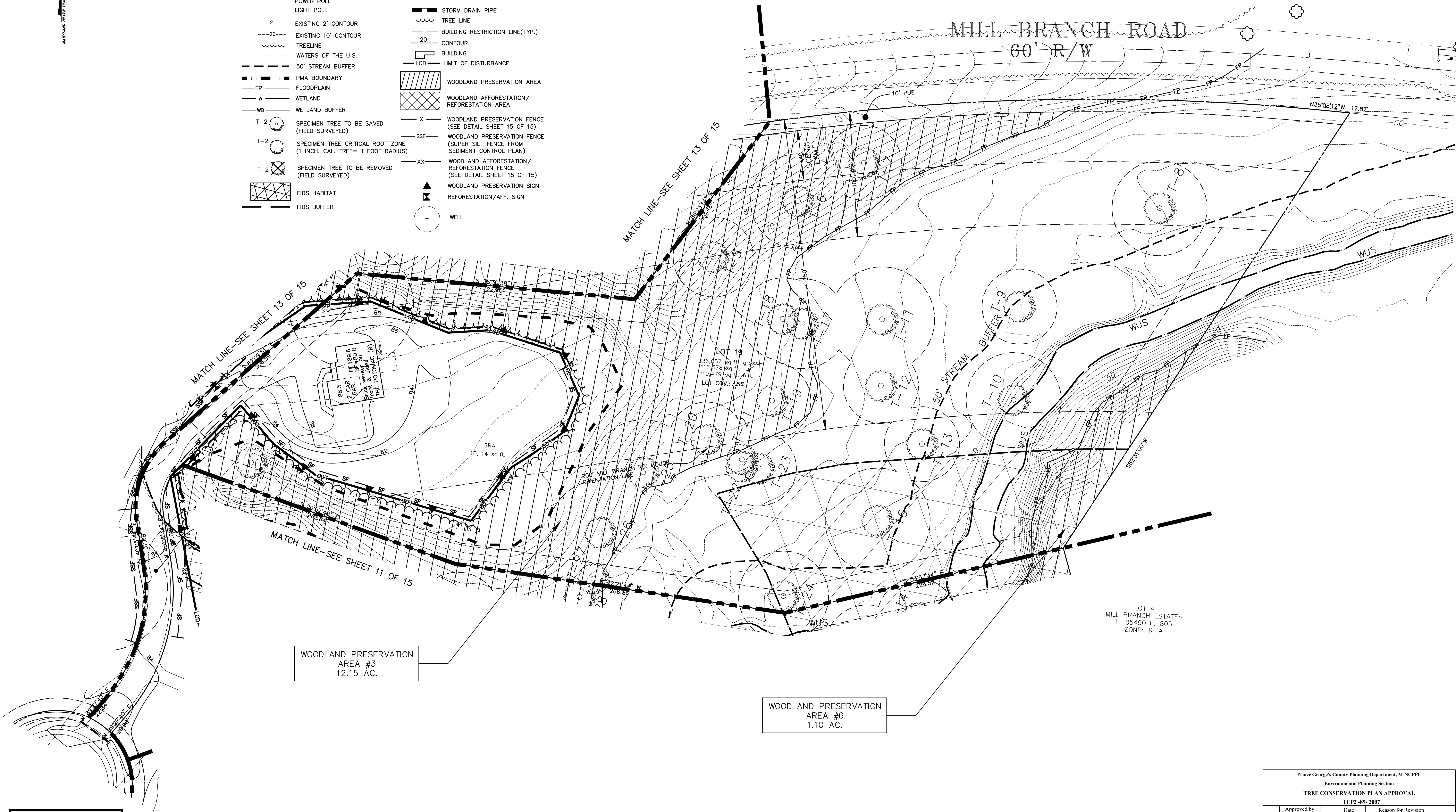


CAPITOL DEVELOPMENT DESIGN, INC.
ENGINEERS - PLANNERS - SURVEYORS
4600 POWERS MILL ROAD - SUITE 200 - BELTSVILLE, MD 20705
OFFICE (301) 937-3507

MILL BRANCH
QUEEN ANNE ELECTION DISTRICT 7
PRINCE GEORGE'S COUNTY, MARYLAND

TREE CONSERVATION PLAN-TYPE II

- LEGEND:**
- EXISTING:**
- STORM DRAIN MANHOLE
 - POWER POLE
 - LIGHT POLE
 - 2--- EXISTING 2' CONTOUR
 - 20--- EXISTING 10' CONTOUR
 - TREELINE
 - WATERS OF THE U.S.
 - 50' STREAM BUFFER
 - PMA BOUNDARY
 - FP FLOODPLAIN
 - W WETLAND
 - WB WETLAND BUFFER
 - T-2 SPECIMEN TREE TO BE SAVED (FIELD SURVEYED)
 - T-2 SPECIMEN TREE CRITICAL ROOT ZONE (1 INCH. CAL. TREE= 1 FOOT RADIUS)
 - T-2 SPECIMEN TREE TO BE REMOVED (FIELD SURVEYED)
 - FIDS HABITAT
 - FIDS BUFFER
- PROPOSED:**
- CATCH BASIN
 - YARD INLET
 - STORM DRAIN PIPE
 - TREE LINE
 - BUILDING RESTRICTION LINE(TYP.)
 - 20' CONTOUR
 - BUILDING
 - LOD LIMIT OF DISTURBANCE
 - WOODLAND PRESERVATION AREA
 - WOODLAND AFFORESTATION/ REFORESTATION AREA
 - X WOODLAND PRESERVATION FENCE (SEE DETAIL SHEET 15 OF 15)
 - SSF WOODLAND PRESERVATION FENCE: (SUPER SILT FENCE FROM SEDIMENT CONTROL PLAN)
 - XX WOODLAND AFFORESTATION/ REFORESTATION FENCE (SEE DETAIL SHEET 15 OF 15)
 - WOODLAND PRESERVATION SIGN
 - REFORESTATION/AFF. SIGN
 - WELL



OWNER/DEVELOPER:
K & P BUILDERS INC.
13627 ANNAPOLIS ROAD
BOWIE, MARYLAND 20720
T.P.NO. OFFICE (301) 262-7227
FAX NO. (301) 805-7528

FOR LOCATION OF MISS UTILITY
UTILITIES CALL 1-800-257-7777
48 HOURS IN ADVANCE OF ANY WORK IN THE VICINITY

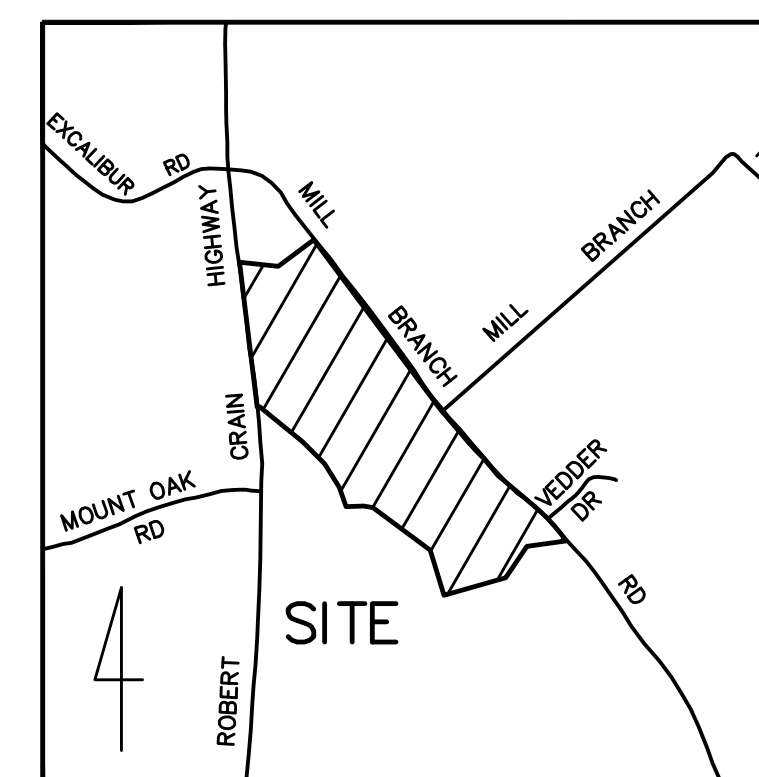
Prince George's County Planning Department, M-NCPPC Environmental Planning Section TREE CONSERVATION PLAN APPROVAL TCP2-89-2007			
Approved by	Date	Reason for Revision	
00 KIM FINCH	2/20/2009		
01 KIM FINCH	10/14/2003		
02 <i>None</i>	12/17/2024	Single Lot Revision-Lot 36	
03			
04			
05			
06			

REVISIONS

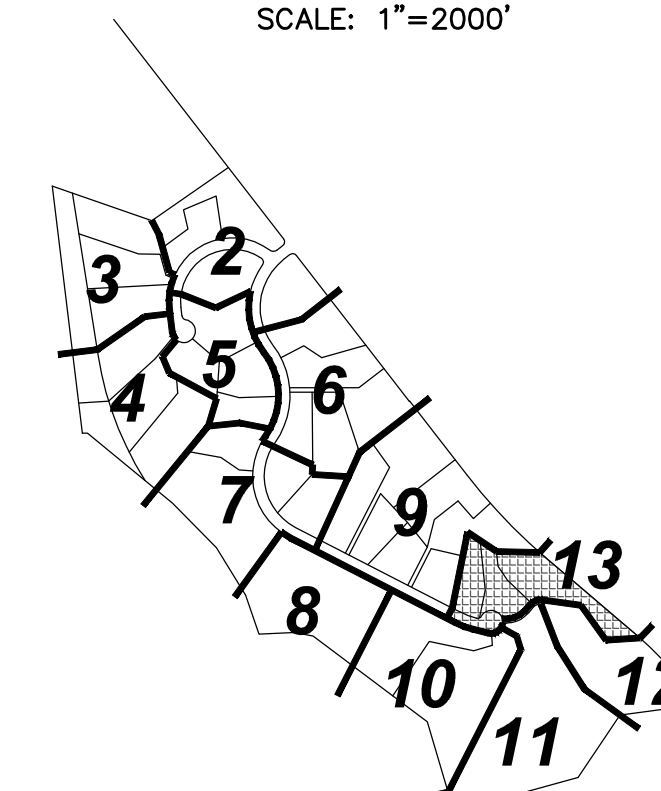
DATE: JUNE, 2024	DWN.	DS	CHECKED	GB
SCALE: 1"=30'				
PROJECT/FILE NO. 02-083				
SHEET NO. 12 OF 15				



WOODLAND PRESERVATION
AREA #3
12.15 AC.



VICINITY MAP
SCALE: 1"=2000'



KEY PLAN
NOT TO SCALE



CAPITOL DEVELOPMENT DESIGN, INC.
ENGINEERS – PLANNERS – SURVEYOR'S

4600 POWDER MILL ROAD – SUITE 200 – BELTSVILLE, MD 20705
OFFICE (301) 937-3501 FAX (301) 937-3507

MILL BRANCH

QUEEN ANNE ELECTION DISTRICT 7
PRINCE GEORGE'S COUNTY, MARYLAND

TREE CONSERVATION PLAN—TYPE II

REVISIONS

[illegible]

DATE: JUNE. 2024	
DWN.	CHECKED

SCALE: 1" = 30'

PROJECT/FILE NO.	02-083
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SHEET NO.
13 OF 15

	Approved by	Date	Reason for Revision
00	KIM FINCH	2/20/2009	
01	KIM FINCH	10/14/2003	
02	<i>Mace J.S.</i>	12/17/2024	Single Lot Revision-Lot 36
03			
04			
05			
06			

OWNER/DEVELOPER:
K & P BUILDERS INC.
13627 ANNAPOLIS ROAD
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MISS UTILITY
FOR LOCATION OF UTILITIES CALL 1-800-257-7777
48 HOURS IN ADVANCE OF ANY WORK IN THE VICINITY



CAPITOL DEVELOPMENT DESIGN, INC.
PLANNERS - SURVEYORS
ENGINEERS -

4600 POWDERMILL ROAD - SUITE 200 - BELTSVILLE, MD 20705
OFFICE (301) 937-3501

MILL BRANCH

QUEEN ANNE ELECTION DISTRICT 7
PRINCE GEORGE'S COUNTY, MARYLAND

TREE CONSERVATION PLAN TYPE II
NOTES AND DETAIL SHEET

REVISIONS

11/25/08 REV. PER
RESOLUTION COMM. MF
6/14/24 - REVISED
REFORESTATION AREA
ON LOT 36

DATE: DEC. 2024

DWN. DS CHECKED GB

SCALE: N/A

PROJECT/FILE NO. 02-083

SHEET NO. 14 OF 15

REFORESTATION/AFFORESTATION PLANTING SCHEDULES

REFORESTATION/AFFORESTATION PLANTING SCHEDULE (AREA #1)						
BOTANICAL NAME	COMMON NAME	2 1/2"-3" CAL. STOCK	7-9" HT. STOCK	6-8" HT. STOCK	SEEDLING QUANTITY	TOTAL SEEDLINGS EQUIVALENCY
Acer rubrum	Red Maple	130			15	158
Liriodendron tulipifera	Tulip Poplar	130			15	152
Ilex opaca	American Holly		3		130	148
Fagus grandifolia	American Beech				130	145
Fraxinus pennsylvanica	Green Ash				130	145
Cornus florida	Dogwood		5		130	145
Quercus palustris	Pin Oak	8				8
Quercus coccinea	Scarlet Oak	7				3
Quercus alba	White Oak	7				7
Nyssa sylvatica	Black Tupelo	15				15
Carpinus caroliniana	American Hornbeam		2			2
Cercis canadensis	Redbud		2			2
Pinus strobus	White Pine		8			8
Thuja occidentalis	Arbovitae			25		25
TOTAL		53	9	36	780	898
REFORESTATION/AFF. CREDIT AREAS		0.265	0.03	0.11	0.78	1.36

TOTAL REFORESTATION/AFF. ACRES = 1.36 AC.

NOTE: 2 1/2"-3" CAL. STOCK CREDITED AT 200/ACRE; 7-9" HT. STOCK & 6-8" HT. STOCK CREDITED AT 333/ACRE.

SEEDLINGS CREDITED AT 1000/ACRE; 1" CAL. STOCK CREDITED AT 500/ACRE.

SEEDLINGS AND 1" CAL. STOCK TO BE LOCATED OUTSIDE OF 40' SCENIC ESMT. CONCENTRATE 1" CAL. STOCK AROUND PERIMETER OF AFFORESTATION AREAS ADJACENT TO DISTURBED OR OPEN AREAS.

SEEDLING AND STOCK PLANTED IN RANDOM DISTRIBUTION PATTERN (SEE DETAIL).

SEE LANDSCAPE PLAN FOR LOCATION OF 2 1/2"-3" CAL. 7-9" HT. STOCK & 6-8" HT. STOCK WITHIN THE SCENIC ESMT.

REFORESTATION/AFFORESTATION PLANTING SCHEDULE (AREA #2)				
BOTANICAL NAME	COMMON NAME	SEEDLING QUANTITY	1" CAL. STOCK	TOTAL SEEDLINGS EQUIVALENCY
Acer rubrum	Red Maple	77	10	87
Liriodendron tulipifera	Tulip Poplar	74	10	84
Ilex opaca	American Holly	74	10	84
Fagus grandifolia	American Beech	74	10	84
Fraxinus pennsylvanica	Green Ash	75	10	85
Cornus florida	Dogwood	76	10	86
TOTAL		450	60	510
REFORESTATION/AFF. CREDIT AREAS		0.45	0.12	0.57

REFORESTATION/AFFORESTATION PLANTING SCHEDULE (AREA #3)				
BOTANICAL NAME	COMMON NAME	SEEDLING QUANTITY	1" CAL STOCK	TOTAL SEEDLINGS EQUIVALENCY
Acer rubrum	Red Maple	33	5	38
Liriodendron tulipifera	Tulip Poplar	33	4	37
Ilex opaca	American Holly	34	4	38
Fagus grandifolia	American Beech	34	4	38
Fraxinus pennsylvanica	Green Ash	33	4	37
Cornus florida	Dogwood	33	4	37
TOTAL		200	25	225
REFORESTATION/AFF.	CREDIT AREAS	0.2	0.05	0.25

REFORESTATION/AFF. PLANTING SCHEDULE (AREA #4)				
BOTANICAL NAME	COMMON NAME	SEEDLING QUANTITY	1" CAL. STOCK	TOTAL SEEDLING EQUIVALENCY
Acer rubrum	Red Maple	85	15	100
Liriodendron tulipifera	Tulip Poplar	85	15	100
Ilex opaca	American Holly	85	15	100
Fagus grandifolia	American Beech	85	15	100
Fraxinus pennsylvanica	Green Ash	85	15	100
Cornus florida	Dogwood	85	15	100
TOTAL		510	90	600
REFORESTATION/AFF. CREDIT AREAS		0.51	0.15	0.66

REFORESTATION/AFF. PLANTING SCHEDULE (AREA #5)				
BOTANICAL NAME	COMMON NAME	SEEDLING QUANTITY	1" CAL. STOCK	TOTAL SEEDLING EQUIVALENCY
Acer rubrum	Red Maple	49	6	55
Liriodendron tulipifera	Tulip Poplar	49	6	55
Ilex opaca	American Holly	50	6	56
Fagus grandifolia	American Beech	50	6	56
Fraxinus pennsylvanica	Green Ash	50	6	56
Cornus florida	Dogwood	50	6	56
TOTAL		298	36	278
REFORESTATION/AFF.	CREDIT AREAS	0.298	0.072	0.37

REFORESTATION/AFFORESTATION PLANTING SCHEDULE (AREA #6)				
BOTANICAL NAME	COMMON NAME	SEEDLING QUANTITY	1" CAL. STOCK	TOTAL SEEDLINGS EQUIVALENCY
Acer rubrum	Red Maple	12	2	14
Liriodendron tulipifera	Tulip Poplar	12	2	14
Ilex opaca	American Holly	13	2	15
Fagus grandifolia	American Beech	13	2	15
Fraxinus pennsylvanica	Green Ash	13	2	15
Cornus florida	Dogwood	13	2	15
TOTAL		76	12	88
AFFORESTATION/REF.	CREDIT AREAS	0.076	0.024	0.10

REFORESTATION/AFFORESTATION PLANTING SCHEDULE (AREA #7)				
BOTANICAL NAME	COMMON NAME	SEEDLING QUANTITY	1" CAL. STOCK	TOTAL SEEDLINGS EQUIVALENCY
Acer rubrum	Red Maple	13	2	15
Liriodendron tulipifera	Tulip Poplar	13	2	15
Ilex opaca	American Holly	13	2	15
Fagus grandifolia	American Beech	13	2	15
Fraxinus pennsylvanica	Green Ash	12	2	14
Cornus florida	Dogwood	12	2	14
TOTAL		76	12	88
AFFORESTATION CREDIT AREAS		0.076	0.024	0.10

REFORESTATION/AFFORESTATION PLANTING SCHEDULE (AREA #8)				
BOTANICAL NAME	COMMON NAME	SEEDLING QUANTITY	1" CAL. STOCK	TOTAL SEEDLINGS EQUIVALENCY
Acer rubrum	Red Maple	21	4	25
Liriodendron tulipifera	Tulip Poplar	21	4	25
Ilex opaca	American Holly	20	4	24
Fagus grandifolia	American Beech	20	4	24
Fraxinus pennsylvanica	Green Ash	20	4	24
Cornus florida	Dogwood	20	4	24
TOTAL		122	24	146
REFORESTATION/AFF. CREDIT AREAS		0.122	0.048	0.17

TOTAL REFORESTATION/AFF. ACRES = 0.17 AC.

NOTE: SEEDLINGS CREDITED AT 1000 PER ACRE AND 1" STOCK CREDITED AT 500 PER ACRE.

AC. PRIORITY LOCATION FOR 1" STOCK ALONG PERIMETER OF AFFORESTATION AREAS ADJACENT TO DISTURBED OR OPEN AREAS.

SEEDLING AND STOCK PLANTED IN RANDOM DISTRIBUTION PATTERN (SEE DETAIL).

REFORESTATION/AFFORESTATION PLANTING SCHEDULE (AREA #9)				
BOTANICAL NAME	COMMON NAME	SEEDLING QUANTITY	1" CAL. STOCK	TOTAL SEEDLINGS EQUIVALENCY
Acer rubrum	Red Maple	21	4	25
Liriodendron tulipifera	Tulip Poplar	21	4	25
Ilex opaca	American Holly	20	4	24
Fagus grandifolia	American Beech	20	4	24
Fraxinus pennsylvanica	Green Ash	20	4	24
Cornus florida	Dogwood	20	4	24
TOTAL		122	24	146
REFORESTATION/AFF. CREDIT AREAS		0.122	0.048	0.17

TOTAL REFORESTATION/AFF. ACRES = 0.17 AC.

NOTE: SEEDLINGS CREDITED AT 1000 PER ACRE AND 1" STOCK CREDITED AT 500 PER ACRE.

AC. PRIORITY LOCATION FOR 1" STOCK ALONG PERIMETER OF AFFORESTATION AREAS ADJACENT TO DISTURBED OR OPEN AREAS.

SEEDLING AND STOCK PLANTED IN RANDOM DISTRIBUTION PATTERN (SEE DETAIL).

REFORESTATION/AFFORESTATION PLANTING SCHEDULE (AREA #9)				
BOTANICAL NAME	COMMON NAME	SEEDLING QUANTITY	1" CAL. STOCK	TOTAL SEEDLINGS EQUIVALENCY
Acer rubrum	Red Maple	41	5	46
Liriodendron tulipifera	Tulip Poplar	41	5	46
Ilex opaca	American Holly	42	5	47
Fagus grandifolia	American Beech	42	5	47
Fraxinus pennsylvanica	Green Ash	42	5	47
Cornus florida	Dogwood	42	5	47
TOTAL		250	30	280
REFORESTATION/AFF. CREDIT AREAS		0.25	0.06	0.31

REFORESTATION/AFF. PLANTING SCHEDULE (AREA #10)				
BOTANICAL NAME	COMMON NAME	SEEDLING QUANTITY	1" CAL. STOCK	TOTAL SEEDLING EQUIVALENCY
Acer rubrum	Red Maple	66	7	73
Liriodendron tulipifera	Tulip Poplar	66	7	73
Ilex opaca	American Holly	66	7	73
Fagus grandifolia	American Beech	66	7	73
Fraxinus pennsylvanica	Green Ash	66	7	73
Cornus florida	Flowering Dogwood	66	7	73
TOTAL		396	42	438
REFORESTATION/AFF. CREDIT AREAS		0.396	0.084	0.48

REFORESTATION/AFF. PLANTING SCHEDULE (AREA #11)				
BOTANICAL NAME	COMMON NAME	SEEDLING QUANTITY	1" CAL. STOCK	TOTAL SEEDLING EQUIVALENCY
Acer rubrum	Red Maple	85	10	95
Liriodendron tulipifera	Tulip Poplar	85	9	94
Ilex opaca	American Holly	85	9	94
Fagus grandifolia	American Beech	85	9	94
Fraxinus pennsylvanica	Green Ash	85	9	94
Cornus florida	Flowering Dogwood	85	9	94
TOTAL		510	55	565
REFORESTATION/AFF. CREDIT AREAS		0.51	0.11	0.62

REFORESTATION/AFF. PLANTING SCHEDULE (AREA #12)				
BOTANICAL NAME	COMMON NAME	SEEDLING QUANTITY	1" CAL. STOCK	TOTAL SEEDLINGS EQUIVALENCY
Acer rubrum	Red Maple	28	3	31
Liriodendron tulipifera	Tulip Poplar	28	3	31
Ilex opaca	American Holly	27	3	30
Fagus grandifolia	American Beech	27	3	30
Fraxinus pennsylvanica	Green Ash	27	3	30
Cornus florida	Flowering Dogwood	27	3	30
TOTAL		164	18	182

REFORESTATION/AFF. PLANTING SCHEDULE (AREA #13)				
BOTANICAL NAME	COMMON NAME	SEEDLING QUANTITY	1" CAL. STOCK	TOTAL SEEDLINGS EQUIVALENCY
Acer rubrum	Red Maple	100	11	111
Liriodendron tulipifera	Tulip Poplar	100	11	111
Ilex opaca	American Holly	100	11	111
Fagus grandifolia	American Beech	100	11	111
Fraxinus pennsylvanica	Green Ash	100	11	111
Cornus florida	Flowering Dogwood	100	10	110
		600	65	665

SEEDLING AND STOCK PLANTED IN RANDOM DISTRIBUTION PATTERN (SEE DETAIL)				
REFORESTATION/AFF. PLANTING SCHEDULE (AREA #14)				
BOTANICAL NAME	COMMON NAME	SEEDLING QUANTITY	1" CAL. STOCK	TOTAL SEEDLING EQUIVALENCY
Acer rubrum	Red Maple	13	2	15
Liriodendron tulipifera	Tulip Poplar	13	2	15
Ilex opaca	American Holly	13	2	15
Fagus grandifolia	American Beech	13	2	15
Fraxinus pennsylvanica	Green Ash	13	1	14

AREAS ADJACENT TO DISTURBED OR OPEN AREAS				
SEEDLING AND STOCK PLANTED IN RANDOM DISTRIBUTION PATTERN (SEE DETAIL)				
REFORESTATION/AFF. PLANTING SCHEDULE (AREA #15)				
BOTANICAL NAME	COMMON NAME	SEEDLING QUANTITY	1" CAL. STOCK	TOTAL SEEDLING EQUIVALENCY
Acer rubrum	Red Maple	18	2	20
Liriodendron tulipifera	Tulip Poplar	18	2	20
Ilex opaca	American Holly	18	2	20
Fagus grandifolia	American Beech	18	2	20

NOTE: SEEDLINGS CREDITED AT 1000 PER ACRE AND 1" STOCK CREDITED AT 500 PER ACRE. PRIORITY LOCATION FOR 1" STOCK ALONG PERIMETER OF AFFORESTATION AREAS ADJACENT TO DISTURBED OR OPEN AREAS.

SEEDLING AND STOCK PLANTED IN RANDOM DISTRIBUTION PATTERN (SEE DETAIL).

REFORESTATION/AFF. PLANTING SCHEDULE (AREA #16)				
BOTANICAL NAME	COMMON NAME	SEEDLING QUANTITY	1" CAL. STOCK	TOTAL SEEDLING EQUIVALENCY
Acer rubrum	Red Maple	3	1	4
Liriodendron tulipifera	Tulip Poplar	3	1	4
Ilex opaca	American Holly	3	1	4
Fagus grandifolia	American Beech	3	1	4
Fraxinus pennsylvanica	Green Ash	3	1	4
Cornus florida	Flowering Dogwood	3	1	4
TOTAL		18	6	24
REFORESTATION/AFF. CREDIT AREAS		0.018	0.012	0.03

TOTAL REFORESTATION/AFF. ACRES = 0.03 AC.

NOTE: SEEDLINGS CREDITED AT 1000 PER ACRE AND 1" STOCK CREDITED AT 500 PER AC. PRIORITY LOCATION FOR 1" STOCK ALONG PERIMETER OF AFFORESTATION AREAS ADJACENT TO DISTURBED OR OPEN AREAS.
SEEDLING AND STOCK PLANTED IN RANDOM DISTRIBUTION PATTERN (SEE DETAIL).

QUALIFIED PROFESSIONAL CERTIFICATION

THIS PLAN COMPLIES WITH THE CURRENT REQUIREMENTS OF
SUBTITLE 25 AND THE WOOD LAND WILDLIFE

TCP NOTES

- Cutting or clearing of woodland not in conformance with this plan or without the express written consent of the Planning Director or designee shall be subject to a \$1.50 per square foot mitigation fee.
- The Department of Environmental Resources shall be contacted prior to the start of any work on the site to address implementation of Tree Conservation measures shown on this plan.
- Property owners shall be notified by the Developer or contractor of any Woodland Conservation Areas (Tree Save Areas, Reforestation Areas, Afforestation Areas, or Selective Clearing Areas) located on their lot or parcel of land and the associated fines for unauthorized disturbances to these areas. Upon the sale of the property the owner/developer or owners representative shall notify the purchaser of the property of any Woodland Conservation Areas.
- All appropriate bonds will be posted with the Building Official prior to the issuance of any permits. These bonds will be retained as surety by the building official until all required activities have been satisfied.
- The location of all Tree Protection Devices(TPD's) shown on this plan shall be flagged or staked prior to the pre-construction meeting with the Sediment and Erosion Control Inspector from DER. Upon approval of the flagged or staked TPD locations by the Forest Resources Unit, installation of the TPD's may begin. TPD installation shall be completed prior to the installation of initial sediment controls. No cutting or clearing of trees may begin before final approval of TPD installation.

WOODLAND CONSERVATION AREA MANAGEMENT NOTES

Removal of Hazardous Trees or Hazardous Limbs By Developers or Builders

The developer and/or builder is responsible for the complete preservation of all forested areas shown on the approved plan to remain undisturbed. Only trees or parts thereof designated by the Department of Environmental Resources as dead, dying, or hazardous may be removed.

- A tree is considered hazardous if a condition is present which leads a Licensed Arborist or a Licensed Tree Expert to believe that the tree or portion of the tree has a potential to fall and strike a structure, parking area, or other high use area and result in personal injury or property damage.
- If a hazardous condition may be alleviated by corrective pruning, the Licensed Arborist or a Licensed Tree Expert may proceed without further authorization. The pruning must be done in accordance with the latest edition of the ANSI A-300 Pruning Standards, Tree, Shrub, and Other Woody Plant Maintenance-Standard Practices.)
- Corrective measures requiring the removal of the hazardous tree or portions thereof shall require authorization by the building or grading inspector if there is a valid grading or building permit for the subject lots or parcels on which the trees are located. Only after approval by the appropriate inspector may the tree be cut by the chainsaw to near the existing ground level. The stump or p may not be removed or covered with soil, mulch, or other materials that would inhibit sprouting.
- Debris from the tree removal or pruning that occurs within 35 feet of the woodland edge may be removed and properly disposed of by recycling, chipping or other acceptable methods. All debris that is more than 35 feet from the woodland edge shall be cut up to allow contact with the ground, thus encouraging decomposition. The smaller materials shall be placed into brush piles that will serve as wildlife habitat.

Removal of Hazardous Trees, Hazardous Limbs, Noxious Plants, or Non- Native Plants in Woodland Conservation Areas Owned by Individual Homeowners

- If the developer or builder no longer has an interest in the property, the home owner shall obtain a written statement from the Licensed Arborist or Licensed Tree Expert identifying the hazardous condition and proposed corrective measures prior to having the work conducted. The tree may then be removed by the arborist or tree expert. The stump shall be cut as close to the ground as possible and left in place. The removal or grinding of the stumps in the woodland conservation area is not permitted.
- The removal of noxious, invasive, and non-native plant species from the woodland conservation areas may be done with the use of hand-held equipment only, such as pruners or a chain saw. These plants may be cut near the ground and the material less than two inches diameter may be removed from the area and disposed of appropriately. All material from these noxious, invasive, and non-native plants greater than two (2) inches diameter shall be cut to allow contact with the ground, thus encouraging decomposition.
- The use of broadcast spraying of herbicides is not permitted. However, the use of herbicides to discourage re-sprouting of invasive, noxious or non-native plants is permitted if done as an application of the chemical directly to the cut stump immediately following cutting of plant tops. The use of any herbicide shall be done accordance with the label instructions.

Note: The use of chainsaws is extremely dangerous and should not be conducted with poorly maintained equipment, without safety equipment, or by individuals not trained in the use of this equipment for the pruning/and or cutting of trees.

Protection of Reforestation and Afforestation Areas by Developers or Builders

- Reforestation and afforestation areas shall be planted prior to the occupancy of the nearest building or residence. If planting cannot occur due to planting conditions, the developer or property owner shall install the fencing and signage in accordance with the Type II Tree Conservation Plan. Planting shall then be accomplished during the next planting season. If planting is delayed beyond the transfer of the property title, to the homeowner, the developer shall obtain a signed statement from the purchaser indicating that they understand that the reforestation area is located on their property and that reforestation will occur during the next planting season. A copy of that document shall be presented to the Grading Inspector and the Environmental Planning Section.

- Reforestation areas shall not be mowed, however, the management of competing vegetation around individual trees is acceptable.

Protection of Reforestation and Afforestation Areas by Individual Homeowners

- Reforestation fencing and signage shall remain in place in accordance with the approved Type II Tree Conservation Plan or until the trees have grown sufficiently to have crown closure.
- Reforestation areas shall not be mowed, however, the management of competing vegetation around individual trees is acceptable.

Woodland Areas NOT Counted as Part of the Woodland Conservation Requirements

- A revised Tree Conservation Plan is required prior to clearing any woodland area which is not specifically identified to be cleared on the most recently approved Type II Tree Conservation Plan (TCP) on file in the office of the M-NCPPC, Environmental Planning Section located on the 4th floor of the County Administration Building located at 14741 Governor Oden Bowie Drive, Upper Marlboro, Maryland 20772, phone 301-952-3650. Additional mitigation will be required for the clearing of all woodlands beyond that reflected on the approved plans. Although clearing may be allowed, it may be subject to additional replacement requirements, mitigation, and fees which must be reflected on TCP revisions approved by the M-NCPPC Environmental Planning Section.
- Homeowners or property owners may remove trees less than two (2) inches diameter, shrubs, and vines in woodland areas which are saved but not part of the Woodland Conservation requirements after all permits have been released for the subject property. This area may not be tilled or have other ground disturbances which would result in damage to the tree roots. Raking the leaves and overseeding with native grasses, native flowers or native ground covers is acceptable. Seeding with invasive grasses including any variety of Kentucky 31 fescue is not acceptable.

QUALIFIED PROFESSIONAL CERTIFICATION

THIS PLAN COMPLIES WITH THE CURRENT REQUIREMENTS OF SUBTITLE 25 AND THE WOOD LAND WILDLIFE

SIGNED:  12-13-2024
DATE
MILTON M. PEREZ

POWDER MILL ROAD - SUITE 200 - BELTSVILLE, MD 20705
PHONE (301) 937-3501, EMAIL: PEREZ@CDDI.NET
QUALIFIED PROFESSIONAL

OWNER/DEVELOPER:

K & P BUILDERS INC.
13627 ANNAPOLIS ROAD
BOWIE, MARYLAND 20720
T.P.NO. OFFICE (301) 262-7227
FAX NO. (301) 805-7528

5 YEAR MANAGEMENT PLAN FOR RE/AFFORESTATION

Field check the re-afforestation area according to the following schedule:

YEAR 1: Site preparation and tree planting
Survival check once annually (September–November, see Note 1)
Watering if needed (2 X month)
Control of undesirable vegetation as needed (1X in June & 1 X in September min).

YEAR 2–3 Reinforcement planting if needed (see Note 2)
Survival check once annually (September–November)
Control of undesirable vegetation if needed (1X in May & 1 X in August min.)

YEAR 4–5 Reinforcement planting if needed (See Note 2)
Survival check once annually (September–November)

Notes:

- 1) survival Check: check planted stock against plant list (or as-built) by walking the site and taking inventory. Plants must show vitality. Submit field data forms (Condition Check Sheets) to owner after each inspection. Remove all dead plants.
- 2) Reinforcement Planting: replace dead and missing plants in sufficient quantity to bring the total number of live plants to at least 75% of the number originally planted. If a particular species suffer unusually high mortality, replace with an alternate plant type.
- 3) Miscellaneous: fertilization of watering during years 1 through 3 will be done on as needed basis. Special return operations or recommendations will be conducted on as needed basis. Remove perimeter fencing and signage after year 5 based on the date planted.

REFORESTATION PLANTING AND MANAGEMENT PLAN

SITE PREPARATION– DISTURBED SOILS

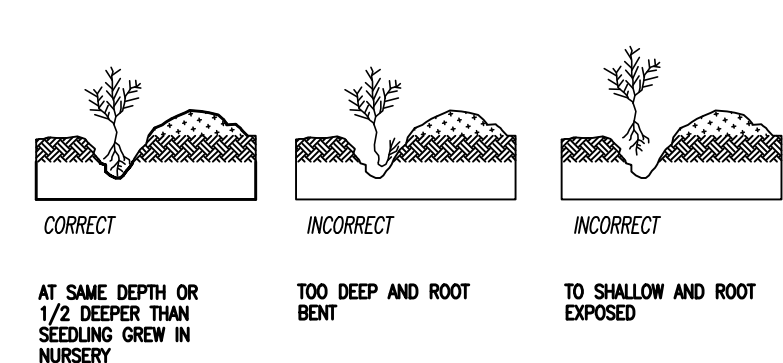
1. WHEN SOILS HAVE BEEN COMPACTED, OR ORGANIC, OR TOPSOIL LAYERS HAVE BEEN REMOVED BY GRADING, TREATMENT WILL BE NECESSARY AS FOLLOWS:

- a. Reserve topsoil should be replaced in the planting area. If supplemental fill is required, it may be mixed with the reserved topsoil.
- b. Analyze nutrients, organic matter, soil texture and moisture to evaluate soil amendments or treatments.
- c. Disturbed soils should be treated by incorporating composted organic material within the top 12 inches and other amendments as determined by a soils analysis.
- d. Disturbed soils should be treated by incorporating composted organic material within the top 12 inches and other amendments as determined by a soils analysis. If fill material is used at the planting site, it should be clean fill topped with a minimum of 12 inches of organic topsoil. Stockpiling or native top soils should not compact or damage the remaining seed bank.

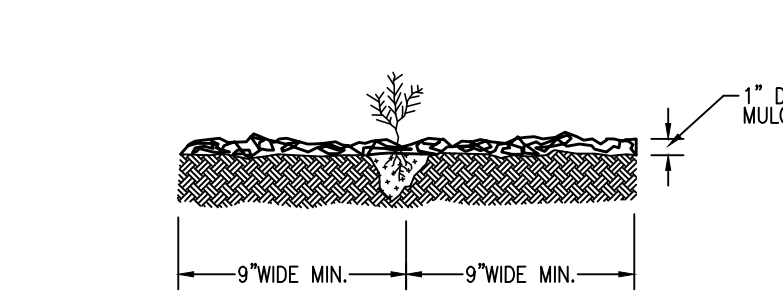
PLANTING

- a. The planting and care of trees is most successful when coordinated with the local conditions. Refer to the Maintenance Calendar for recommended time frames for basic reforestation and stress reduction activities.
- b. Plants which are not planted within a day after delivery should be protected from desiccation through shading, watering, shielding from wind or other methods. Bare root stock may be heeled in, transplanted or delivered materials may be stored in tree banks if necessary in undisturbed areas.
- c. Prior to planting, inspect planting stock. Plants not conforming to the American Standard for Nursery Stock specifications for size, form, vigor or roots or due to trunk wounds, insects, and disease should be replaced.
- d. **SEEDLINGS/WHIPS**
Planting small stock such as seedlings and whips, can be done manually. Extreme care should be taken to ensure plant roots retain moisture. Use a moist carrying container to further prevent desiccation.
- e. Areas planted with seedlings or whips should be mulched after planting.
- f. **CONTAINER GROWN STOCK**
Successful planting of container grown stock requires careful site preparation and inspection of the root system. The plant should be removed from the container and roots gently loosened. If the roots encircle the root ball or if "J" shaped or kinked roots are present, replace the plant.
- g. Rake soils evenly over the planting field and cover with 2 to 4 inches of mulch.
- h. **BALLED AND BURLAPPED TREES**
Balled and burlapped trees are usually planted using tree spades. They must be handled with care while planting. Do not pick up trees by the trunk or drop them as this will tend to separate the tree from the root ball. Prior to planting, root balls should be kept moist. Water the planting field to settle soil backfilled around trees.
- i. Rake soils evenly over the planting field and cover with 2 to 4 inches of mulch.
- j. **SOIL STABILIZATION**
For large-scale disturbance, stabilize soils with a non-turf building ground cover or engineering fabric.
- k. **PROTECTION DEVICES**
To prevent damage to planted areas, reforestation and afforestation signs should be posted with appropriate fences prior to planting. Construction equipment must not enter planting areas.

CORRECT AND INCORRECT PLANTING DEPTH



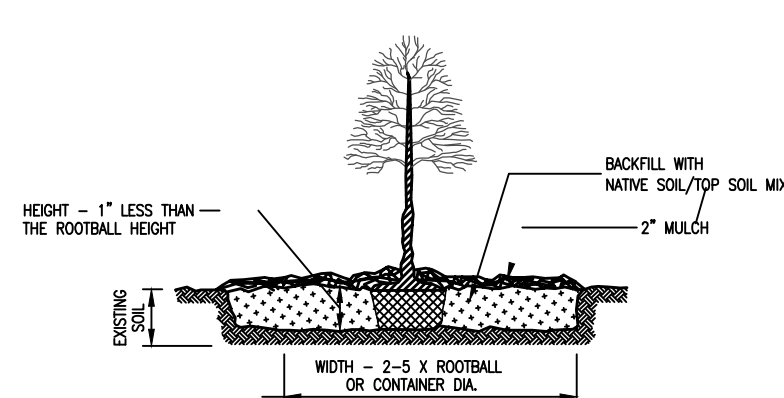
SEEDLING AND WHIP PLANTING SPECIFICATION



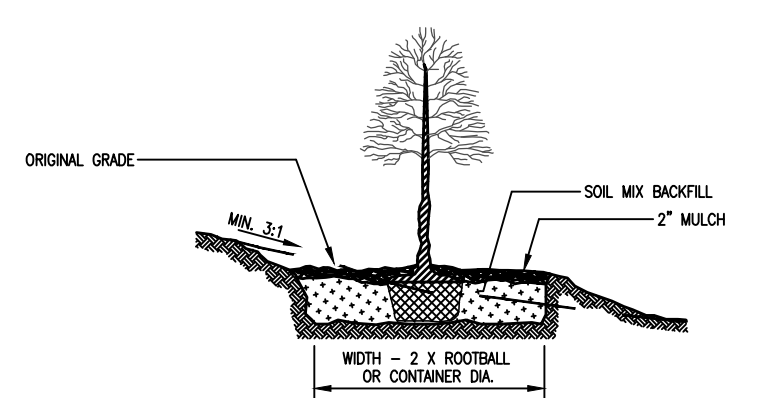
NOTE:
MULCHING NEWLY PLANTED SEEDLINGS HELPS THE SOIL RETAIN MOISTURE AND IT PROTECTS THE SEEDLING FROM COMPACTION AND STEM INJURIES.

HANDLING AND PLANTING OF SEEDLINGS

UNDISTURBED SOIL/ DISTURBED SOIL

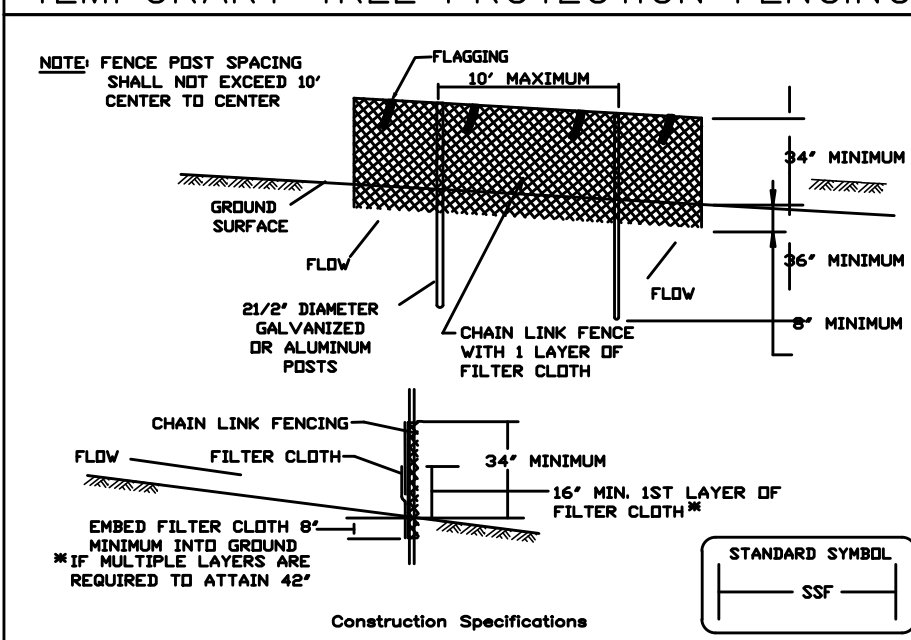


PLANTING ON SLOPE



NOTE:
TREE PIT TO BE FIVE TIMES THE ROOTBALL IS PREFERRED, PARTICULARLY IN POOR SOIL.

SUPER SILT FENCE– TEMPORARY TREE PROTECTION FENCING



1. Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Department Tree Protection Fencing. The specification for a 6" fence shall be used, substituting 42" fabric and 6" length posts.
2. Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, brace and true rods, drive anchors and post caps are not required except on the ends of the fence.
3. Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
4. Filter cloth shall be embedded a minimum of 8" into the ground.
5. When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and folded.
6. Maintenance shall be performed as needed and all buildings removed when "bulges" develop in the silt fence, or when it reaches 50% of fence height.
7. Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and mid section and shall meet the following requirements for Geotextile Class F:

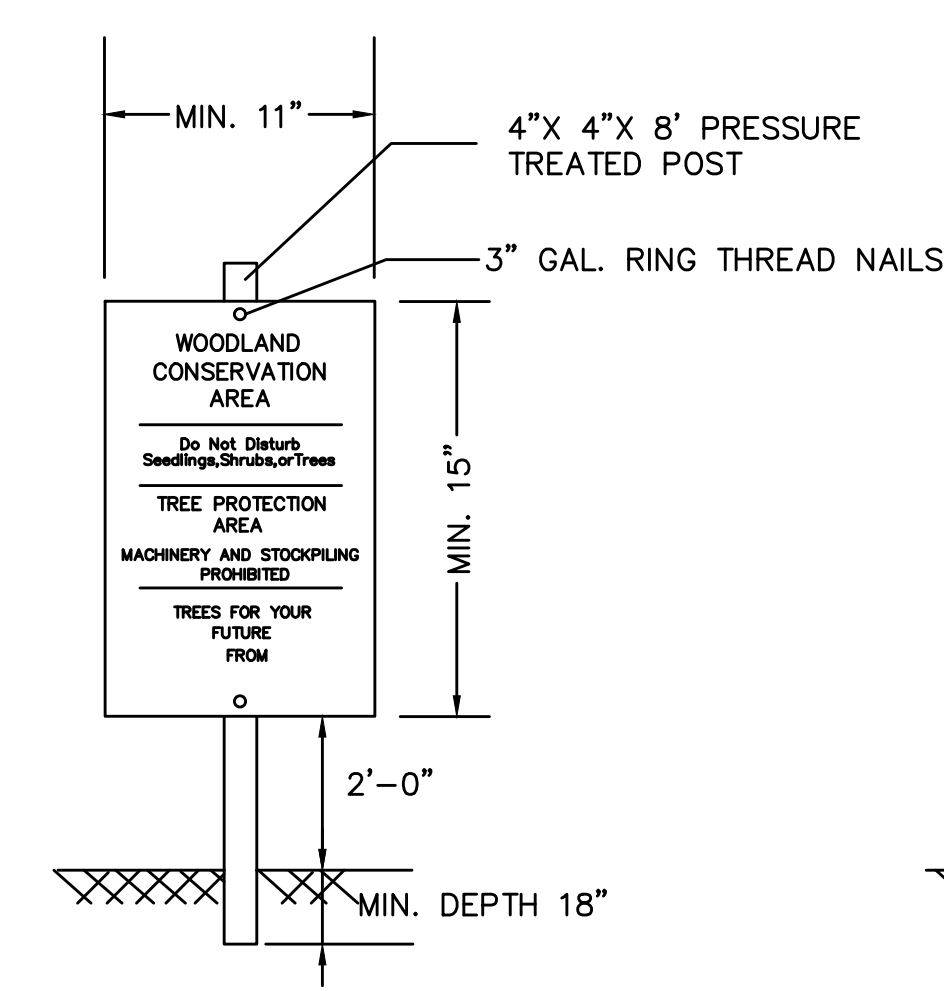
Tensile Strength	50 lbs/ft (min.)	Test: MSMT 509
Tensile Modulus	20 lbs/ft (min.)	Test: MSMT 509
Flow Rate	1.3 gal/ft ² /minute (max.)	Test: MSMT 322
Filtration Efficiency	70% (min.)	Test: MSMT 332

U.S. DEPARTMENT OF AGRICULTURE
SOIL CONSERVATION SERVICE

PAGE
A- 28 - 2

MARYLAND DEPARTMENT OF ENVIRONMENT
WATER MANAGEMENT ADMINISTRATION

WOODLAND CONSERVATION SIGN



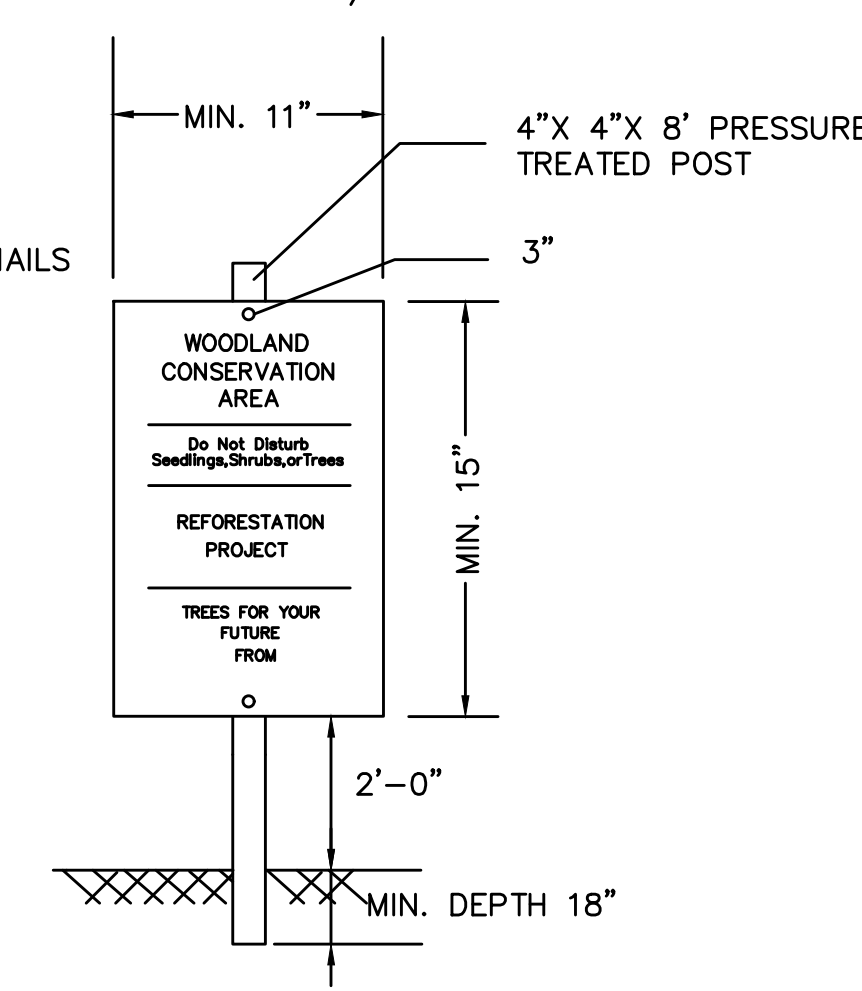
SYMBOL: ▲

SIGNAGE

SIGNAGE NOTES:

1. ATTACHMENT OF SIGNS TO TREES IS PROHIBITED.
2. SIGNS SHOULD BE PROPERLY MAINTAINED.
3. AVOID INJURY TO ROOTS WHEN PLACING POSTS FOR THE SIGNS.
4. SIGNS SHOULD BE POSTED TO BE VISIBLE TO ALL CONSTRUCTION PERSONNEL FROM ALL DIRECTIONS.
5. SIGNS SHOULD BE INSTALLED AT THE SAME TIME AS TREE PROTECTION DEVICES.
6. LOCATE SIGNS APPROXIMATELY EVERY 50 FEET ALONG FENCING.
7. SIGNS SHOULD BE IN PLACE IMMEDIATELY FOLLOWING STAKE OUT OF L.O.D., AND REMAIN IN PLACE IN PERPETUITY.

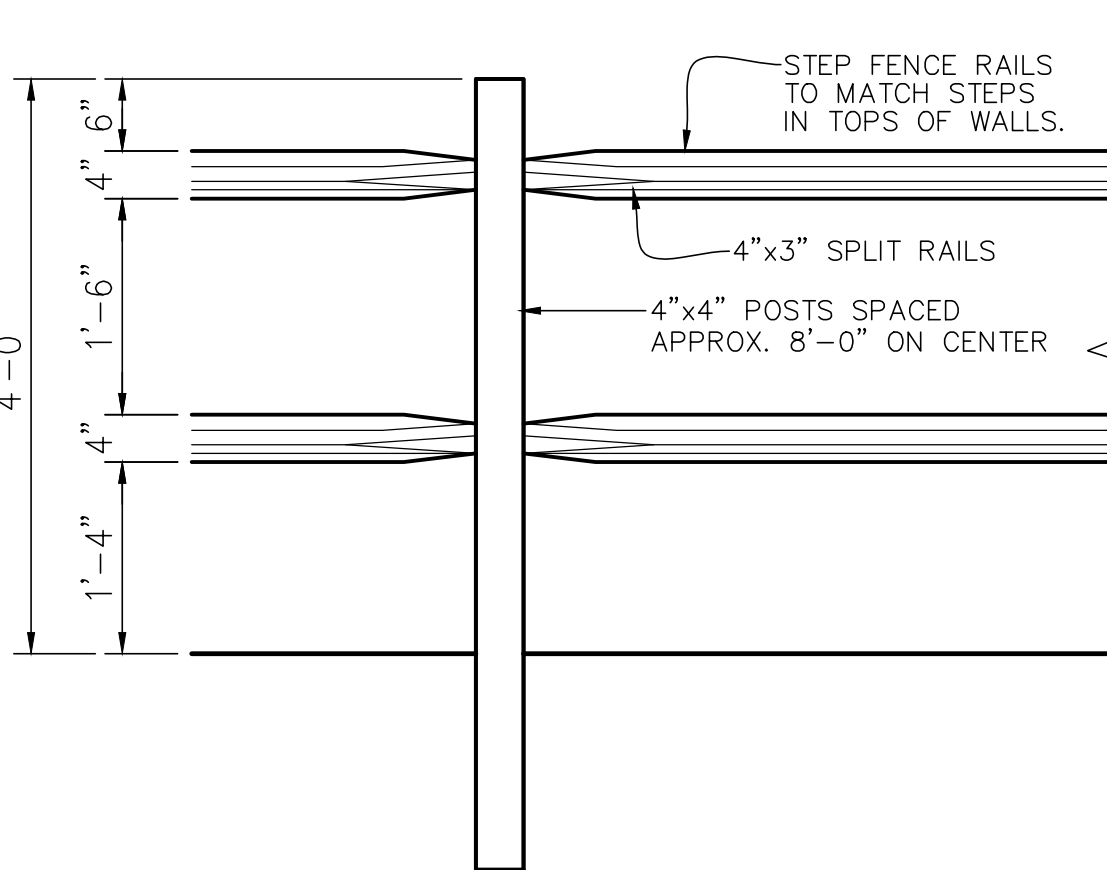
AFFORESTATION/REFORESTATION SIGN



SYMBOL: ▣

NOTES:

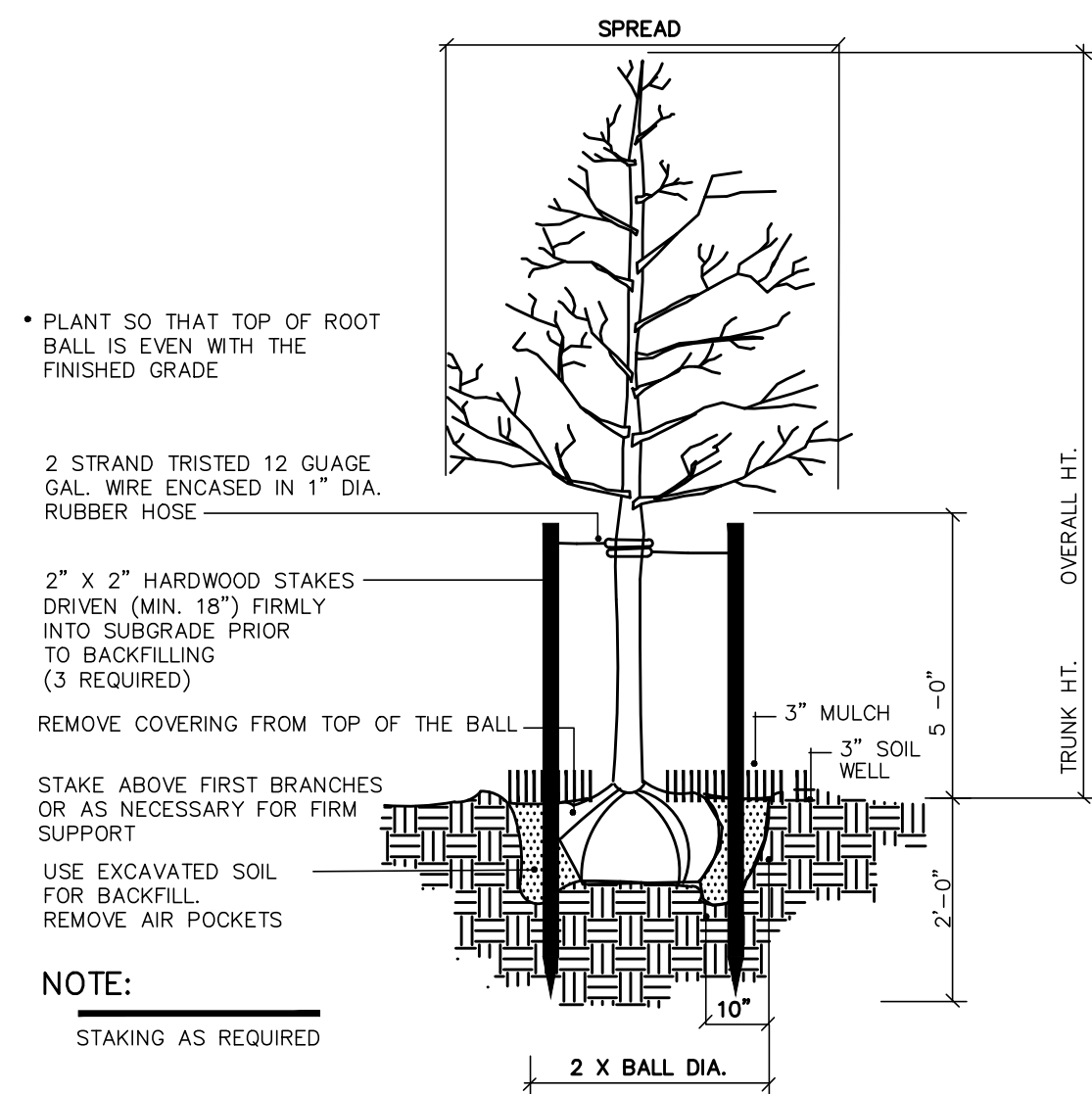
1. POSTS SHALL STAND PLUMB.
2. RAILS SHALL BE HUNG WITH UNIFORM HEIGHT AND SPACING.
3. WOOD POSTS AND RAILS SHALL BE WOLMANIZED PINE, GRADE C OR BETTER.



SPLIT RAIL FENCE

SCALE: NOT TO SCALE

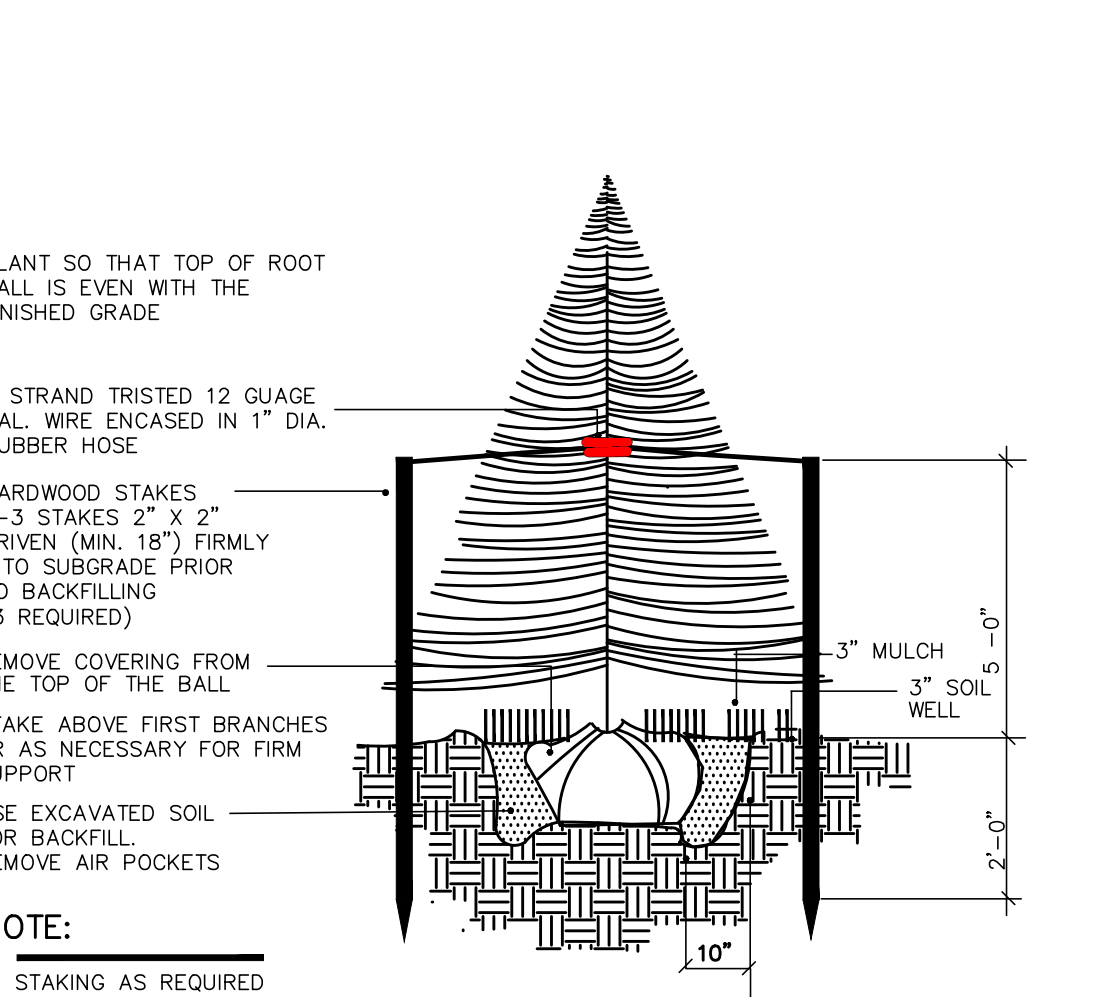
PERMANENT TREE PROTECTION FENCING FOR AFFORESTATION/REFORESTATION AREAS



NOTE:
STAKING AS REQUIRED

DECIDUOUS TREE PLANTING – VERTICAL STAKES

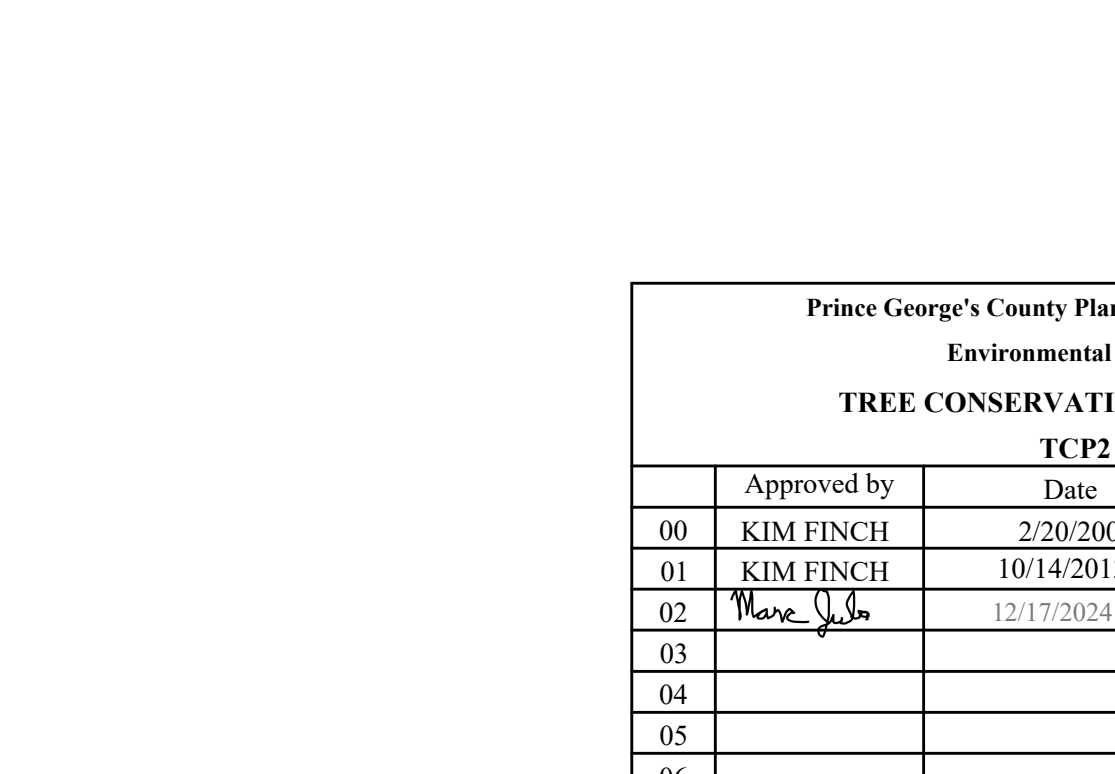
SCALE: NOT TO SCALE



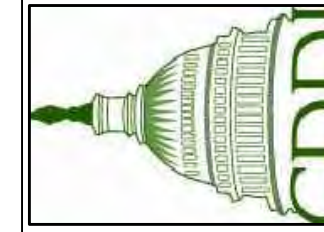
NOTE:
STAKING AS REQUIRED

EVERGREEN TREE PLANTING – VERTICAL STAKES

SCALE: NOT TO SCALE



Prince George's County Planning Department, M-NCPPC		
Environmental Planning Section		
TREE CONSERVATION PLAN APPROVAL		
TCP2-89-2007		
Approved by	Date	Reason for Revision
00 KIM FINCH	2/20/2009	
01 KIM FINCH	10/14/2013	
02 <i>None</i>	12/17/2024	Single Lot Revision-Lot 36
03		
04		
05		
06		



CAPITOL DEVELOPMENT DESIGN, INC.
ENGINEERS – PLANNERS – SURVEYORS
4600 POWDERMILL ROAD – SUITE 200 – BELTSVILLE, MD 20705
OFFICE (301) 937-3501
FAX (301) 937-3507

MILL BRANCH
QUEEN ANNE ELECTION DISTRICT 7
PRINCE GEORGE'S COUNTY, MARYLAND

TREE CONSERVATION PLAN – TYPE II
NOTES AND DETAIL SHEET

REVISIONS
11/25/08 REV. PER
RESOLUTION COMM. MP

DATE: DEC. 2024
DWN. DS CHECKED GB
SCALE: N/A
PROJECT/FILE NO. 02-083
SHEET NO. 15 OF 15

MISS UTILITY
FOR LOCATION OF UTILITIES CALL 1-800-257-7777
48 HOURS IN ADVANCE OF ANY WORK IN THE VICINITY