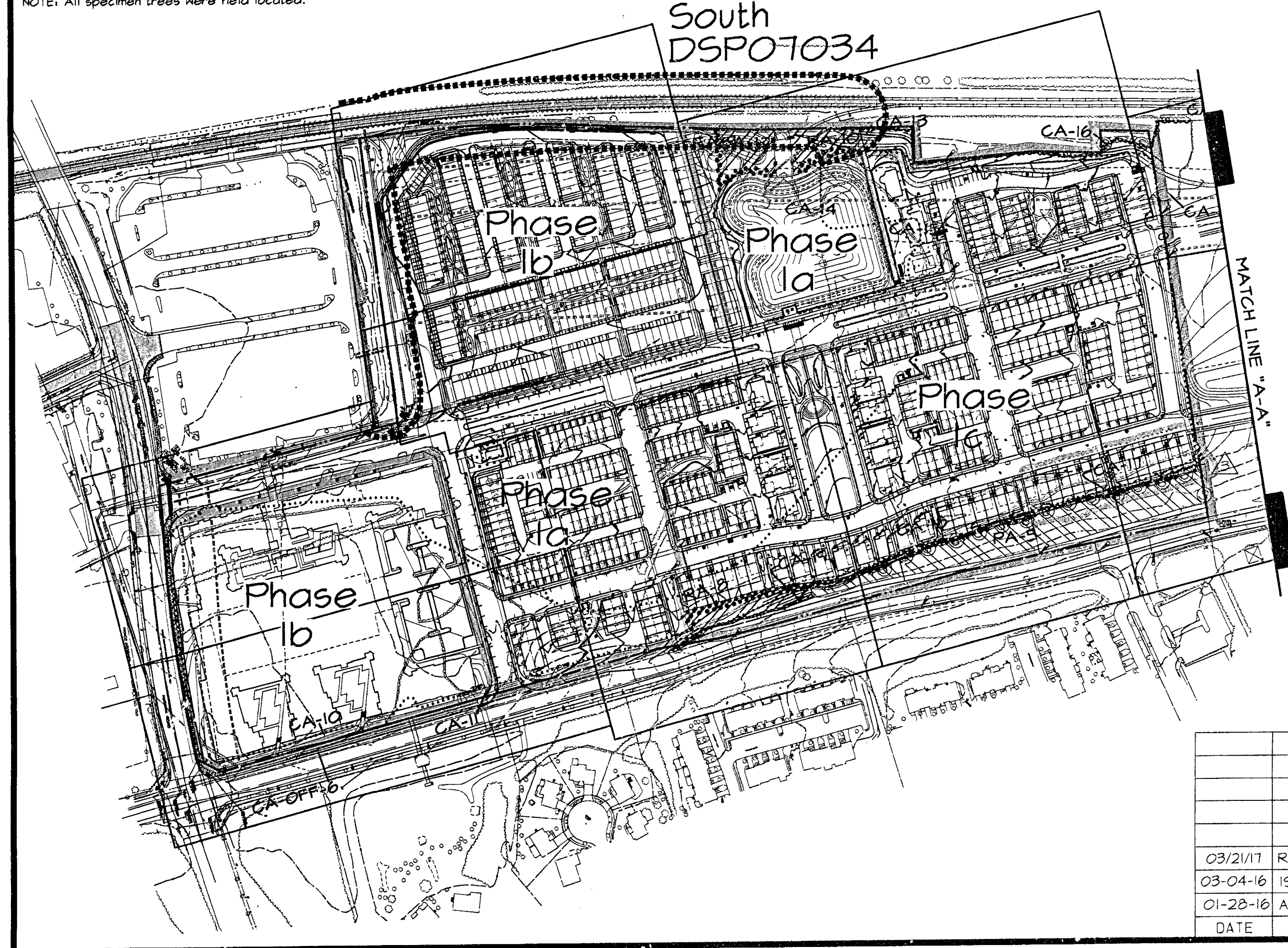


SPECIMEN TABLE					
No.	Size	Species	Condition	Location	Disposition
1	34"	yellow poplar	Fair	Phase 4	To be removed
2	30"	yellow poplar	Good	Phase 4	To be removed
3	32"	red maple	Fair	Phase 1	To be removed
4	35"	white oak	Fair	Phase 2	To be removed
5	31"	red maple	Fair	Phase 2	To be removed
6	34"	red maple	Good	Phase 2	To be removed
7	32"	red oak	Good	Phase 2	To be removed
8	45.5"	black locust	Fair	Phase 1	To be removed

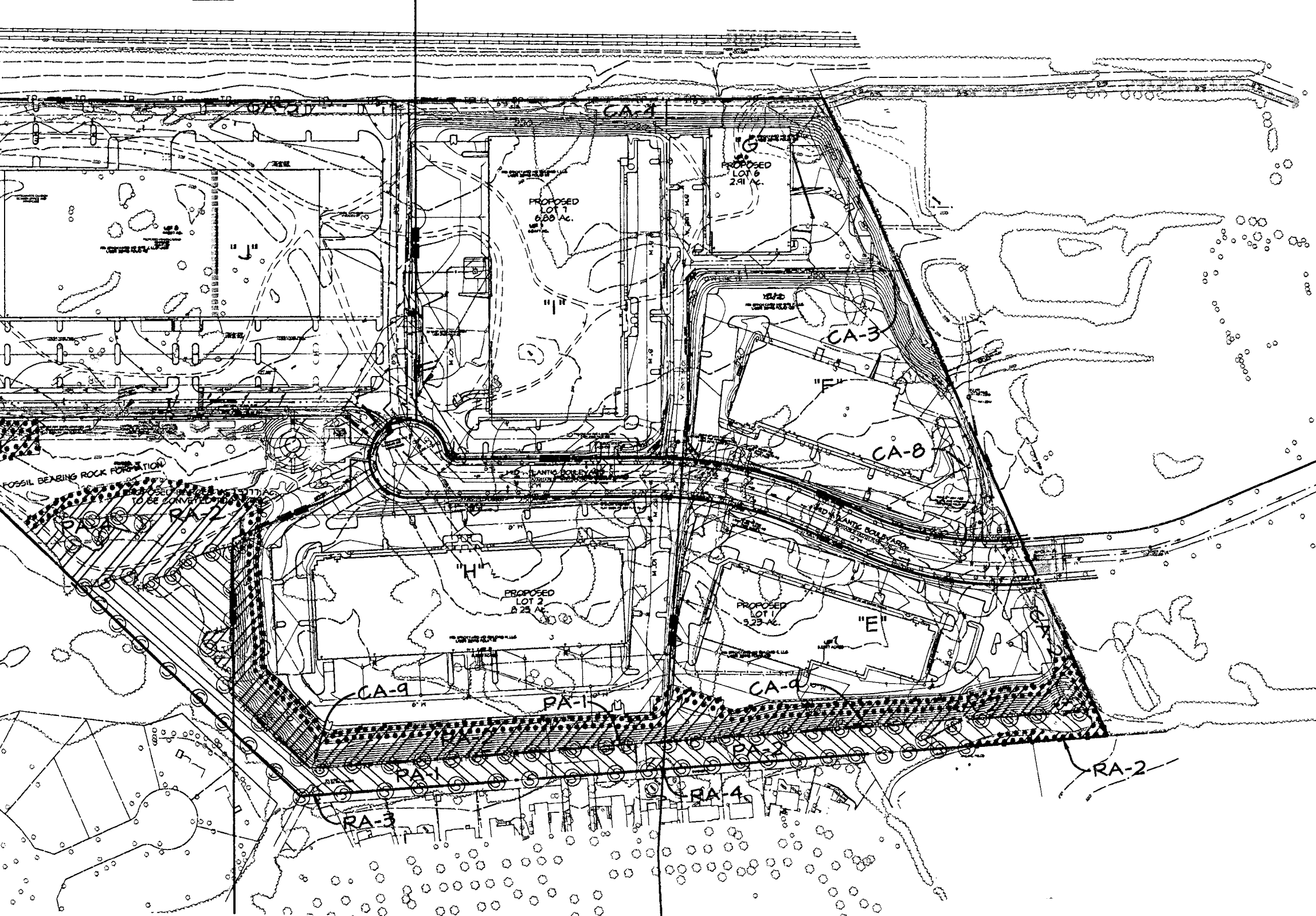
NOTE: All specimen trees were field located.

M-NCPPC Prince George's County Planning Department Natural Resources Division			
APPROVAL			
TREE CONSERVATION PLAN TCP 2-118-05			
Approved by:	DATE	DSP-05024	
01. Lori Shirley	8/15/07	DSP-05070	
02. Lori Shirley	10/23/08	DSP-05070-01	
03. K. Shoulters	5/14/07	DSP-07034	
04. K. Shoulters	12/26/07	DSP-07034-01	
05. K. Shoulters	5/20/10	DSP-07034-04	
06. K. Shoulters	6/19/13	DSP-05070-03	
07. Megan K. Reiser	5/13/15	DSP-07034-06	
08. K. Shoulters	8/04/16	DSP-07034-08	
09. M. Riser	5/20/15	DSP-07034-09	
10. M. Riser	1/24/18	DSP-07034-10	
11. M. Riser	1/24/18	DSP-07034-10	



KEY MAPS				
DSP Number	TCPII Number	Sheet	Resolution No.	BDAL DNG No.
DSP-05070	TCPII/11/05-01	T1 to T10	06-34	(54.041-2 & 54.042 thru 54.043-2)
DSP-05024	TCPII/11/05-03	T1, T5, T6	None	54.031-2
DSP-05024	TCPII/11/05-00	T1, T6, T7	05-216	(54.041-2 & 54.042 thru 54.043-2)
DSP-07034	TCPII/11/05-04	T10 to T130	None	(54.041-2 thru 54.061-2)

KEY MAPS				
DSP Number	TCPII Number	Sheet	Resolution No.	BDAL DNG No.
DSP-05070	TCPII/11/05-01	T1 to T10	06-34	(54.041-2 & 54.042 thru 54.043-2)
DSP-05024	TCPII/11/05-03	T1, T5, T6	None	54.031-2
DSP-05024	TCPII/11/05-00	T1, T6, T7	05-216	(54.041-2 & 54.042 thru 54.043-2)
DSP-07034	TCPII/11/05-04	T10 to T130	None	(54.041-2 thru 54.061-2)



WOODLAND CONSERVATION WORKSHEET FOR PRINCE GEORGE'S COUNTY, MARYLAND				
PROPERTY DESCRIPTION OR SUBDIVISION NAME:	THE BRICK YARD SOUTH PHASES 1-4 & NORTH	IS THIS SITE SUBJECT TO THE 1984 ORDINANCE?	N	
BREAK-EVEN POINT (PRESERVATION ACRES):	11.40	ACRES OF NET TRACT CLEARING PERMITTED (NO REFORESTATION):	-10.35	

WOODLAND CONSERVATION REQUIREMENT CALCULATIONS:				
EXISTING WOODLAND ON NET TRACT (ACRES):	6.45			
EXISTING WOODLAND IN FLOODPLAIN (ACRES):	0.00			
WOODLAND CONSERVATION THRESHOLD (NAT):	11.40			
SMALLER OF A OR B:	6.45			
WOODLAND ABOVE NCT:	0.00			

PHASE NUMBER:	NORTH(Ph.1)	SOUTH(Ph.1a)	SOUTH(Ph.1b)	SOUTH(Ph.1c)	SOUTH(Ph.1d)	TOTAL
GROSS TRACT AREA	52.28	18.12	5.55	17.64	11.74	105.33
FLOODPLAIN AREA IN THE APPLICATION:	0.00	0.00	0.00	0.00	0.00	0.00
NET TRACT AREA IN THE APPLICATION:	52.28	18.12	5.55	17.64	11.74	105.33
WOODLAND ON THE NET TRACT FOR THE PHASE:	3.14	0.68	0.11	0.13	2.33	6.45
WOODLAND IN THE FLOODPLAIN FOR THE PHASE:	0.00	0.00	0.00	0.00	0.00	0.00
WOODLAND CLEARED ON NET TRACT FOR THE PHASE:	0.42	0.68	0.11	0.13	1.23	2.63
WOODLAND CLEARED IN FLOODPLAIN FOR THE PHASE:	0.00	0.00	0.00	0.00	0.00	0.00
OFF-SITE WOODLAND CLEARED (NAT):	4.49	0.00	0.00	0.01	0.30	4.80
OFF-SITE MITIGATION PROVIDED ON THIS PROPERTY:	0.00	0.00	0.00	0.00	0.00	0.00
CUMULATIVE ACRES OF NET TRACT WOODLAND CLEARED:	1.44	2.67	2.19	2.37	3.14	11.81
SMALLER OF A OR B:	0.00	0.00	0.00	0.00	0.00	0.00
WOODLAND CLEARED BELOW NCT:	1.44	2.67	2.19	2.37	3.14	11.81
REPLACEMENT FOR CLEARING ABOVE THE NCT (0.25/1):	0.00	0.00	0.00	0.00	0.00	0.00
REPLACEMENT FOR CLEARING BELOW THE NCT (2/1):	3.89	5.34	5.56	5.84	7.89	28.52
AFFORESTATION THRESHOLD (NAT):	10.35	10.35	10.35	10.35	10.35	51.75
CUMULATIVE WOODLAND CONSERVATION REQUIRED:	22.25	22.43	23.10	23.30	24.83	116.91

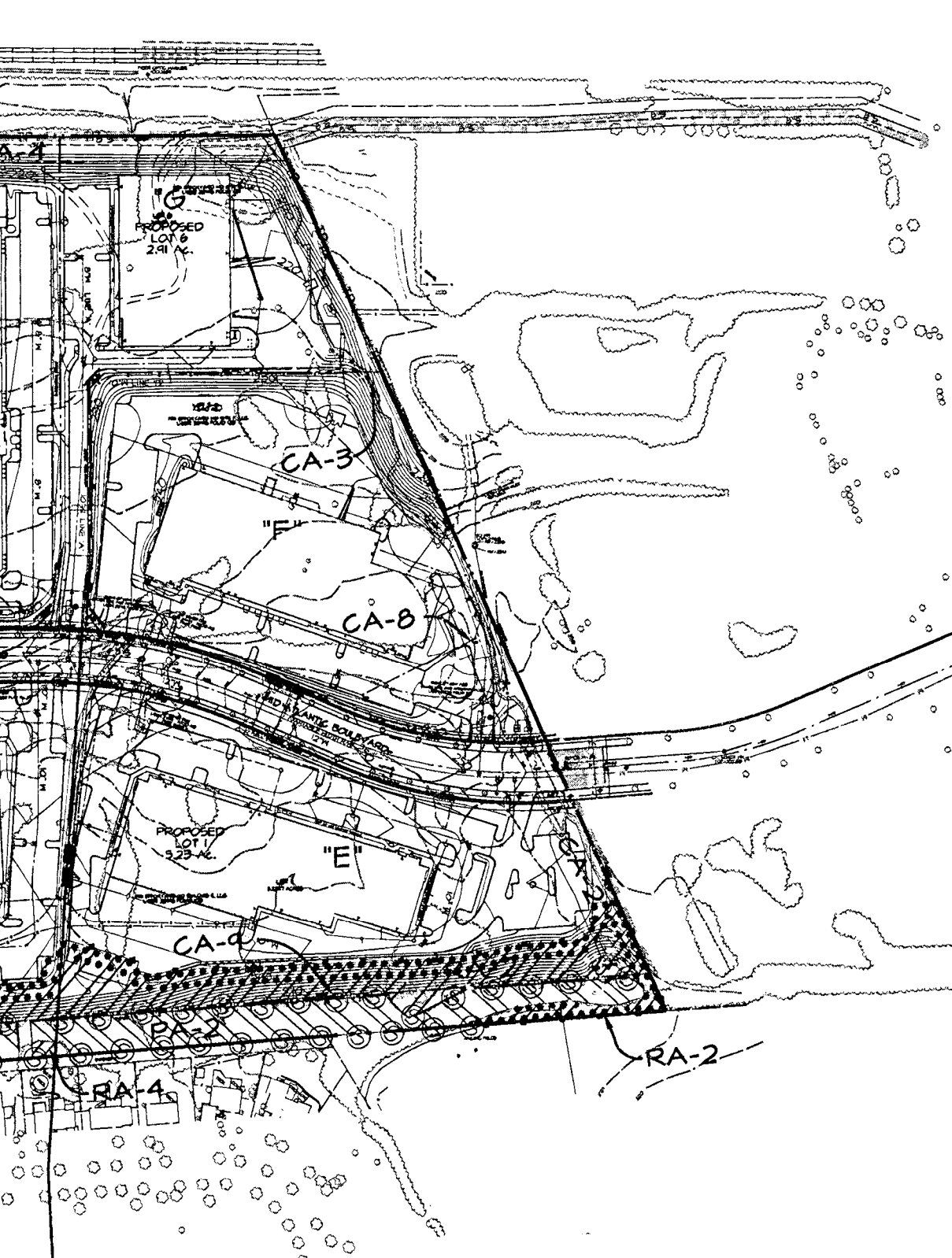
WOODLAND CONSERVATION PROVIDED:	2.12	0.00	0.00	0.00	1.05	3.17
REFORESTATION	5.52	0.51	0.00	0.30	2.08	8.41
AFFORESTATION	0.00	0.00	0.00	0.00	0.00	0.00
AREA APPROVED FOR FEE-IN-LIEU	0.00	0.13	0.00	0.00	0.11	0.24
CREDIT FOR OFF-SITE MITIGATION ON ANOTHER PROPERTY	6.55	1.21	2.54	1.72	1.72	13.74
OFF-SITE MITIGATION PROVIDED ON THIS PROPERTY	0.00	0.00	0.00	0.00	0.00	0.00
TOTAL WOODLAND CONSERVATION PROVIDED:	14.14	16.64	14.23	21.23	26.11	82.35

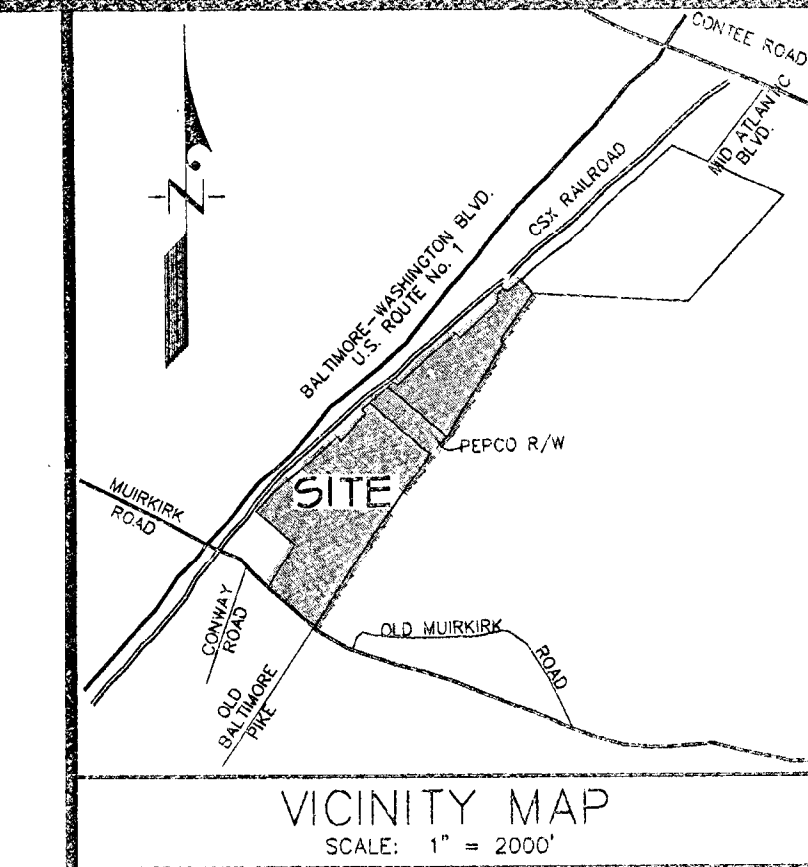
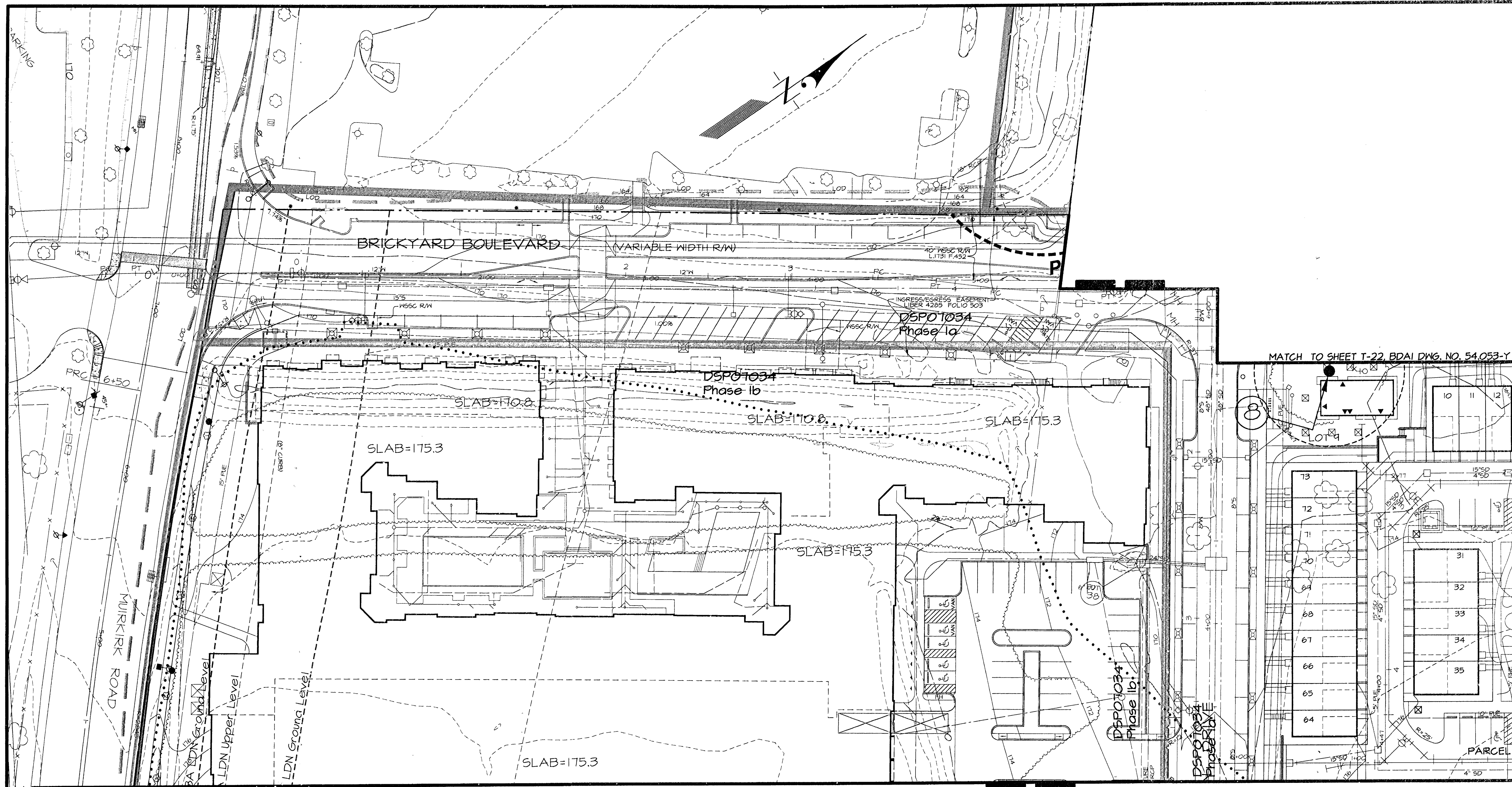
WOODLAND SAVED ON THIS PHASE BUT NOT COUNTED	0.00	0.00	0.00	0.00	0.00	0.00
EXISTING NET TRACT WOODLAND IN LATER PHASES	3.31	2.63	2.92	2.33	0.00	9.19
SHORTAGE	-4.15	-3.66	-1.35	0.00	0.00	-9.15

*Reforestation Area No. 5 surrounding the proposed off-site stormwater management pond has been included. Hedgerows that were not originally counted as existing woodland were augmented with afforestation to be of sufficient width to be credited as woodland conservation. This accounts for the apparent shortage.

DATE	REVISIONS DESCRIPTION	BY	DATE	REVISIONS DESCRIPTION	BY
01/11/16	REVISED GRADING FOR LOTS 246-254	PCN	01/09/15	Revised grading per clients request.	PCN
03/04/16	ISSUED FOR PERMIT COMMENTS	JRD	06/12/14	Revised to redesign clubhouse and sound wall.	PCN
01-28-16	ADDED GREASETRAP AND GEN PAD FOR BLDG F	JRD	06/05/14	Revised to remove reforestation in front of retaining wall in RA	PCN
			11/14/13	REVISED TO CONFORM WITH DSP07034-06	PCN
			05/16/13	REVISED TO CONFORM WITH DSP05070-03	PCN
			04/21/12	REVISED TO CONFORM WITH DSP07034-02	PCN
			06/28/11	REVISED ARCH COURTYARDS, & PARKING ON PARCEL B	JRD

KEY MAPS				
DSP Number	TCPII Number	Sheet	Resolution No.	BDAL DNG No.
DSP-05070	TCPII/11/05-01	T1 to T10	06-34	(54.041-2 & 54.042 thru 54.043-2)
DSP-05024	TCPII/11/05-03	T1, T5, T6	None	54.031-2
DSP-05024	TCPII/11/05-00	T1, T6, T7	05-216	(54.041-2 & 54.042 thru 54.043-2)
DSP-07034	TCPII/11/05-04	T10 to T130	None	(54.041-2 thru 54.061-2)





LEGEND	
EXISTING CONTOURS	- - - - -
PROPOSED CONTOURS	— — — — —
EXISTING SPOT ELEVATIONS	X189.7 X166.3
PROPOSED SPOT ELEVATIONS	+101.2 +105.1
PROPOSED SEWER	— — — — —
PROPOSED WATER	— — — — —
PROPOSED STORM DRAIN	— — — — —
EXISTING STREET LIGHT	— — — — —
PROPOSED STREET LIGHT	— — — — —
LIMIT OF DISTURBANCE	— — — — —
PRE-DEVELOPMENT TREE LINE	— — — — —
POST-DEVELOPMENT TREE LINE	— — — — —
FLOODPLAIN, EXISTING/PROPOSED	— — — — —
FLOODPLAIN BUFFER	— — — — —
WATERS OF THE U.S.	— — — — —
WETLAND LIMITS	— — — — —
WETLAND BUFFER	— — — — —
PRIMARY MANAGEMENT AREA	— — — — —
STREAM BUFFER	— — — — —
65 dBA LINE	— — — — —
PROPOSED RETAINING WALL	— — — — —
PROPOSED CHAIN LINK FENCE	— — — — —
PROPOSED VINYL SCREEN FENCE	— — — — —
PROPOSED CURB AND GUTTER	— — — — —
PROPOSED CONCRETE PAVING	— — — — —
PROPOSED HEAVY DUTY CONCRETE PAVING	— — — — —
PROPOSED HEAVY DUTY ASPHALT PAVING	— — — — —
STANDARD PARKING SPACES	— — — — —
COMPACT PARKING SPACES	— — — — —
HANDICAPPED PARKING SPACES	— — — — —
TREE PROTECTION FENCE	— — — — —
PRESERVATION PROTECTION SIGNAGE	— — — — —
REFORESTATION PROTECTION SIGNAGE	— — — — —
CLEARING AREA	— — — — —
PRESERVATION AREA	— — — — —
REFORESTATION AREA	— — — — —
SPECIMEN TREE WITH LIMITS OF CRITICAL ROOT ZONE	— — — — —
PROPOSED TREE 1-1/2" 2" CAL.	— — — — —
MINING LIMITS	— — — — —
PHASE LINE	— — — — —

CALL MISS UTILITY
1-800-257-7777
48 hrs, Before Excavation

FOR OFFICIAL USE ONLY
QR label certifies that this plan meets conditions of final approval by the Planning Board, its designee or the District Council.
M-NCPPC APPROVAL
PROJECT NAME: THE BRICK YARD SOUTH
PROJECT NUMBER: DSP-07034-09
For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet. Amendment numbers must be indicated in the Project Number.

FOR OFFICIAL USE ONLY
QR label certifies that this plan meets conditions of final approval by the Planning Board, its designee or the District Council.
M-NCPPC APPROVAL
PROJECT NAME: THE BRICK YARD
PROJECT NUMBER: DSP-05070-03
For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet. Amendment numbers must be indicated in the Project Number.

M-NCPPC	
Prince George's County Planning Department	
Natural Resources Division	
APPROVAL	
TREE CONSERVATION PLAN	
TCP 2-118-05	
Approved by	DATE
Leri Shirley	8/15/07
Leri Shirley	10/25/08
Leri Shirley	5/4/07
K. Shoulters	12/28/07
K. Shoulters	8/20/10
K. Shoulters	10/18/11
K. Shoulters	6/19/13
Megan K. Reiser	5/13/15
K. Shoulters	8/04/14
Megan K. Reiser	3/20/15
Megan K. Reiser	11/24/18

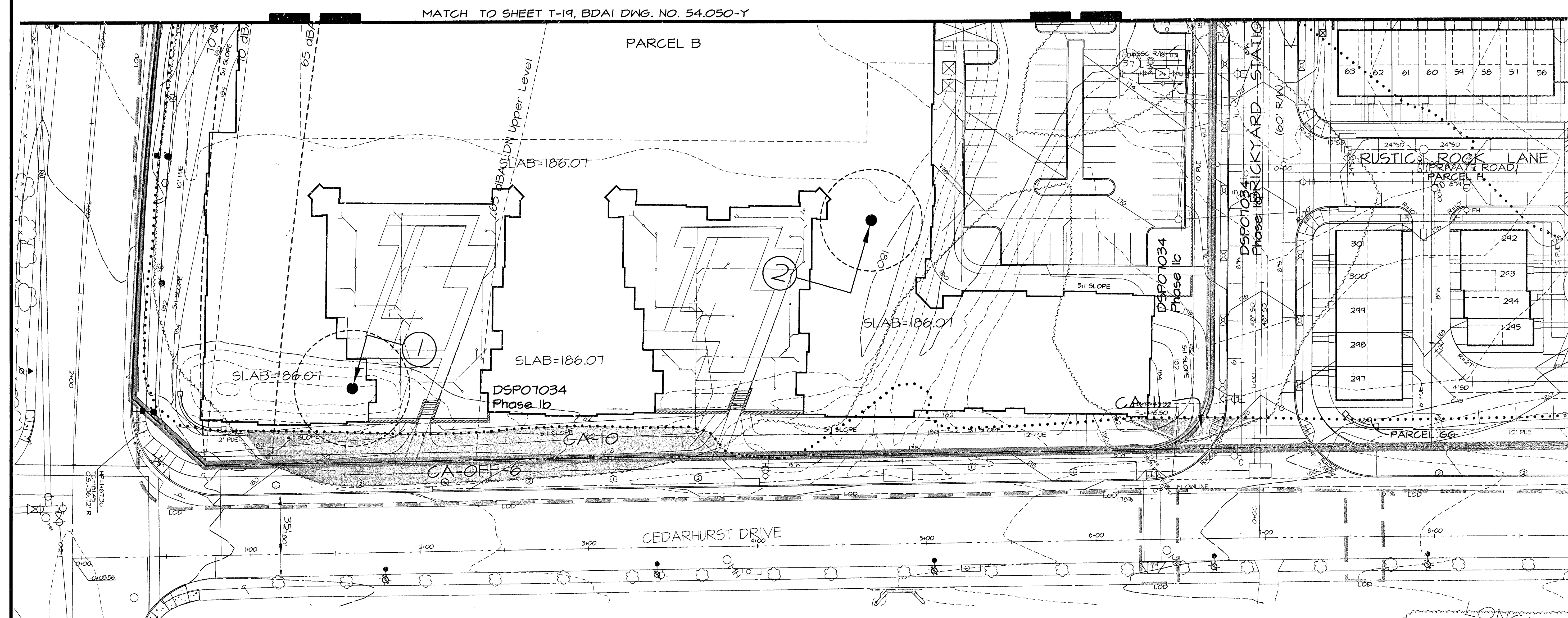
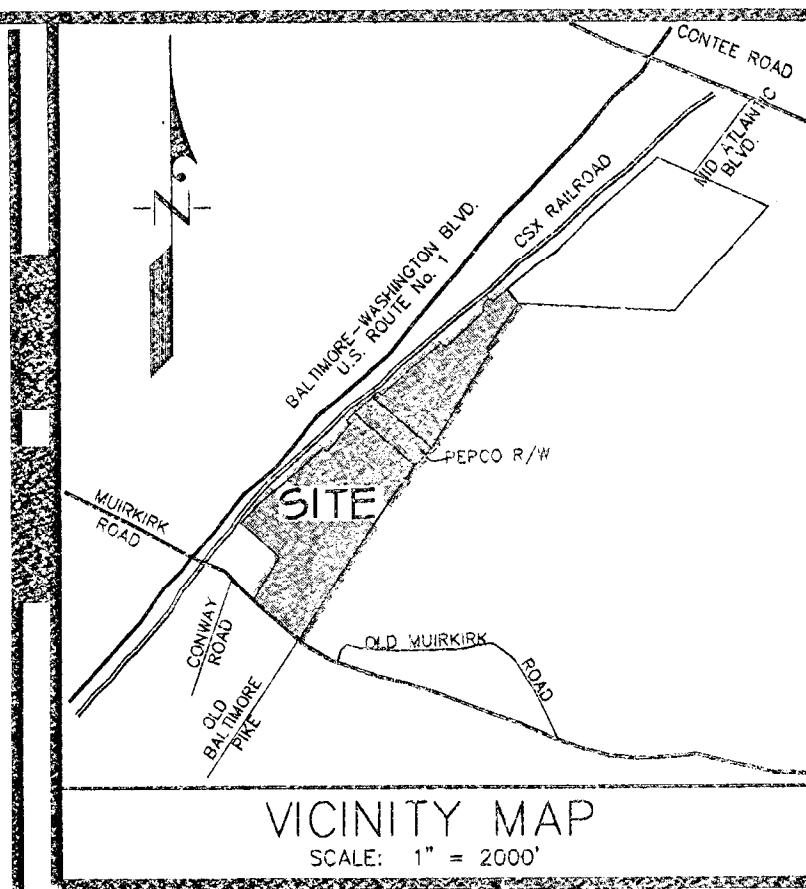
TREE CONSERVATION PLAN TYPE 2
THE BRICK YARD
MARC PLANNED COMMUNITY
PROPOSED LOTS 9-35, 38-84, 86, 89-111, 115-141, 143, 146-204, 206-225, 227-295, 297-360, 362-427, 429-620 AND PARCELS 'B', 'E', 'H', 'J' TO 'III'
LAUREL DISTRICT No. 10
PRINCE GEORGES COUNTY, MARYLAND
HSSC 200' SHEET SERIES, 216 NE 6 & 7 AND 217 NE 7
ADC MAP BK LOCATION 4 C-10

DATE	REVISIONS DESCRIPTION	BY
03/21/11	REVISED TO UPDATE LAYOUT	PCN
01/11/16	REVISED GRADING FOR LOTS 246-254	PCN
1/04/15	Revised grading per clients request.	PCN
6/12/14	Revised to redesign clubhouse and sound wall.	PCN
11/14/13	REVISED TO CONFORM WITH DSP07034-06	PCN
05/16/13	REVISED TO CONFORM WITH DSP05070-03	PCN
09/21/12	REVISED TO CONFORM WITH DSP07034-02	PCN
06/28/11	REVISED ARCH. COURTYARDS, & PARKING ON PARCEL B	JRD

APPLICANT
CALATLANTIC GROUP, INC.
14200 Park Meadow Drive, Suite 108
Chantilly, VA 20151
103-444-6500
ATTN: David Duncan

OWNER
JACKSON-SHAW / BRICKYARD LIMITED PARTNERSHIP, LLLP
1101-30th Street NW, Suite B 100-A
Washington, DC 20007
301-424-1011
ATTN: Thomas J. Aylward III

T-19	
TCP SHEET 2 OF 13	
DATE	DESCRIPTION
7-23-09	Revised to create subphases for South DSP07034
4-4-08	Revised per staff required layout changes.
3-27-08	Revised per M-NCPPC comments received 3-1-08
2/14/08	UPDATED WETLANDS/ STREAM FEATURES
2/6/08	REVISED PER M-NCPPC 1-11-08 COMMENTS
DATE	DESCRIPTION
1/17/2018	11:17:01 AM




M-NCPCC Prince George's County Planning Department Natural Resources Division		
APPROVAL		
TREE REMOVAL PLAN		
TCP 2-118-05		
Approved by		DATE
	Lori Shirley	9/15/07
01	Lori Shirley	10/25/08
02	K. Shoulters	5/4/07
03	K. Shoulters	12/26/07
04	K. Shoulters	5/20/10
05	K. Shoulters	10/18/11
06	K. Shoulters	6/19/13
07	Megan K. Reiser	5/13/15
08	K. Shoulters	8/24/14
09	Megan K. Reiser	3/20/15
10	<i>Megan Reiser</i>	1/22/18
11		

01 TREE CONSERVATION PLAN TYPE 2
02 THE BRICK YARD
03 MARC PLANNED COMMUNITY
04 PROPOSED LOTS 9-35, 38-84, 86, 89-111, 115-141, 143
05 146-204, 206-225, 227-295, 297-360, 362-427,
06 429-620 AND PARCELS 'B', 'E', 'H', 'J' TO 'III'
07
08 LAUREL DISTRICT NO. 10
09 PRINCE GEORGES COUNTY, MARYLAND
10 HSSC 200' SHEET SERIES: 210 NE 6 & 7 AND 217 NE 1
ADD MAP BK LOCATION 4 G10

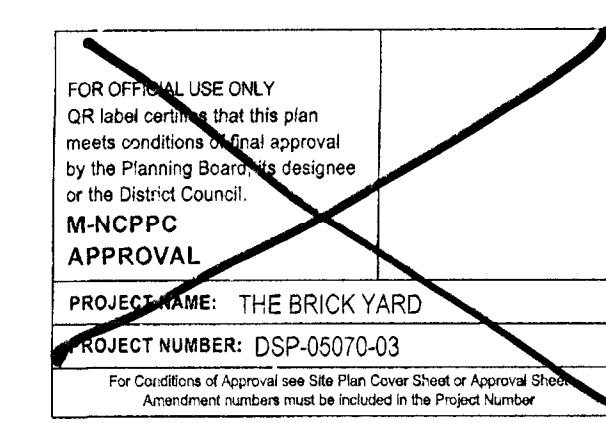
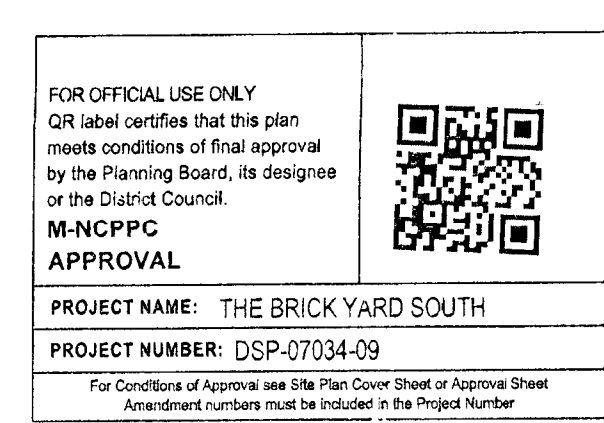
01/04/10	Revised for architecture and lotting no change to LCP	PCN
03/21/11	REVISED TO UPDATE LAYOUT	PCN
01/11/16	REVISED GRADING FOR LOTS 246-259	PCN
10/04/15	Revised grading per clients request.	PCN
6/12/14	Revised to redesign clubhouse and sound wall.	PCN
11/14/13	REVISED TO CONFORM WITH DSP01034-06	PCN
05/16/13	REVISED TO CONFORM WITH DSP01034-03	PCN
04/21/12	REVISED TO CONFORM WITH DSP01034-02	PCN
06/22/11	REVISED ARCH COURTYARDS, 4 PARKING ON PARCEL B	JRD
DATE	REVISIONS DESCRIPTION	BY

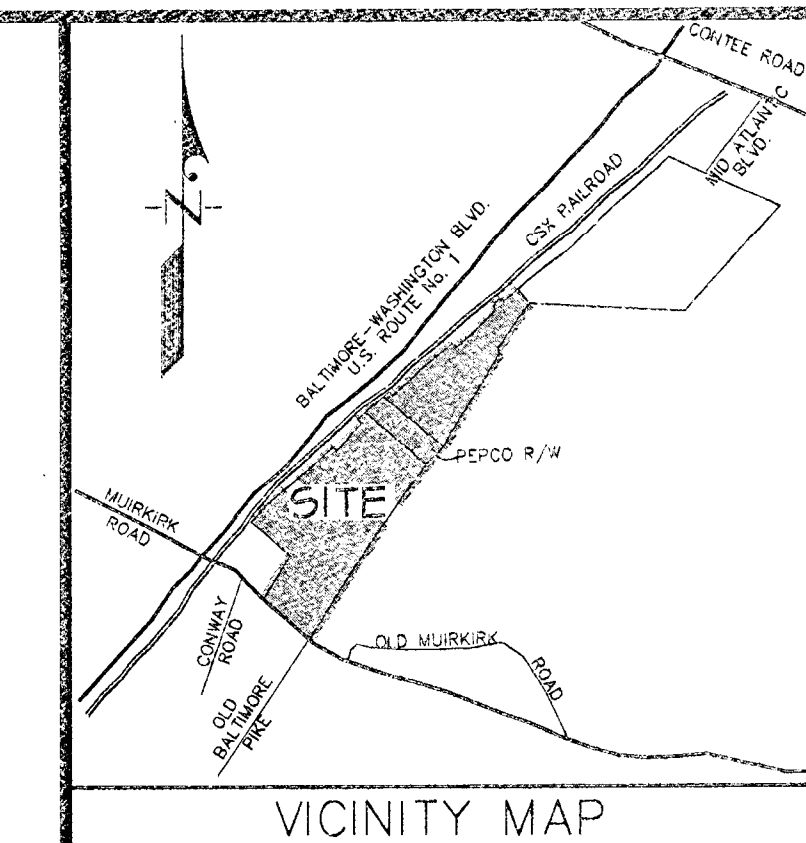
APPLICANT
CALATLANTIC GROUP, INC.
14280 Park Meadow Drive, Suite 108
Chantilly, VA 20151
703-449-6500
ATTN: David Duncan

OWNER
JACKSON-SHAW / BRICKYARD LIMITED PARTNERSHIP, LLLP
1101-30th Street NW, Suite B 100-A
Washington, DC 20007
301-429-1011
ATTN: Thomas J. Aylward III

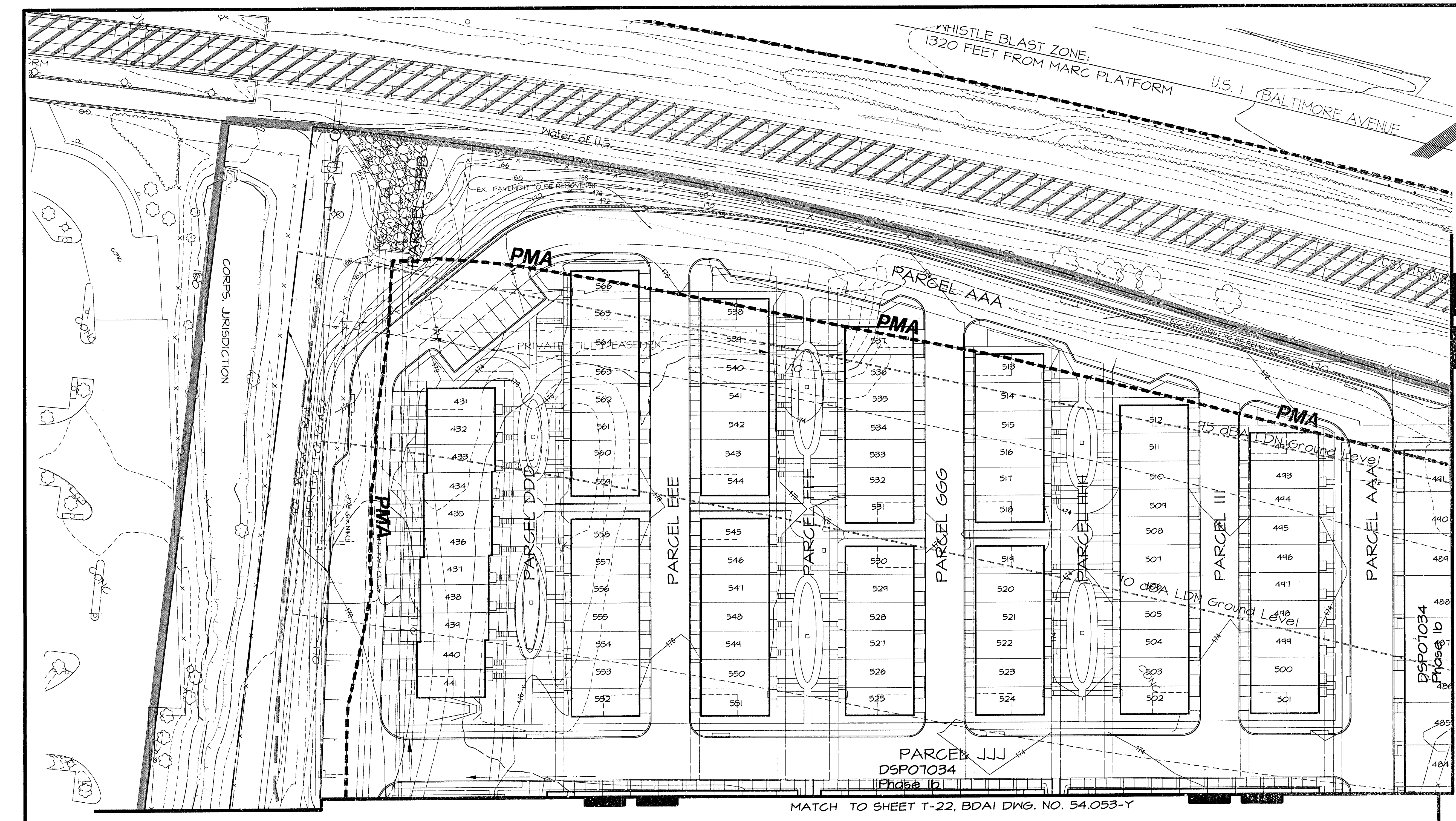
T-20		GRAPHIC SCALE		1" = 30'	
TOP SHEET 3 OF 13		0 30 60		1" = 30'	
January 17, 2018	7-23-08	Revised to create subpages for South D501034	PCN	1121 WOODBURY ROAD, SUITE 300 METHUEN, MASSACHUSETTS 01840	13
DATE	4-4-08	Revised per staff required input changes.	CM		
	3-27-08	Revised per M-NCPPC comments received 3-7-08	DW	 BEN DYER ASSOCIATES, INC. Engineers / Surveyors / Planners 1000 TELEPHONE (501) 450-1000	
	2/14/08	UPDATED WETLANDS / STREAM FEATURES	MB		
	2/6/08	REVISED PER M-NCPPC 1-11-08 COMMENTS	MB	COPYRIGHT © 2007 BEN DYER ASSOCIATES, INC. ISSUED BY: GEORGE DIERDORF, P.E. 1/13/2018	
	DATE	DESCRIPTION	BY	SCALE 1" = 30'	J-830-48
				DATE MAY 2007	54.031-Y
Mike Petrakis Qualified Professional Engineer Comm. 08.19.06.01					

K CALL MISS UTILITY
1-800-257-7777
48 hrs, Before Excavation





LEGEND	
EXISTING CONTOURS	---
PROPOSED CONTOURS	---
EXISTING SPOT ELEVATIONS	101.1 106.5
PROPOSED SPOT ELEVATIONS	101.2 105.1
PROPOSED SEWER	---
PROPOSED WATER	---
PROPOSED STORM DRAIN	---
EXISTING STREET LIGHT	---
PROPOSED STREET LIGHT	---
LIMIT OF DISTURBANCE	---
PRE-DEVELOPMENT TREE LINE	---
POST-DEVELOPMENT TREE LINE	---
FLOODPLAIN: EXISTING/PROPOSED	---
FLOODPLAIN BUFFER	---
WATERS OF THE U.S.	---
WETLAND LIMITS	---
WETLAND BUFFER	---
PRIMARY MANAGEMENT AREA	---
STREAM BUFFER	---
65 dBA LINE	---
PROPOSED RETAINING WALL	---
PROPOSED CHAIN LINK FENCE	---
PROPOSED VINYL SCREEN FENCE	---
PROPOSED CURB AND GUTTER	---
PROPOSED CONCRETE PAVING	---
PROPOSED HEAVY DUTY CONCRETE PAVING	---
PROPOSED HEAVY DUTY ASPHALT PAVING	---
STANDARD PARKING SPACES	---
COMPACT PARKING SPACES	---
HANDICAPPED PARKING SPACES	---
TREE PROTECTION FENCE	---
PRESERVATION PROTECTION SIGNAGE	---
REFORESTATION PROTECTION SIGNAGE	---
CLEARING AREA	---
PRESERVATION AREA	---
REFORESTATION AREA	---
WHISTLE BLAST ZONE	---
SPECIMEN TREE WITH LIMITS OF CRITICAL ROOT ZONE	---
PROPOSED TREE 1-1/2" 2" CAL.	---
MINING LIMITS	---
PHASE LINE	---
PRIMARY MANAGEMENT AREA	---
STREAM BUFFER	---



MATCH TO SHEET T-22, BDAI DWG. NO. 54.053-Y

MATCH TO SHEET T-24, BDAI DWG. NO. 54.055-Y

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QR label certifies that this plan meets conditions of final approval by the Planning Board, its designee or the District Council.	
M-NCPPC APPROVAL	
PROJECT NAME:	THE BRICK YARD SOUTH
PROJECT NUMBER:	DSP-07034-09
For Conditions of Approval and the Plan Cover Sheet or Approval Sheet, Amendment numbers must be included in the Project Number.	

FOR OFFICIAL USE ONLY	
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M-NCPPC APPROVAL	
PROJECT NAME:	THE BRICK YARD
PROJECT NUMBER:	DSP-05070-03
For Conditions of Approval and the Plan Cover Sheet or Approval Sheet, Amendment numbers must be included in the Project Number.	

M-NCPPC Prince George's County Planning Department Natural Resources Division	
APPROVAL	
TREE CONSERVATION PLAN	
TCP 2-118-05	
APPROVED BY	DATE
01. Lori Shirley	8/15/07
02. Lori Shirley	10/22/08
03. K. Shoulters	5/14/07
04. K. Shoulters	12/28/07
05. K. Shoulters	5/20/10
06. K. Shoulters	10/18/11
07. Megan K. Reiser	6/19/13
08. K. Shoulters	5/13/15
09. Megan K. Reiser	9/04/14
10. Megan K. Reiser	3/20/15
11. Megan K. Reiser	1/24/18
DSP-05024	
DSP-05070	
DSP-05070-01	
DSP-07034	
DSP-07034-01	
DSP-07034-04	
DSP-05070-03	
DSP-07034-06	
DSP-07034-08	
DSP-07034-09	
DSP-07034-10	

TREE CONSERVATION PLAN TYPE 2
THE BRICK YARD
MARC PLANNED COMMUNITY
PROPOSED LOTS 9-35, 38-84, 86, 89-III, 115-141, 143, 146-204, 206-225, 227-245, 297-360, 362-421, 429-620 AND PARCELS 'B', 'E', 'H', 'J' TO 'III'
LAUREL DISTRICT No. 10
PRINCE GEORGES COUNTY, MARYLAND
1956 200' SHEET SERIES: 216 NE 6 & 7 AND 217 NE 7
ADC MAP BK LOCATION 4 C-10



1" = 30'

DATE	REVISIONS DESCRIPTION	BY
03/21/17	REVISED TO UPDATE LAYOUT	PCN
01/11/16	REVISED GRADING FOR LOTS 246-254	PCN
1/09/15	Revised grading per clients request.	PCN
6/12/14	Revised to redesign clubhouse and sound wall.	PCN
11/14/13	REVISED TO COMFORM WITH DSP07034-06	PCN
05/16/13	REVISED TO COMFORM WITH DSP05070-03	PCN

APPLICANT
CALATLANTIC GROUP, INC.
14280 Park Meadow Drive, Suite 103
Chantilly, VA 20151
ATTN: David Duncan

OWNER
JACKSON-SHAW / BRICKYARD LIMITED PARTNERSHIP, LLLP
1101-30th Street NW, Suite B 100-A
Washington, DC 20007
301-424-1011
ATTN: Thomas J. Aylward III

T-21
TCP SHEET 4 OF 13

January 17, 2018
DATE

Mike Patrois
Qualified Professional
COMAR 08.19.06.01

DATE

DATE	REVISIONS DESCRIPTION	BY
04/21/12	REVISED TO COMFORM WITH DSP07034-02	PCN
7-23-04	Revised to create subphases for South DSP07034	PCN
4-4-08	Revised per staff required layout changes.	CM
3-21-08	Revised per M-NCPPC comments received 3-1-08	DM
2/14/08	UPDATED WETLANDS/ STREAM FEATURES	MB
2/6/08	REVISED PER M-NCPPC 1-11-08 COMMENTS	MB

1191 WOODBURN ROAD, SUITE 200
NORTHBELL, MARYLAND 20711
BEN DYER ASSOCIATES, INC.
Engineers / Surveyors / Planners
TELEPHONE (301) 630-8000
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DRAWN BY: DESIGNED BY: CHECKED BY: RECORDED BY:
SCALE 1"=30'
J-03048
DATE MAY 2007
DWG. NO. 54.052-Y

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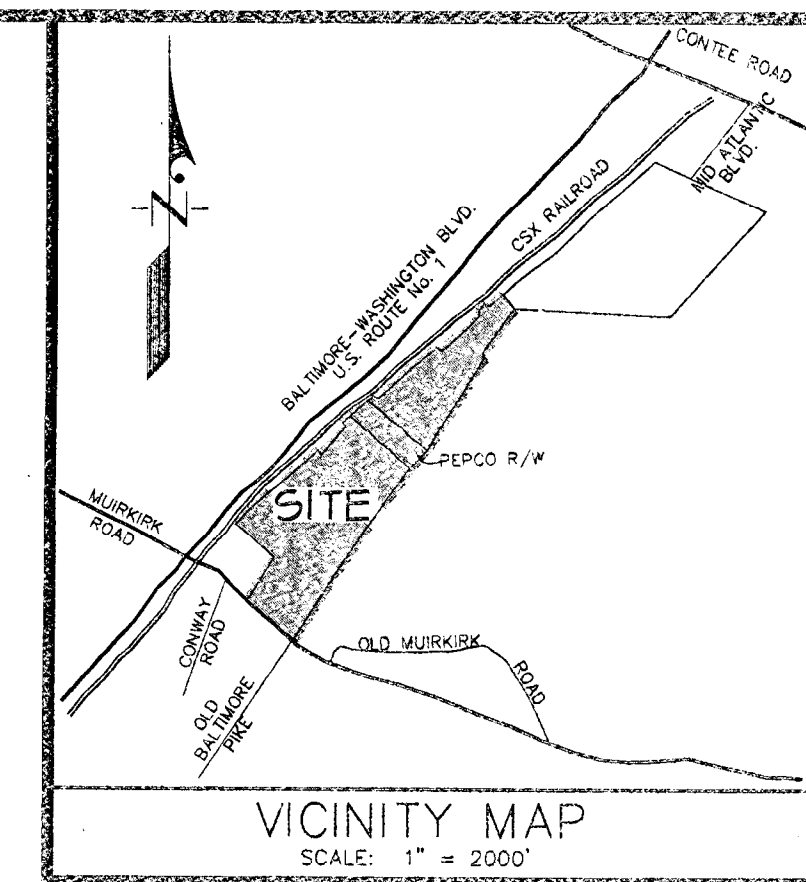
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LEGEND	
EXISTING CONTOURS	---
PROPOSED CONTOURS	---
EXISTING SPOT ELEVATIONS	100.0 100.5
PROPOSED SPOT ELEVATIONS	100.0 100.5
PROPOSED SEWER	---
PROPOSED WATER	---
PROPOSED STORM DRAIN	---
EXISTING STREET LIGHT	---
PROPOSED STREET LIGHT	---
LIMIT OF DISTURBANCE	---
PRE-DEVELOPMENT TREE LINE	---
POST-DEVELOPMENT TREE LINE	---
FLOODPLAIN: EXISTING/PROPOSED	---
FLOODPLAIN BUFFER	---
WATERS OF THE U.S.	---
WETLAND LIMITS	---
WETLAND BUFFER	---
PRIMARY MANAGEMENT AREA	---
STREAM BUFFER	---
65 dBA LINE	---
PROPOSED RETAINING WALL	---
PROPOSED CHAIN LINK FENCE	---
PROPOSED VINYL SCREEN FENCE	---
PROPOSED CURB AND GUTTER	---
PROPOSED CONCRETE PAVING	---
PROPOSED HEAVY DUTY CONCRETE PAVING	---
PROPOSED HEAVY DUTY ASPHALT PAVING	---
STANDARD PARKING SPACES	---
COMPACT PARKING SPACES	---
HANDICAPPED PARKING SPACES	---
TREE PROTECTION FENCE	---
REFORESTATION PROTECTION SIGNAGE	---
REFORESTATION PROTECTION SIGNAGE	---
CLEARING AREA	---
PRESERVATION AREA	---
REFORESTATION AREA	---
SPECIMEN TREE WITH LIMITS OF CRITICAL ROOT ZONE	---
PROPOSED TREE 1/2" x 2" CAL.	---
MINING LIMITS	---
PHASE LINE	---
PRIMARY MANAGEMENT AREA	---
STREAM BUFFER	---

M-NCPPC Prince George's County Planning Department Natural Resources Division	
APPROVAL	
TREE CONSERVATION PLAN	
TCP 2-118-05	
Approved by	DATE
Lori Shirley	8/15/07
Lori Shirley	10/25/08
Lori Shirley	5/4/07
K. Shoulters	12/25/07
K. Shoulters	5/20/10
K. Shoulters	10/18/11
K. Shoulters	6/19/13
Megan K. Reiser	5/13/15
K. Shoulters	8/24/14
Megan K. Reiser	3/20/15
Megan K. Reiser	1/24/18

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M-NCPPC APPROVAL

PROJECT NAME: THE BRICK YARD SOUTH

PROJECT NUMBER: DSP-07034-09

For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet. Amendment numbers must be included in the Project Number.

M.S. 1/24/18

FOR OFFICIAL USE ONLY

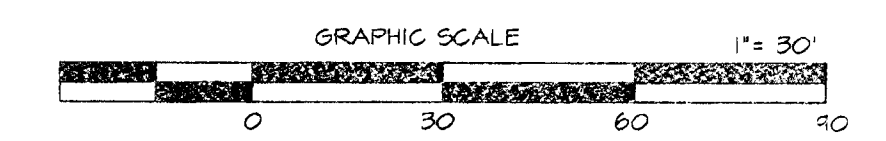
QR label certifies that this plan meets conditions of final approval by the Planning Board, its designee or the District Council.

M-NCPPC APPROVAL

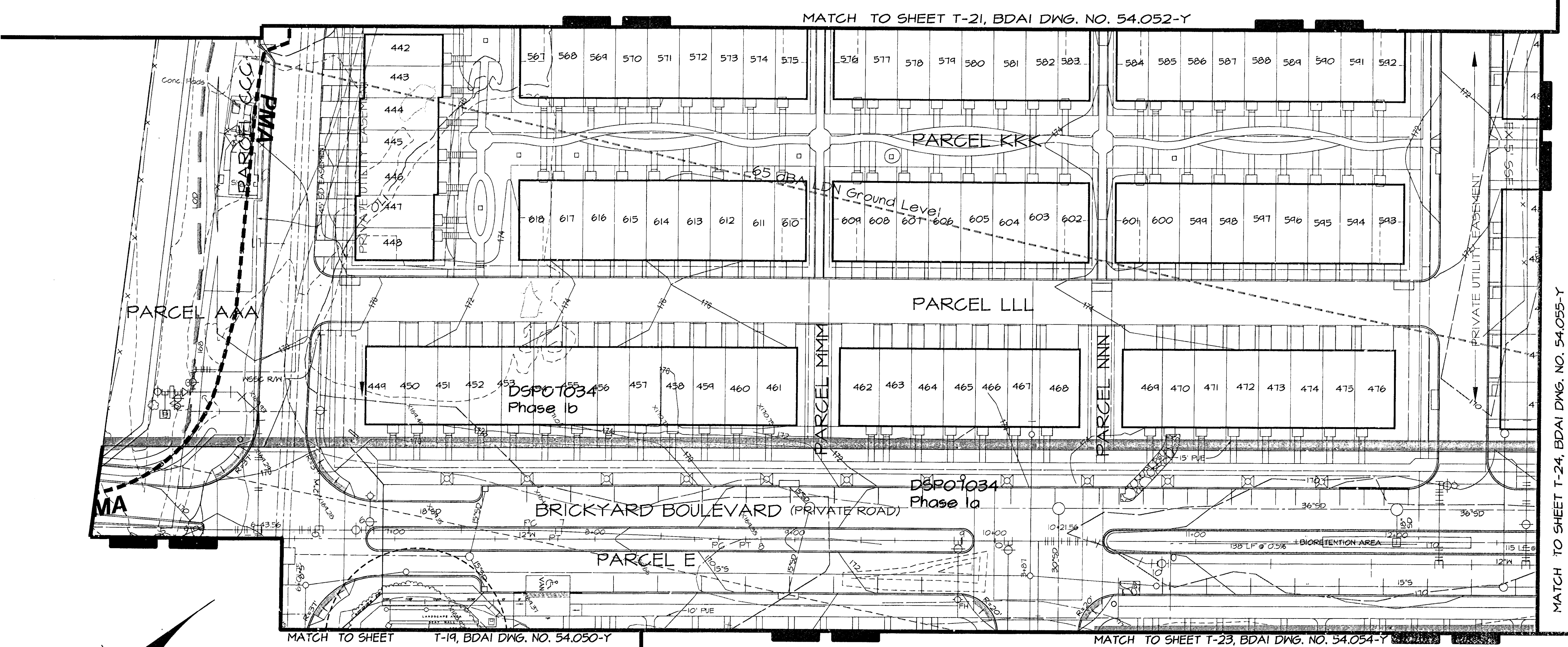
PROJECT NAME: THE BRICK YARD

PROJECT NUMBER: DSP-05070-03

For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet. Amendment numbers must be included in the Project Number.



9 13



APPLICANT
CALATLANTIC GROUP, INC.
14200 Park Meadow Drive, Suite 100
Chantilly, VA 20151
703-449-6500
ATTN: David Duncan

OWNER
JACKSON-SHAW / BRICKYARD LIMITED PARTNERSHIP, LLLP
1101-30th Street NW, Suite B 100-A
Washington, DC 20007
301-429-1011
ATTN: Thomas J. Ayward III

DATE	REVISIONS DESCRIPTION	BY
01/04/10	Revised for architecture and lotting	PCN
03/21/11	REVISED TO UPDATE LAYOUT	PCN
01/11/16	REVISED GRADING FOR LOTS 246-254	PCN
1/04/15	Revised grading per clients request.	PCN
6/12/14	Revised to redesign clubhouse and sound wall.	PCN
11/14/13	REVISED TO CONFORM WITH DSP07034-06	PCN
05/16/13	REVISED TO CONFORM WITH DSP05070-03	PCN

TREE CONSERVATION PLAN TYPE 2
THE BRICK YARD
MARC PLANNED COMMUNITY
PROPOSED LOTS 9-35, 38-84, 86, 89-111, 115-141, 143,
146-204, 206-225, 227-295, 297-360, 362-427,
429-620 AND PARCELS 'B', 'E', 'H', 'J' TO 'III'

LAUREL DISTRICT No. 10
PRINCE GEORGES COUNTY, MARYLAND
MSSC 200' SHEET SERIES: 216 NE 6 & 7 AND 217 NE 7
ADC MAP BK LOCATION 4-G10

T-22
TCP SHEET 3 OF 13

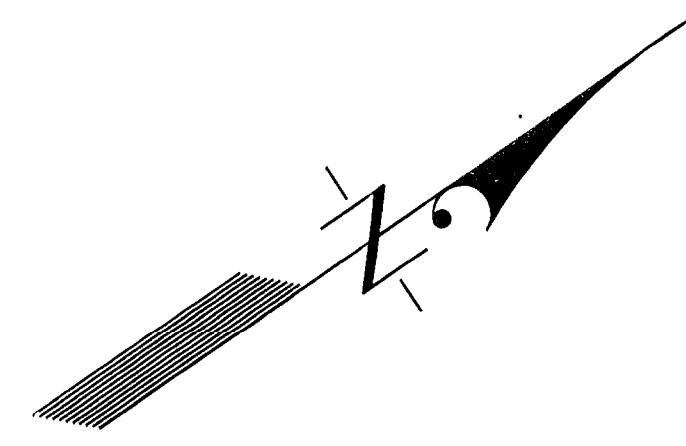
January 17, 2018

DATE

Mike Petroski
Qualified Professional
COMAR 08.19.06.01

DATE	REVISIONS DESCRIPTION	BY
7-23-04	Revised to create subphases for South DSP07034	PCN
4-4-08	Revised per staff required layout changes.	CW
3-21-08	Revised per M-NCPPC comments received 3-1-08	CW
2/14/08	UPDATED WETLANDS/ STREAM FEATURES	MB
2/16/08	REVISED PER M-NCPPC 1-11-08 COMMENTS	MB

CALL MISS UTILITY
1-800-257-7777
48 hrs. Before Excavation



CALL MISS UTILITY
1-800-257-7117
48 hrs. Before Excavation

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M-NCPPC APPROVAL
PROJECT NAME: THE BRICK YARD SOUTH
PROJECT NUMBER: DSP-07034-09
For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet. Amendment numbers must be included in the Project Number.

M.T. 1/21/18

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M-NCPPC APPROVAL
PROJECT NAME: THE BRICK YARD
PROJECT NUMBER: DSP-05070-03
For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet. Amendment numbers must be included in the Project Number.

DATE	REVISIONS DESCRIPTION	BY
03/21/17	REVISED TO UPDATE LAYOUT	PCN
01/11/16	REVISED GRADING FOR LOTS 246-259	PCN
11/04/15	Revised grading per clients request.	PCN
6/12/14	Revised to redesign clubhouse and sound wall.	PCN
11/14/13	REVISED TO COMFORM WITH DSP07034-06	PCN
05/16/13	REVISED TO COMFORM WITH DSP05070-03	PCN

APPLICANT
CALATLANTIC GROUP, INC.
14280 Park Meadow Drive, Suite 100
Chantilly, VA 20151
ATTN: David Duncan

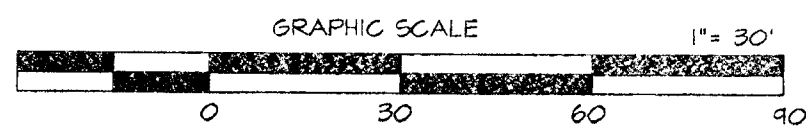
OWNER
JACKSON-SHAW / BRICKYARD LIMITED PARTNERSHIP, LLLP
1101-30th Street, NW, Suite B 100-A
Washington, DC 20007
301-424-1011
ATTN: Thomas J. Aylward III

T-23
TCP SHEET 6 OF 13

January 17, 2018
DATE
Mike Petrofsky
Qualified Professional
COMAR 08.19.06.01

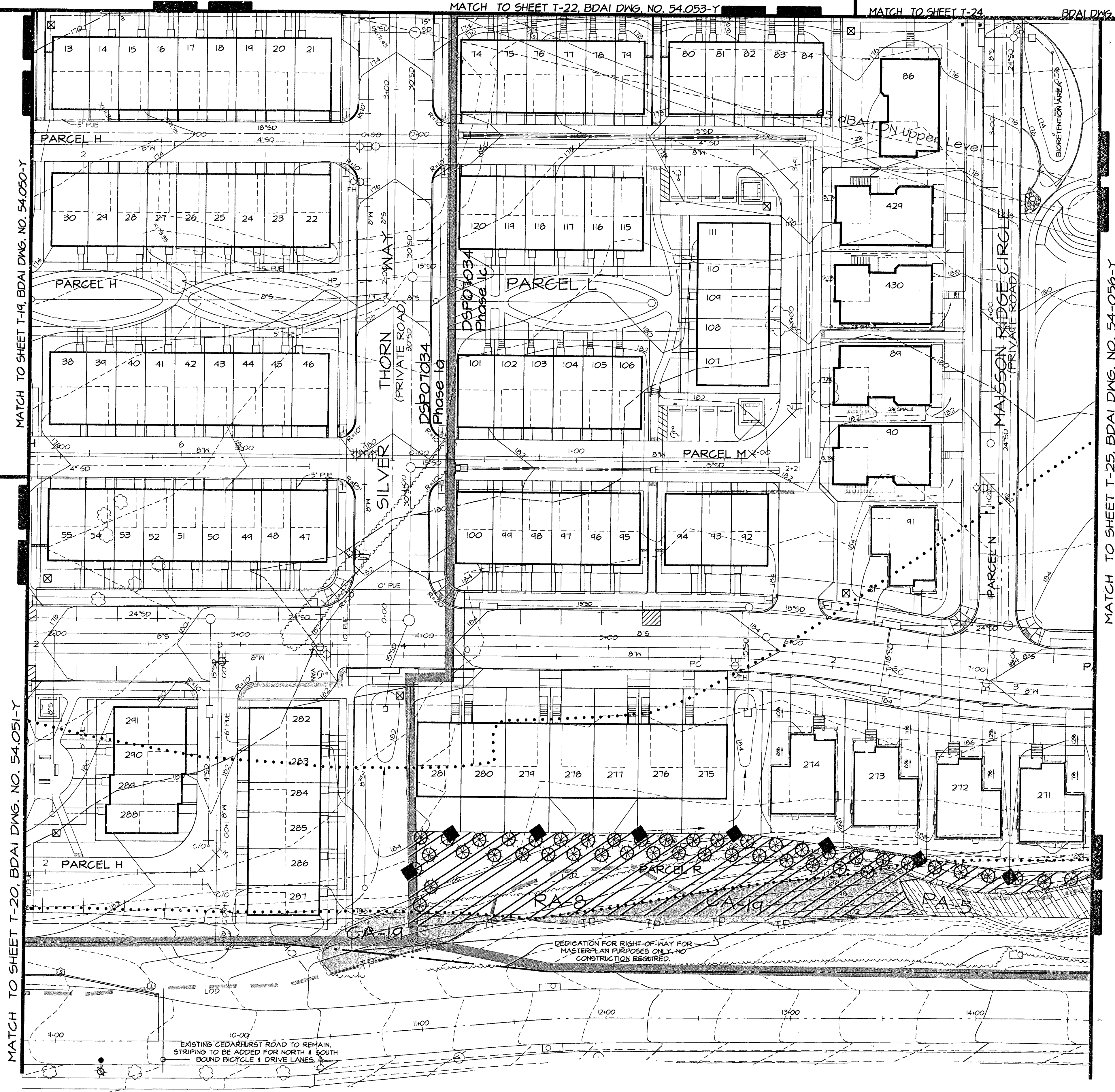
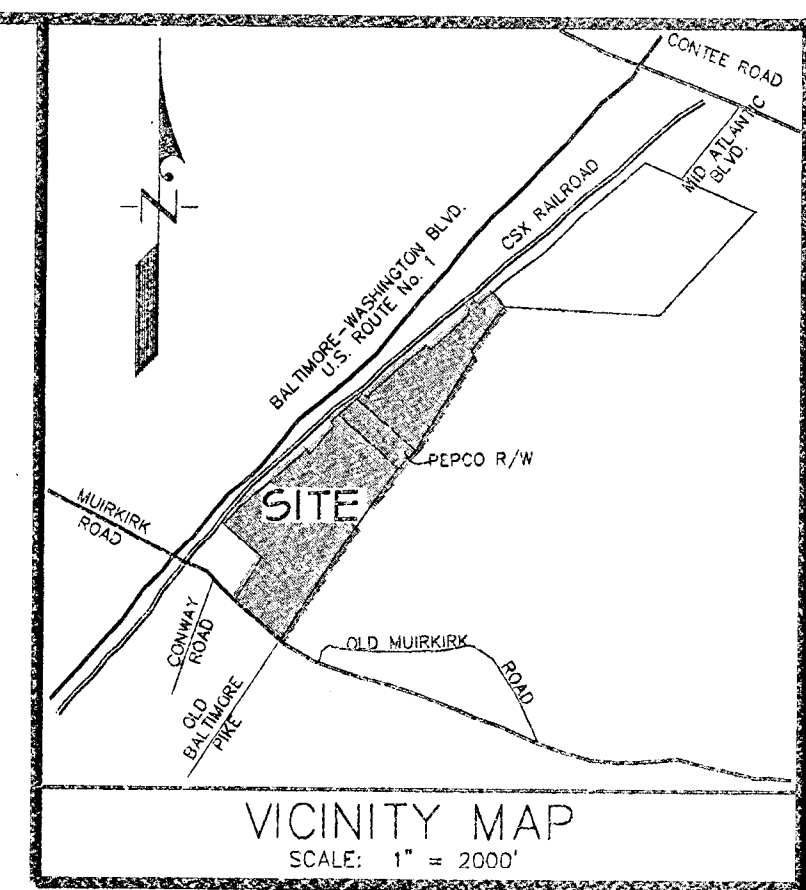
DATE	REVISIONS DESCRIPTION	BY
04/21/12	REVISED TO COMFORM WITH DSP07034-02	PCN
7-23-09	Revised to create subphases for South DSP07034	PCN
4-4-08	Revised per staff required layout changes.	PCN
3-21-08	Revised per M-NCPPC comments received 3-1-08	PCN
2/14/08	UPDATED WETLANDS/ STREAM FEATURES	DM
2/6/08	REVISED PER M-NCPPC 1-11-08 COMMENTS	MB
DATE	REVISIONS DESCRIPTION	BY
1/17/2018	1/17/2018 11:12:11 AM	

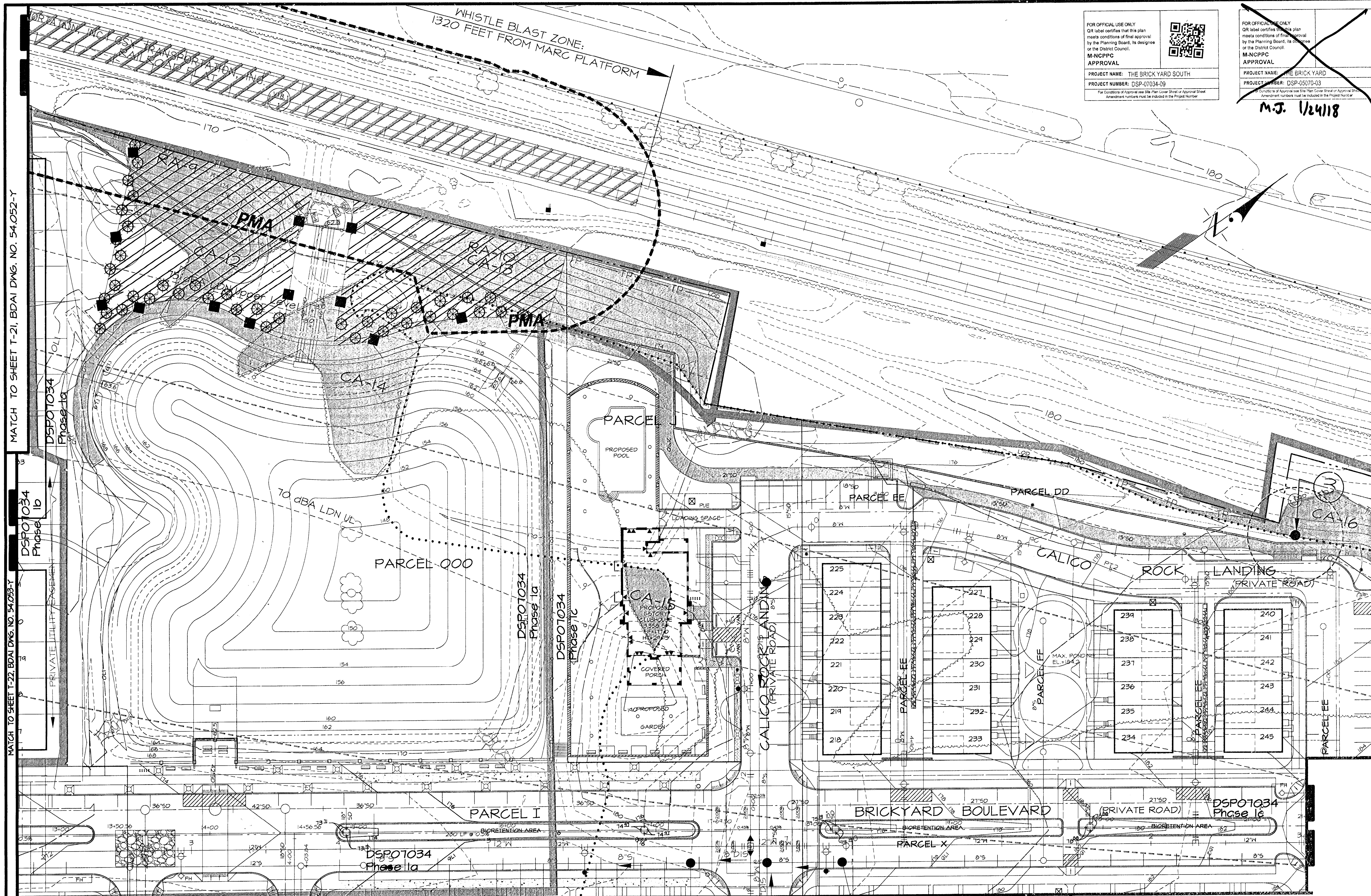
TREE CONSERVATION PLAN TYPE 2
THE BRICK YARD
MARC PLANNED COMMUNITY
PROPOSED LOTS 9-35, 38-84, 86, 89-111, 115-141, 143, 146-204, 206-225, 227-245, 247-360, 362-421, 424-620 AND PARCELS 'B', 'E', 'H', 'J' TO 'III'
LAUREL DISTRICT No. 10
PRINCE GEORGES COUNTY, MARYLAND
MSSC 200' SHEET SERIES: 216 NE 6 & 7 AND 217 NE 7
ADC MAP BK LOCATION 4 C-10



LEGEND

EXISTING CONTOURS	---
PROPOSED CONTOURS	---
EXISTING SPOT ELEVATIONS	x 04.7 x 06.5
PROPOSED SPOT ELEVATIONS	+181.2 +185.1
PROPOSED SEWER	---
PROPOSED WATER	---
PROPOSED STORM DRAIN	---
EXISTING STREET LIGHT	△
PROPOSED STREET LIGHT	△
LIMIT OF DISTURBANCE	---
PRE-DEVELOPMENT TREE LINE	---
POST-DEVELOPMENT TREE LINE	---
FLOODPLAIN: EXISTING/PROPOSED	---
FLOODPLAIN BUFFER	---
WATERS OF THE U.S.	---
WETLAND LIMITS	---
WETLAND BUFFER	---
PRIMARY MANAGEMENT AREA	---
STREAM BUFFER	---
65 dBA LINE	---
PROPOSED RETAINING WALL	---
PROPOSED CHAIN LINK FENCE	---
PROPOSED VINYL SCREEN FENCE	---
PROPOSED CURB AND GUTTER	---
PROPOSED CONCRETE PAVING	---
PROPOSED HEAVY DUTY CONCRETE PAVING	---
PROPOSED HEAVY DUTY ASPHALT PAVING	---
STANDARD PARKING SPACES	---
COMPACT PARKING SPACES	---
HANDICAPPED PARKING SPACES	---
TREE PROTECTION FENCE	TP
PRESERVATION PROTECTION SIGNAGE	---
REFORESTATION PROTECTION SIGNAGE	---
CLEARING AREA	---
PRESERVATION AREA	---
REFORESTATION AREA	---
SPECIMEN TREE WITH LIMITS OF CRITICAL ROOT ZONE	---
PROPOSED TREE 1/2"-2" GAL.	---
MINING LIMITS	---
PHASE LINE	---





MATCH TO SHEET T-21, BDAI DWG. NO. 54.052-Y

MATCH TO SHEET T-22, BDAI DWG. NO. 54.053-Y

MATCH TO SHEET T-23, BDAI DWG. NO. 54.054-Y

CALL MISS UTILITY
1-800-257-7777
48 hrs, Before Excavation

APPLICANT
CALATLANTIC GROUP, INC.
14280 Park Meadow Drive, Suite 108
Chantilly, VA 20151
703-444-6500
ATTN: David Duncan

OWNER
JACKSON-SHAW / BRICKYARD LIMITED
PARTNERSHIP, LLLP
1101-30th Street NW, Suite B 100-A
Washington, DC 20007
301-424-1011
ATTN: Thomas J. Aylward III

TREE CONSERVATION PLAN TYPE 2
THE BRICK YARD
MARC PLANNED COMMUNITY
PROPOSED LOTS 9-35, 38-84, 86, 89-111, 115-141, 143,
146-204, 206-225, 227-245, 247-360, 362-421,
424-620 AND PARCELS 'B', 'E', 'H', 'J' TO 'III'
LAUREL DISTRICT No. 10
PRINCE GEORGES COUNTY, MARYLAND

MATCH TO SHEET T-25, BDAI DWG. NO. 54.056-Y

MATCH TO SHEET T-27, BDAI DWG. NO. 54.058-Y

DATE	REVISIONS DESCRIPTION	BY
03/21/17	REVISED TO UPDATE LAYOUT	PCN
01/11/16	REVISED GRADING FOR LOTS 246-254	PCN
1/09/15	Revised grading per clients request.	PCN
6/12/14	Revised to redesign clubhouse and sound wall.	PCN
6/05/14	Revised to remove reforestation in front of retaining wall in RA-10.	PCN
11/14/13	REVISED TO CONFORM WITH DSP01034-06	PCN
03/16/13	REVISED TO CONFORM WITH DSP05070-03	PCN
DATE	REVISIONS DESCRIPTION	BY

T-24
TOP SHEET 1 OF 13
HSSC 2007 SHEET SERIES: 216 NE 6 & 7 AND 217 NE 7
ADG MAP BK LOCATION 4 C-10
1151 DOODMAN ROAD, SUITE 200
MITCHELLVILLE, MARYLAND 21115

January 17, 2018
DATE

04/21/12 REVISED TO CONFORM WITH DSP01034-02 PCN

7-23-09 Revised to create subphases for South DSP01034 PCN

4-4-08 Revised per staff required layout changes. C/N

3-21-08 Updated per M-NCPPC comments received 3-1-08 C/N

2/14/08 UPDATED WETLANDS/ STREAM FEATURES MB

2/16/08 REVISED PER M-NCPPC 1-11-08 COMMENTS MB

DATE REVISIONS DESCRIPTION BY

Mike Parks
Qualified Professional
COMAR 08.19.06.01

APPROVAL
TREE CONSERVATION PLAN
TCP 2-118-05

Approved by DATE DSP-05024
Lori Shirley 8/15/07 DSP-05070
Lori Shirley 10/25/08 DSP-05070
Lori Shirley 5/4/07 DSP-05070-01
K. Shoulters 12/26/07 DSP-07034
K. Shoulters 5/20/10
K. Shoulters 10/18/11 DSP-07034-01
K. Shoulters 6/19/13 DSP-07034-04
Megan K. Reiser 5/13/15 DSP-05070-03
K. Shoulters 3/04/14 DSP-07034-05
Megan K. Reiser 3/20/15 DSP-07034-08
Megan K. Reiser 12/4/12 DSP-07034-09
Megan K. Reiser 12/4/12 DSP-07034-10

GRAPHIC SCALE 1" = 30'

0 30 60 90

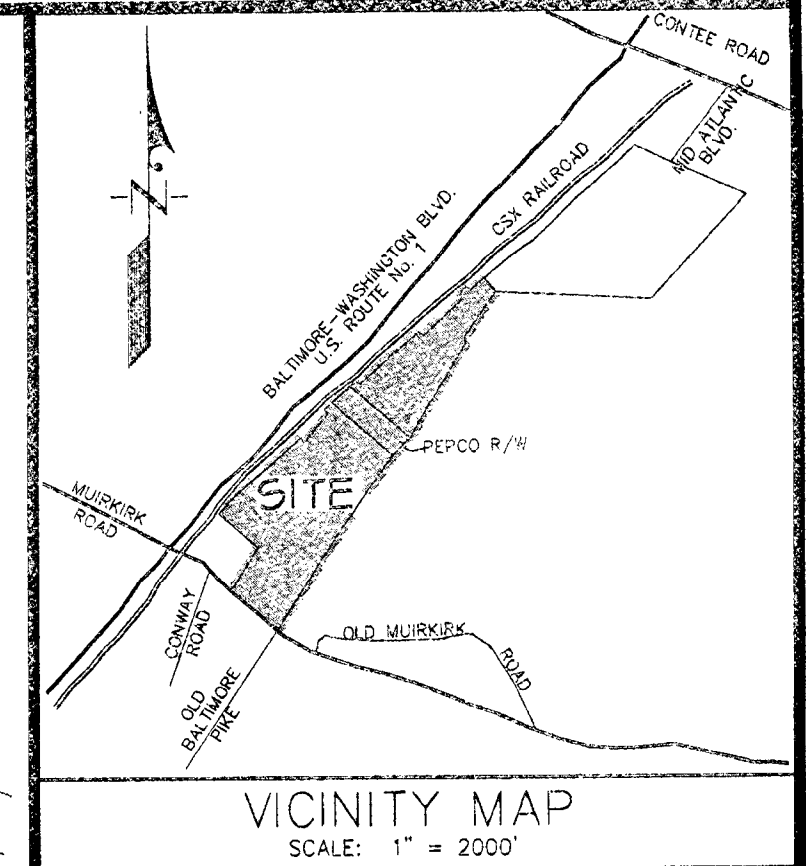
13

SEAN DYER ASSOCIATES, INC.
Engineers / Surveyors / Planners
TEL: 800-458-6009
COPYRIGHT © 2001 BEN DYER ASSOCIATES, INC.
DRAWN BY: DESIGNED BY: CHECKED BY: RECORDS BY:
J-8304-B
SCALE: 1" = 30'
DATE: MAY 2007
DWG. NO.: 54.055-Y

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meets conditions of final approval
by the Planning Board, its designee
or the District Council.
M-NCPPC
APPROVAL
PROJECT NAME: THE BRICK YARD SOUTH
PROJECT NUMBER: DSP-07034-09
For Conditions of Approval see the Plan Cover Sheet or Approval Sheet
Unrecorded surfaces shall be indicated in the Project Number

FOR OFFICIAL USE ONLY
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M-NCPPC
APPROVAL
PROJECT NAME: THE BRICK YARD
PROJECT NUMBER: DSP-05070-03
For Conditions of Approval see the Plan Cover Sheet or Approval Sheet
Unrecorded surfaces shall be indicated in the Project Number

M.J. 1/24/18



VICINITY MAP
SCALE: 1" = 200'

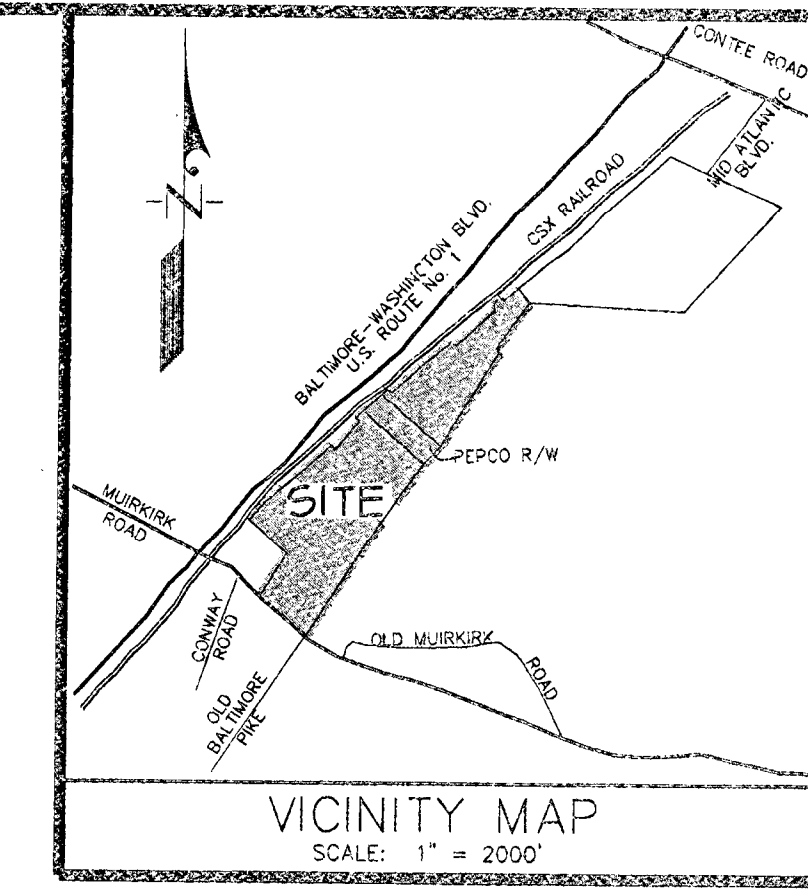
LEGEND

EXISTING CONTOURS	---
PROPOSED CONTOURS	---
EXISTING SPOT ELEVATIONS	116.7 116.5
PROPOSED SPOT ELEVATIONS	116.2 115.1
PROPOSED SEWER	---
PROPOSED WATER	---
PROPOSED STORM DRAIN	---
EXISTING STREET LIGHT	---
PROPOSED STREET LIGHT	---
LIMIT OF DISTURBANCE	---
PRE-DEVELOPMENT TREE LINE	---
POST-DEVELOPMENT TREE LINE	---
FLOODPLAIN, EXISTING/PROPOSED	---
FLOODPLAIN BUFFER	---
WATERS OF THE U.S.	---
WETLAND LIMITS	---
WETLAND BUFFER	---
PRIMARY MANAGEMENT AREA	---
STREAM BUFFER	---
65 DBA LINE	---
PROPOSED RETAINING WALL	---
PROPOSED CHAIN LINK FENCE	---
PROPOSED VINYL SCREEN FENCE	---
PROPOSED CURB AND GUTTER	---
PROPOSED CONCRETE PAVING	---
PROPOSED HEAVY DUTY CONCRETE PAVING	---
PROPOSED HEAVY DUTY ASPHALT PAVING	---
STANDARD PARKING SPACES	---
COMPACT PARKING SPACES	---
HANDICAPPED PARKING SPACES	---
TREE PROTECTION FENCE	---
PRESERVATION PROTECTION SIGNAGE	---
REFORESTATION PROTECTION SIGNAGE	---
CLEARING AREA	---
PRESERVATION AREA	---
REFORESTATION AREA	---
WHISTLE BLAST ZONE	---
SPECIMEN TREES WITH LIMITS OF CRITICAL ROOT ZONE	---
PROPOSED TREE 1/12'-2' CAL.	---
MINING LIMITS	---
PHASE LINE	---
PRIMARY MANAGEMENT AREA	---
STREAM BUFFER	---

M-NCPPC
Prince George's County Planning Department
Natural Resources Division

APPROVAL
TREE CONSERVATION PLAN
TCP 2-118-05

Approved by	DATE	DSP-05024
Lori Shirley	8/15/07	DSP-05070
Lori Shirley	10/25/08	DSP-05070-01
Lori Shirley	5/4/07	DSP-07034
K. Shoulters	12/26/07	DSP-07034-01
K. Shoulters	5/20/10	DSP-07034-04
K. Shoulters	10/18/11	DSP-07034-05
K. Shoulters	6/19/13	DSP-07034-08
Megan K. Reiser	5/13/15	DSP-07034-09
K. Shoulters	3/04/14	DSP-07034-10
Megan K. Reiser	3/20/15	DSP-07034-11
Megan K. Reiser	12/4/12	DSP-07034-12



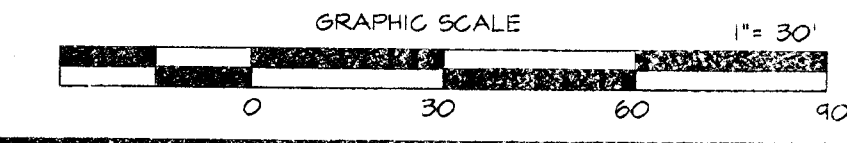
LEGEND	
EXISTING CONTOURS	---
PROPOSED CONTOURS	---
EXISTING SPOT ELEVATIONS	x 124.7 x 126.5
PROPOSED SPOT ELEVATIONS	+121.2 +125.1
PROPOSED SEWER	---
PROPOSED WATER	---
PROPOSED STORM DRAIN	---
EXISTING STREET LIGHT	△
PROPOSED STREET LIGHT	△
LIMIT OF DISTURBANCE	LOD
PRE-DEVELOPMENT TREE LINE	---
POST-DEVELOPMENT TREE LINE	---
FLOODPLAIN: EXISTING/PROPOSED	---
FLOODPLAIN BUFFER	---
WATERS OF THE U.S.	---
WETLAND LIMITS	---
WETLAND BUFFER	---
PRIMARY MANAGEMENT AREA	---
STREAM BUFFER	---
65 DBA LINE	---
PROPOSED RETAINING WALL	---
PROPOSED CHAIN LINK FENCE	---
PROPOSED VINYL SCREEN FENCE	---
PROPOSED CURB AND GUTTER	---
PROPOSED CONCRETE PAVING	---
PROPOSED HEAVY DUTY CONCRETE PAVING	---
PROPOSED HEAVY DUTY ASPHALT PAVING	---
STANDARD PARKING SPACES	---
COMPACT PARKING SPACES	---
HANDICAPPED PARKING SPACES	---
TREE PROTECTION FENCE	TP
PRESERVATION PROTECTION SIGNAGE	---
REFORESTATION PROTECTION SIGNAGE	---
CLEARING AREA	---
PRESERVATION AREA	---
REFORESTATION AREA	---
SPECIMEN TREE WITH LIMITS OF CRITICAL ROOT ZONE	---
PROPOSED TREE 1-1/2" 2" CAL.	---
MINING LIMITS	---
PHASE LINE	---

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M-NCPPC
APPROVAL
PROJECT NAME: THE BRICK YARD SOUTH
PROJECT NUMBER: DSP-07034-09
For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet
Amendment numbers must be included in the Project Number

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APPROVAL
PROJECT NAME: THE BRICK YARD
PROJECT NUMBER: DSP-05070-03
For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet
Amendment numbers must be included in the Project Number

M-NCPPC Prince George's County Planning Department Natural Resources Division APPROVAL TREE CONSERVATION PLAN TCP 2-118-05			
APPROVED BY	DATE	PROJECT	DATE
01 Lari Shirley	8/15/07	DSP-05024	
02 Lari Shirley	10/25/06	DSP-05070	
03 K. Shoulters	5/4/07	DSP-05070-01	
04 K. Shoulters	12/26/07	DSP-07034	
05 K. Shoulters	5/20/10		
06 K. Shoulters	10/18/11	DSP-07034-01	
07 K. Shoulters	5/13/13	DSP-07034-04	
08 Megan K. Reiser	5/13/15	DSP-05070-03	
09 K. Shoulters	8/04/14	DSP-07034-06	
10 Megan K. Reiser	3/20/15	DSP-07034-08	
11 Mike Jank	1/24/18	DSP-07034-09	

TREE CONSERVATION PLAN TYPE 2
THE BRICK YARD
MARC PLANNED COMMUNITY
PROPOSED LOTS 9-35, 38-84, 86, 89-III, 115-141, 143, 146-204, 206-225, 227-245, 297-360, 362-427, 429-620 AND PARCELS 'B', 'E', 'H', 'J' TO 'III'
LAUREL DISTRICT No. 10
PRINCE GEORGES COUNTY, MARYLAND
WSSG 200' SHEET SERIES: 216 NE 6 & 7 AND 217 NE 7
ADC MAP BK LOCATION 4 G-10



DATE	REVISIONS DESCRIPTION	BY
03/21/17	REVISED TO UPDATE LAYOUT	PCN
01/11/16	REVISED GRADING FOR LOTS 246-254	PCN
1/09/15	Revised grading per clients request.	PCN
6/12/14	Revised to redesign clubhouse and sound wall.	PCN
11/14/13	REVISED TO CONFORM WITH DSP07034-06	PCN
05/16/13	REVISED TO CONFORM WITH DSP05070-03	PCN

APPLICANT
CALATLANTIC GROUP, INC.
14280 Park Meadow Drive, Suite 108
Chantilly, VA 20151
703-444-6500
ATTN: David Duncan

OWNER
JACKSON-SHAW / BRICKYARD LIMITED PARTNERSHIP, LLLP
1101-30th Street NW, Suite B 100-A
Washington, DC 20007
301-424-1011
ATTN: Thomas J. Aylward III

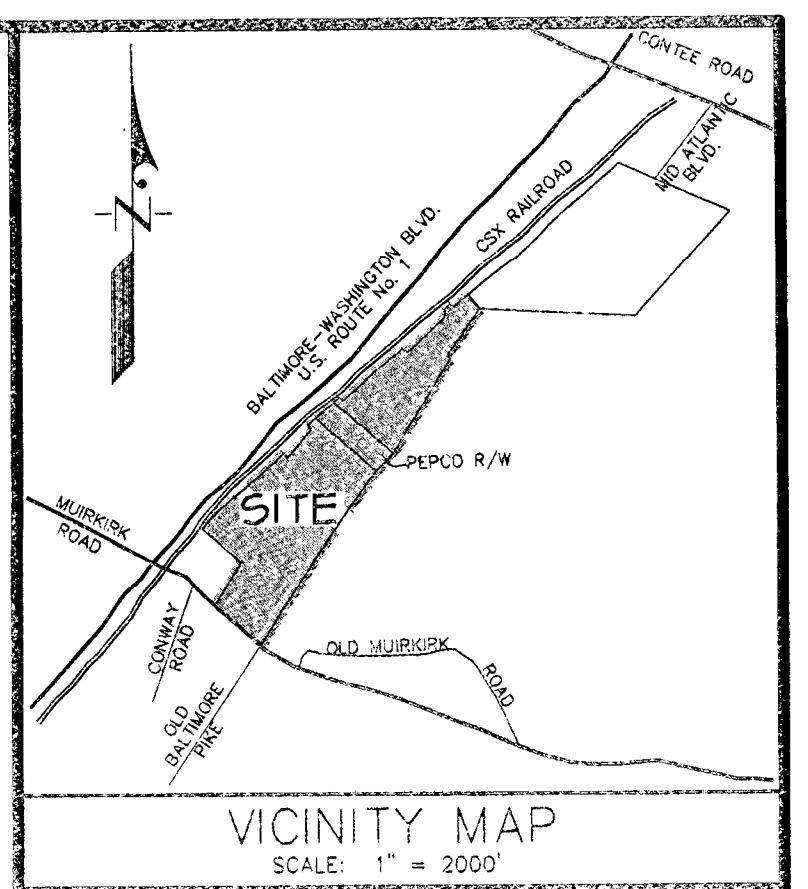
T-25
TCP SHEET 8 OF 13
January 17, 2018
DATE
Mike Petrakis
Qualified Professional
COMAR 08.19.06.01

DATE	REVISIONS DESCRIPTION	BY
04/21/12	REVISED TO CONFORM WITH DSP07034-02	PCN
7-23-09	Revised to create subphases for South DSP07034	PCN
4-4-08	Revised per staff required layout changes.	CW
3-21-08	Revised per M-NCPPC comments received 3-1-08	CW
2/14/08	UPDATED WETLANDS/ STREAM FEATURES	MB
2/6/08	REVISED PER M-NCPPC 1-11-08 COMMENTS	MB

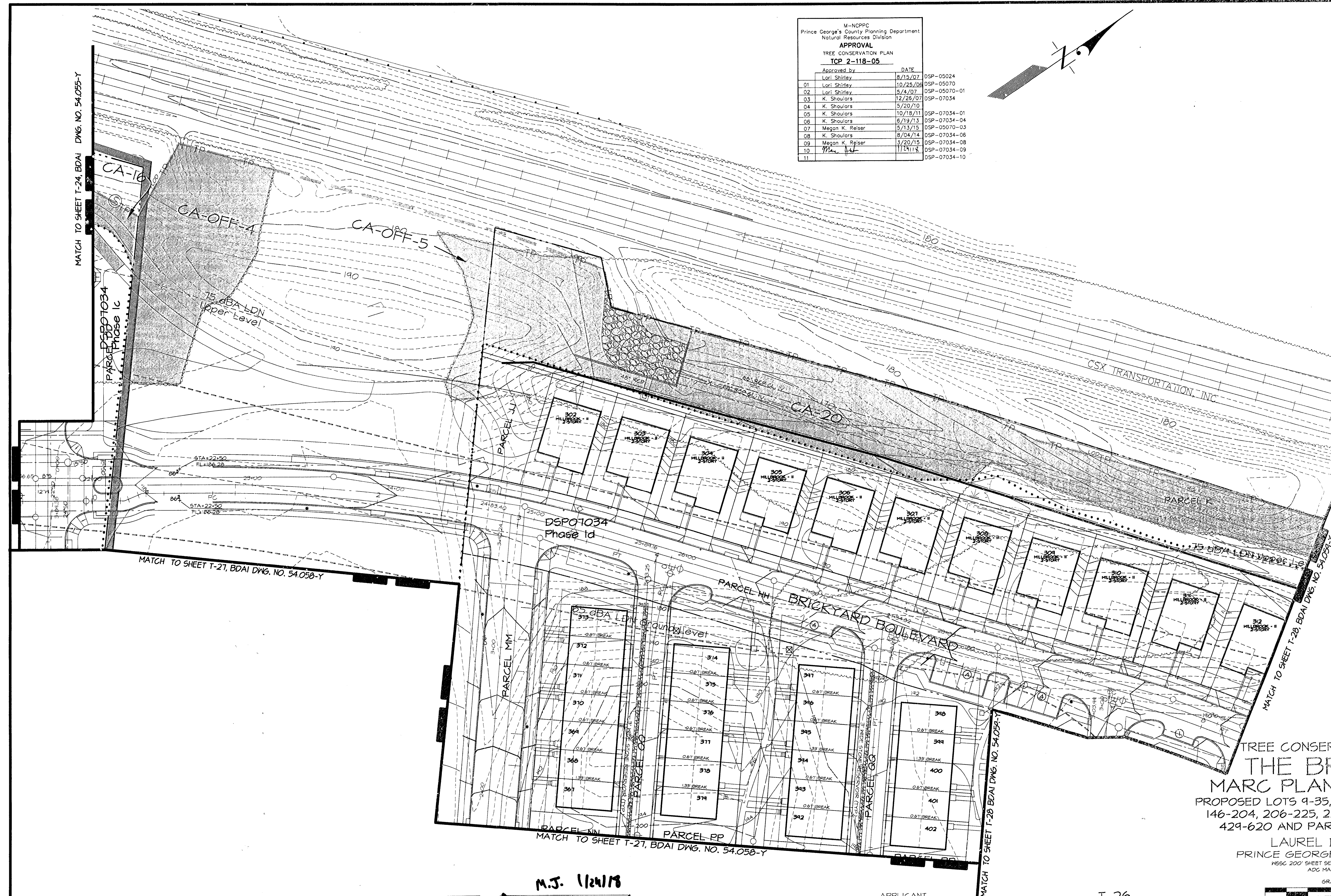
1071 WOODBURN ROAD, SUITE 200
MITCHELLVILLE, MARYLAND 20701
BEN DYER ASSOCIATES, INC.
Engineers / Surveyors / Planners
Telephone: (301) 450-2000
FAX: (301) 450-2000
COPYRIGHT © 2007 BEN DYER ASSOCIATES, INC.
DRAWN BY: DESIGNED BY: CHECKED BY: APPROVED BY: J-83048
SCALE: 1"=30'
DATE: MAY 2007
SHEET NO: 54.056-Y

CALL MISS UTILITY
1-800-257-1777
48 hrs. Before Excavation

M-NCPPC Prince George's County Planning Department Natural Resources Division		
APPROVAL TREE CONSERVATION PLAN TCP 2-118-05		
APPROVED BY	DATE	DSP-05024
01 Lori Shirley	8/15/07	DSP-05070
02 Lori Shirley	10/25/08	DSP-05070-01
03 K. Shoulters	5/14/07	DSP-07034
04 K. Shoulters	12/26/07	DSP-07034-01
05 K. Shoulters	5/20/10	DSP-07034-04
06 K. Shoulters	10/18/11	DSP-05070-03
07 Megan K. Reiser	6/19/13	DSP-07034-06
08 K. Shoulters	5/13/15	DSP-07034-08
09 Megan K. Reiser	8/24/14	DSP-07034-09
10 Megan K. Reiser	3/20/15	DSP-07034-10
11	11/11/18	



LEGEND	
EXISTING CONTOURS	---
PROPOSED CONTOURS	---
EXISTING SPOT ELEVATIONS	118.5 118.5
PROPOSED SPOT ELEVATIONS	118.2 118.1
PROPOSED SEWER	---
PROPOSED WATER	---
PROPOSED STORM DRAIN	---
EXISTING STREET LIGHT	---
PROPOSED STREET LIGHT	---
LIMIT OF DISTURBANCE	---
PRE-DEVELOPMENT TREE LINE	---
POST-DEVELOPMENT TREE LINE	---
FLOODPLAIN: EXISTING/PROPOSED	---
FLOODPLAIN BUFFER	---
WATERS OF THE U.S.	---
WETLAND LIMITS	---
WETLAND BUFFER	---
PRIMARY MANAGEMENT AREA	---
STREAM BUFFER	---
65 dBA LINE	---
PROPOSED RETAINING WALL	---
PROPOSED CHAIN LINK FENCE	---
PROPOSED VINYL SCREEN FENCE	---
PROPOSED CURB AND GUTTER	---
PROPOSED CONCRETE PAVING	---
PROPOSED HEAVY DUTY CONCRETE PAVING	---
PROPOSED HEAVY DUTY ASPHALT PAVING	---
STANDARD PARKING SPACES	---
COMPACT PARKING SPACES	---
HANDICAPPED PARKING SPACES	---
TREE PROTECTION FENCE	---
PRESERVATION PROTECTION SIGNAGE	---
REFORESTATION PROTECTION SIGNAGE	---
CLEARING AREA	---
PRESERVATION AREA	---
REFORESTATION AREA	---
SPECIMEN TREE WITH LIMITS OF CRITICAL ROOT ZONE	---
PROPOSED TREE 1/2"x2" CAL.	---
MINING LIMITS	---
PHASE LINE	---



TREE CONSERVATION PLAN TYPE 2
THE BRICK YARD
 MARC PLANNED COMMUNITY
 PROPOSED LOTS 9-35, 38-84, 86, 89-111, 115-141, 143, 146-204, 206-225, 227-295, 297-360, 362-427, 429-620 AND PARCELS 'B', 'E', 'H', 'J' TO 'III'
 LAUREL DISTRICT No. 10
 PRINCE GEORGES COUNTY, MARYLAND
 MISC 200' SHEET SERIES: 216 NE 6 & 7 AND 217 NE 7
 ADC MAP BK LOCATION 4 C-10

CALL MISS UTILITY
 1-800-251-7777
 48 hrs. Before Excavation

FOR OFFICIAL USE ONLY
 QR label certifies that this plan meets conditions of final approval by the Planning Board, its designee or the District Council.
 M-NCPPC APPROVAL
 PROJECT NAME: THE BRICK YARD SOUTH
 PROJECT NUMBER: DSP-07034-09
 For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet
 Amendment numbers must be included in the Project Number

FOR OFFICIAL USE ONLY
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 M-NCPPC APPROVAL
 PROJECT NAME: THE BRICK YARD
 PROJECT NUMBER: DSP-05070-03
 For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet
 Amendment numbers must be included in the Project Number

DATE	REVISIONS DESCRIPTION	BY
03/21/17	REVISED TO UPDATE LAYOUT	PCN
01/11/16	REVISED GRADING FOR LOTS 246-259	PCN
1/09/15	Revised grading per clients request.	PCN
6/12/14	Revised to redesign clubhouse and sound wall.	PCN
11/14/13	REVISED TO COMFORM WITH DSP07034-06	PCN
05/16/13	REVISED TO COMFORM WITH DSP05070-03	PCN

APPLICANT
 CALATLANTIC GROUP, INC.
 14200 Park Meadow Drive, Suite 108
 Chantilly, VA 20151
 703-444-6500
 ATTN: David Duncan
 OWNER
 JACKSON-SHAW / BRICKYARD LIMITED PARTNERSHIP, LLLP
 1101-30th Street NW, Suite B 100-A
 Washington, DC 20007
 301-424-1011
 ATTN: Thomas J. Ayward III

T-26
 TCP SHEET 9 OF 13

January 17, 2018
 DATE
 Mike Petroski
 Qualified Professional
 CONAPP 08.19.08.01

DATE	REVISIONS DESCRIPTION	BY
04/21/12	REVISED TO COMFORM WITH DSP07034-02	PCN
7-23-09	Revised to create subphases for South DSP07034	PCN
4-4-08	Revised per staff required layout changes.	CW
3-27-08	Revised per M-NCPPC comments received 3-1-08	DM
2/14/08	UPDATED WETLANDS/ STREAM FEATURES	MB
2/6/08	REVISED PER M-NCPPC 1-11-08 COMMENTS	MB

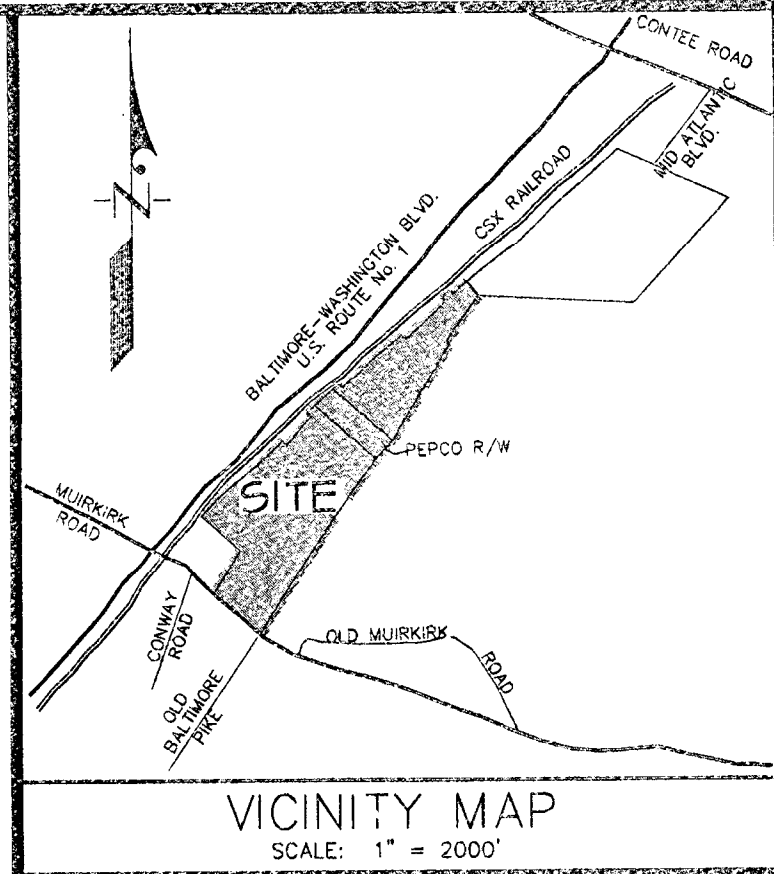
1021 WOODBURN ROAD, SUITE 200
 MITCHELLVILLE, MARYLAND 20714
 BEN DYER ASSOCIATES, INC.
 Engineers / Surveyors / Planners
 Telephone (301) 430-2000
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 DRAWN BY: DESIGNED BY: CHECKED BY: RECORDED BY:
 J-B3048
 SCALE: 1"=30'
 DATE: MAY 2007
 DWS NO: 54.055-Y

MATCH TO SHEET T-24, BDAI DWG. NO. 54.055-Y

MATCH TO SHEET T-26, BDAI DWG. NO. 54.057-Y

CALL MISS UTILITY
1-800-257-7777
48 hrs, Before Excavation

M-NCPPC Prince George's County Planning Department Natural Resources Division APPROVAL TREE CONSERVATION PLAN TCP 2-118-05			
Approved by	DATE	DSP	
01 Leri Shirley	8/13/07	DSP-05024	
02 Leri Shirley	10/25/08	DSP-05070	
03 K. Shoulters	6/14/07	DSP-05070-01	
04 K. Shoulters	12/28/07	DSP-07034	
05 K. Shoulters	5/20/10	DSP-07034-01	
06 K. Shoulters	6/19/13	DSP-07034-04	
07 Megan K. Reiser	3/13/15	DSP-05070-03	
08 K. Shoulters	8/04/14	DSP-07034-06	
09 Megan K. Reiser	3/20/15	DSP-07034-08	
10 <i>Marc</i>	1/24/18	DSP-07034-09	
11		DSP-07034-10	



LEGEND	
EXISTING CONTOURS	---
PROPOSED CONTOURS	---
EXISTING SPOT ELEVATIONS	x 104.7 x106.5
PROPOSED SPOT ELEVATIONS	x 101.2 x105.1
PROPOSED SEWER	---
PROPOSED WATER	---
PROPOSED STORM DRAIN	---
EXISTING STREET LIGHT	---
PROPOSED STREET LIGHT	---
LIMIT OF DISTURBANCE	---
PRE-DEVELOPMENT TREE LINE	---
POST-DEVELOPMENT TREE LINE	---
FLOODPLAIN, EXISTING/PROPOSED	---
FLOODPLAIN BUFFER	---
WATERS OF THE U.S.	---
WETLAND LIMITS	---
WETLAND BUFFER	---
PRIMARY MANAGEMENT AREA	---
STREAM BUFFER	---
65 dBA LINE	---
PROPOSED RETAINING WALL	---
PROPOSED CHAIN LINK FENCE	---
PROPOSED VINYL SCREEN FENCE	---
PROPOSED CURB AND GUTTER	---
PROPOSED CONCRETE PAVING	---
PROPOSED HEAVY DUTY CONCRETE PAVING	---
PROPOSED HEAVY DUTY ASPHALT PAVING	---
STANDARD PARKING SPACES	---
COMPACT PARKING SPACES	---
HANDICAPPED PARKING SPACES	---
TREE PROTECTION FENCE	---
PRESERVATION PROTECTION SIGNAGE	---
REFORESTATION PROTECTION SIGNAGE	---
CLEARING AREA	---
PRESERVATION AREA	---
REFORESTATION AREA	---
SPECIMEN TREE WITH LIMITS OF CRITICAL ROOT ZONE	---
PROPOSED TREE 1-1/2" x 2" CAL.	---
MINING LIMITS	---
PHASE LINE	---

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M-NCPPC
APPROVAL
PROJECT NAME: THE BRICK YARD SOUTH
PROJECT NUMBER: DSP-07034-09
For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet. Amendment numbers must be included in the Project Number.

M.T. 1/24/18
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M-NCPPC
APPROVAL
PROJECT NAME: THE BRICK YARD
PROJECT NUMBER: DSP-05070-03
For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet. Amendment numbers must be included in the Project Number.

TREE CONSERVATION PLAN TYPE 2
THE BRICK YARD
MARC PLANNED COMMUNITY
PROPOSED LOTS 9-35, 38-84, 86, 89-III, 115-141, 143, 146-204, 206-225, 227-245, 247-360, 362-427, 429-620 AND PARCELS 'B', 'E', 'H', 'J' TO 'III'
LAUREL DISTRICT No. 10
PRINCE GEORGES COUNTY, MARYLAND
MSSC 200' SHEET SERIES: 216 NE 6 & 7 AND 217 NE 7
ADC MAP BK LOCATION 4 C-10

APPLICANT
CALATLANTIC GROUP, INC.
14280 Park Meadow Drive, Suite 108
Chantilly, VA 20151
703-444-6500
ATTN: David Duncan

OWNER
JACKSON-SHAW / BRICKYARD LIMITED PARTNERSHIP, LLLP
1101-300th Street NW, Suite B 100-A
Washington, DC 20007
301-424-1011
ATTN: Thomas J. Aylward III

DATE	REVISIONS DESCRIPTION	BY
03/21/17	REVISED TO UPDATE LAYOUT	PCN
01/11/16	REVISED GRADING FOR LOTS 246-259	PCN
1/04/15	Revised grading per clients request.	PCN
6/12/14	Revised to redesign clubhouse and sound wall.	PCN
11/14/13	REVISED TO COMFORM WITH DSP01034-06	PCN
05/16/13	REVISED TO COMFORM WITH DSP05070-03	PCN

T-27
TCP SHEET 10 OF 13
January 17, 2018
Mike Patrois
Qualified Professional
COMAR 08.19.08.01

DATE	REVISIONS DESCRIPTION	BY
04/21/12	REVISED TO COMFORM WITH DSP01034-02	PCN
7-23-09	Revised to create subphases for South DSP01034	PCN
4-4-08	Revised per staff required layout changes.	GW
3-21-08	Revised per M-NCPPC comments received 3-1-08	DM
2/14/08	UPDATED WETLANDS/ STREAM FEATURES	MB
2/6/08	REVISED PER M-NCPPC 1-11-08 COMMENTS	MB

1721 WOODBURN ROAD, SUITE 200
WITCHAMILL, MARYLAND 20794
DEN DYER ASSOCIATES, INC.
Engineers / Surveyors / Planners
TELEPHONE (301) 430-5000
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DRAWN BY: DESIGNED BY: CHECKED BY: SECOND NO. J-8304B
SCALE 1"=30'
DATE MAY 2007
DWG NO. 54.058-Y

03/21/17	REVISED TO UPDATE LAYOUT	PCN
01/11/16	REVISED GRADING FOR LOTS 246-259	PCN
1/04/15	Revised grading per clients request.	PCN
6/12/14	Revised to redesign clubhouse and sand wall.	PCN
11/14/13	REVISED TO COMFORM WITH DSP07034-06	PCN
05/16/13	REVISED TO COMFORM WITH DSP05070-03	PCN
DATE	REVISIONS DESCRIPTION	BY

M.J. 1/24/18

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M-NCPPC APPROVAL

PROJECT NAME: THE BRICK YARD SOUTH
PROJECT NUMBER: DSP-07034-09

For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet. Amendment numbers must be included in the Project Number.

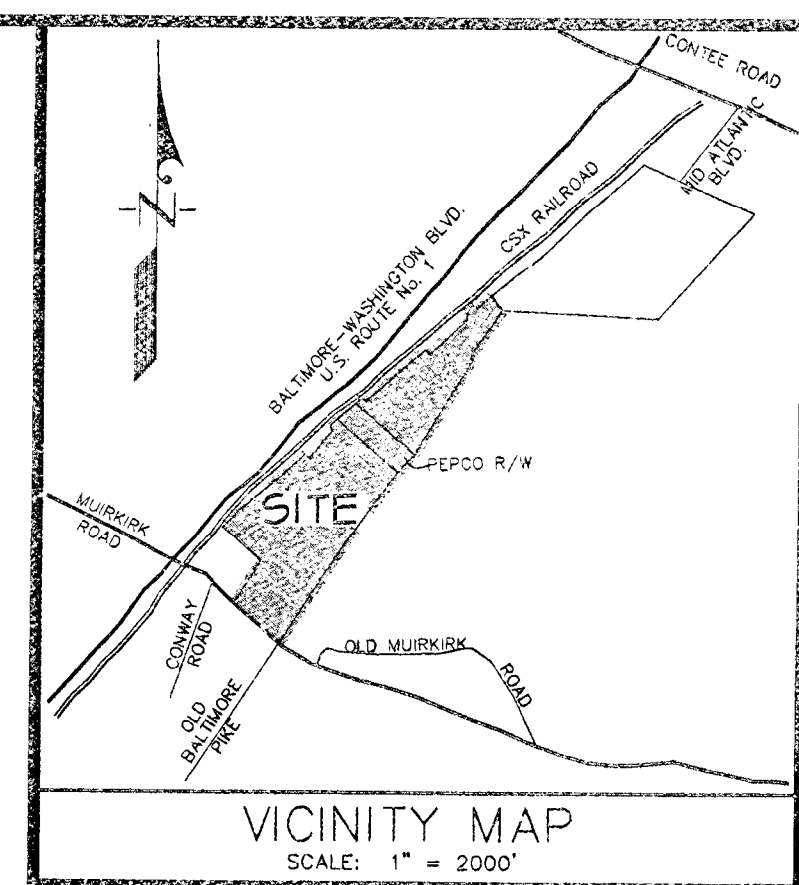
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M-NCPPC APPROVAL

PROJECT NAME: THE BRICK YARD
PROJECT NUMBER: DSP-06070-03

For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet. Amendment numbers must be included in the Project Number.

CALL MISS UTILITY
1-800-251-7777
48 hrs. Before Excavation

TREE CONSERVATION PLAN TYPE 2
THE BRICK YARD
MARC PLANNED COMMUNITY
PROPOSED LOTS 9-35, 38-84, 86, 89-111, 115-141, 143, 146-204, 206-225, 227-245, 247-360, 362-427, 429-620 AND PARCELS 'B', 'E', 'H', 'J' TO 'III'
LAUREL DISTRICT No. 10
PRINCE GEORGES COUNTY, MARYLAND
PSSC 200' SHEET SERIES: 216 NE 6 1 7 AND 217 NE 1
ADC MAP BK LOCATION 4 C-10



LEGEND	
EXISTING CONTOURS	---
PROPOSED CONTOURS	---
EXISTING SPOT ELEVATIONS	x189.7 x186.5
PROPOSED SPOT ELEVATIONS	+181.2 +185.1
PROPOSED SEWER	---
PROPOSED WATER	---
PROPOSED STORM DRAIN	---
EXISTING STREET LIGHT	---
PROPOSED STREET LIGHT	---
LIMIT OF DISTURBANCE	---
PRE-DEVELOPMENT TREE LINE	---
POST-DEVELOPMENT TREE LINE	---
FLOODPLAIN, EXISTING/PROPOSED	---
FLOODPLAIN BUFFER	---
WATERS OF THE U.S.	---
WETLAND LIMITS	---
WETLAND BUFFER	---
PRIMARY MANAGEMENT AREA	---
STREAM BUFFER	---
65 DBA LINE	---
PROPOSED RETAINING WALL	---
PROPOSED CHAIN LINK FENCE	---
PROPOSED VINYL SCREEN FENCE	---
PROPOSED CURB AND GUTTER	---
PROPOSED CONCRETE PAVING	---
PROPOSED HEAVY DUTY CONCRETE PAVING	---
PROPOSED HEAVY DUTY ASPHALT PAVING	---
STANDARD PARKING SPACES	---
COMPACT PARKING SPACES	---
HANDICAPPED PARKING SPACES	---
TREE PROTECTION FENCE	---
PRESERVATION PROTECTION SIGNAGE	---
REFORESTATION PROTECTION SIGNAGE	---
CLEARING AREA	---
PRESERVATION AREA	---
REFORESTATION AREA	---
SPECIMEN TREE WITH LIMITS OF CRITICAL ROOT ZONE	---
PROPOSED TREE 1-1/2" x 2" CAL.	---
MINING LIMITS	---
PHASE LINE	---

M-NCPPC Prince Georges County Planning Department Natural Resources Division	
APPROVAL	
TREE CONSERVATION PLAN	
TCP 2-118-05	
APPROVED BY	DATE
01. Lori Shirley	8/15/07 DSP-06024
02. Lori Shirley	10/28/08 DSP-05010
03. K. Shoulters	5/24/07 DSP-05010-01
04. K. Shoulters	12/26/07 DSP-07034
05. K. Shoulters	5/20/10 DSP-07034-01
06. K. Shoulters	10/18/11 DSP-07034-01
07. Megan K. Reiser	6/19/13 DSP-07034-04
08. K. Shoulters	3/13/15 DSP-05070-03
09. K. Shoulters	8/24/14 DSP-07034-06
10. Megan K. Reiser	3/20/15 DSP-07034-08
11. M.J.	1/24/18 DSP-07034-09

APPLICANT
CALATLANTIC GROUP, INC.
14280 Park Meadow Drive, Suite 108
Chantilly, VA 20151
703-444-6500
ATTN: David Duncan

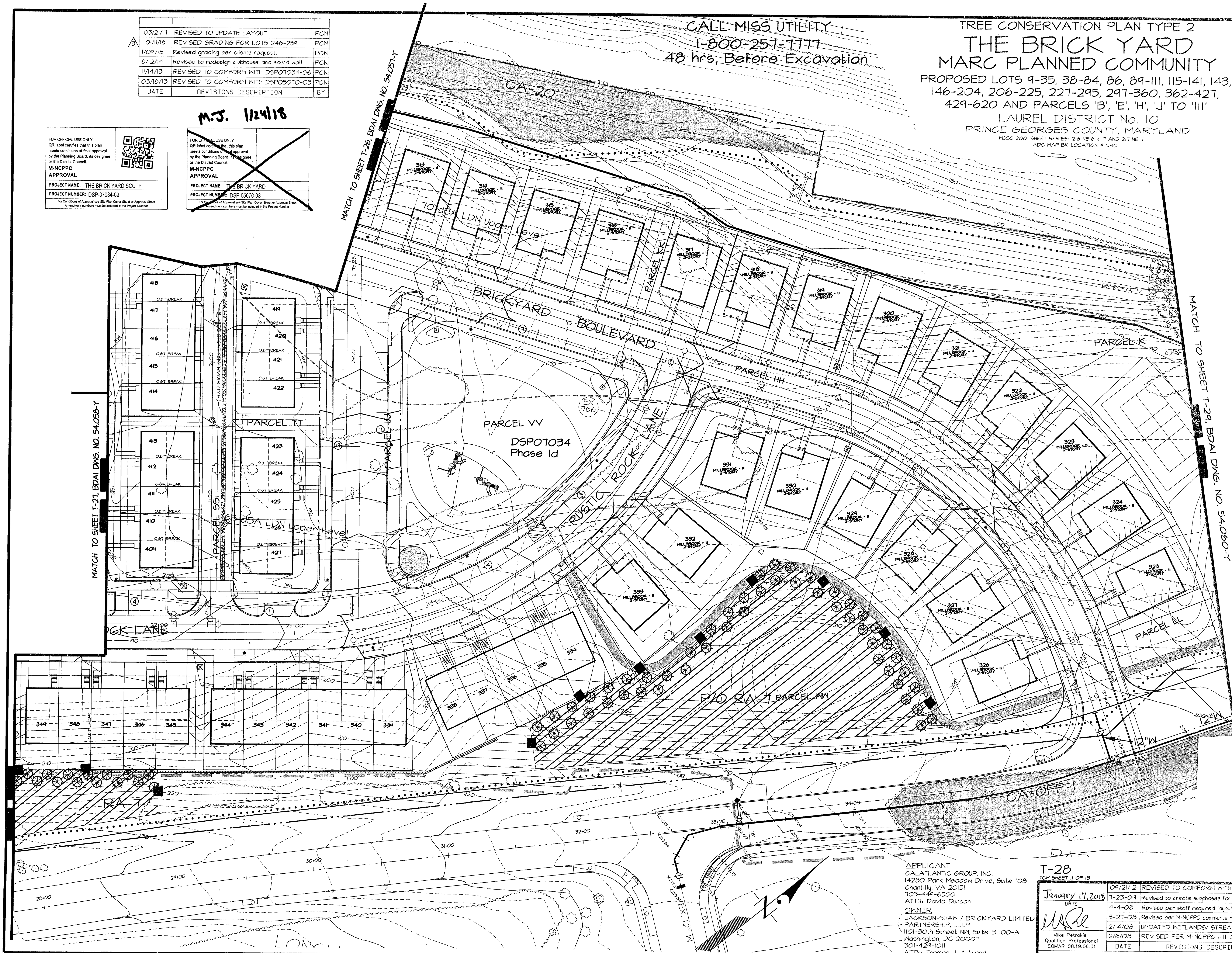
OWNER
JACKSON-SHAW / BRICKYARD LIMITED
PARTNERSHIP, LLP
1101-30th Street NW, Suite B 100-A
Washington, DC 20007
301-424-1011
ATTN: Thomas J. Aylward III

T-28
TOP SHEET 11 OF 13

January 17, 2018
DATE
Mike Petroski
Qualified Professional
COMAR 08.19.06.01

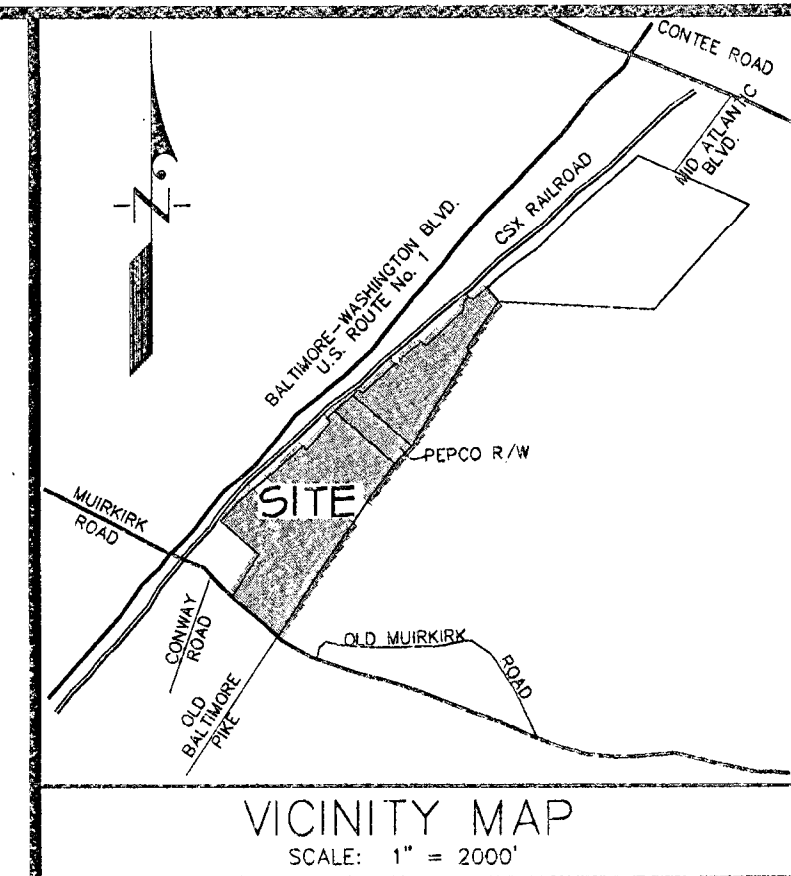
04/21/12	REVISED TO COMFORM WITH DSP07034-02	PCN
1-23-09	Revised to create subphases for South DSP07034	PCN
4-4-08	Revised per staff required layout changes.	CH
3-21-08	Revised per M-NCPPC comments received 3-7-08	DM
2/14/08	UPDATED WETLANDS/ STREAM FEATURES	MB
2/6/08	REVISED PER M-NCPPC 1-11-08 COMMENTS	MB
DATE	REVISIONS DESCRIPTION	BY

11741 WOODBINE ROAD, SUITE 500
MITCHELLVILLE, MARYLAND 20711
BEN DYER ASSOCIATES, INC.
Engineers / Surveyors / Planners
TELEPHONE (301) 430-8000
FAX (301) 430-8000
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DRAWN BY DESIGNED BY CHECKED BY RECORD NO.
SCALE 1"=30'
DATE MAY 2007
SHEET NO. 54.054-Y

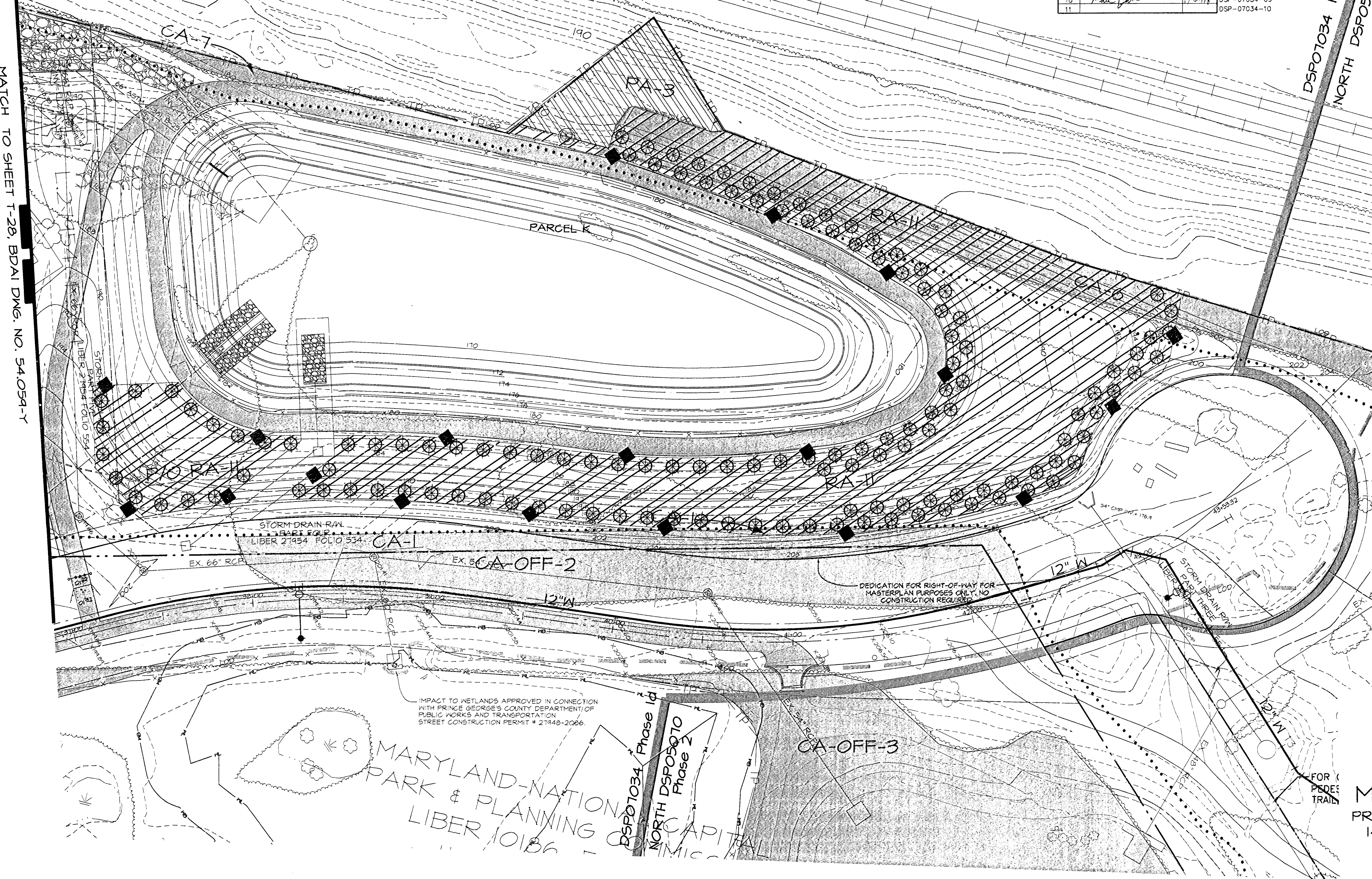


MATCH TO SHEET T-28, BDAI DWG. NO. 54.054-Y

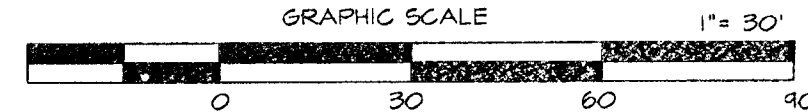
M-NCPPC Prince George's County Planning Department Natural Resources Division APPROVAL TREE CONSERVATION PLAN TCP 2-118-05		
APPROVED BY	DATE	
01 Leri Shirley	8/15/07	DSP-05024
02 Leri Shirley	10/25/08	DSP-05070
03 K. Shoulers	5/4/07	DSP-05070-01
04 K. Shoulers	12/28/07	DSP-07034
05 K. Shoulers	5/20/10	
06 K. Shoulers	10/18/11	DSP-07034-01
07 Megan K. Reiser	6/19/13	DSP-07034-04
08 K. Shoulers	5/13/15	DSP-05070-03
09 Megan K. Reiser	8/04/14	DSP-07034-06
10 Megan K. Reiser	3/20/15	DSP-07034-08
11	1/21/16	DSP-07034-09
		DSP-07034-10



LEGEND	
EXISTING CONTOURS	-178-
PROPOSED CONTOURS	-182
EXISTING SPOT ELEVATIONS	x189.1 x 28.5
PROPOSED SPOT ELEVATIONS	+181.2 +185.1
PROPOSED SEWER	—
PROPOSED WATER	—
PROPOSED STORM DRAIN	—
EXISTING STREET LIGHT	△
PROPOSED STREET LIGHT	●
LIMIT OF DISTURBANCE	—
PRE-DEVELOPMENT TREE LINE	—
POST-DEVELOPMENT TREE LINE	—
FLOODPLAIN: EXISTING/PROPOSED	—
FLOODPLAIN BUFFER	—
WATERS OF THE U.S.	—
KETLAND LIMITS	—
KETLAND BUFFER	—
PRIMARY MANAGEMENT AREA	—
STREAM BUFFER	—
65 dBA LINE	—
PROPOSED RETAINING WALL	—
PROPOSED CHAIN LINK FENCE	—
PROPOSED VINYL SCREEN FENCE	—
PROPOSED CURB AND SUTTER	—
PROPOSED CONCRETE PAVING	—
PROPOSED HEAVY DUTY CONCRETE PAVING	—
PROPOSED HEAVY DUTY ASPHALT PAVING	—
STANDARD PARKING SPACES	—
COMPACT PARKING SPACES	—
HANDICAPPED PARKING SPACES	—
TREE PROTECTION FENCE	—
PRESERVATION PROTECTION SIGNAGE	—
REFORESTATION PROTECTION SIGNAGE	—
CLEARING AREA	—
PRESERVATION AREA	—
REFORESTATION AREA	—
SPECIMEN TREE WITH LIMITS OF CRITICAL ROOT ZONE	—
PROPOSED TREE 1-1/2" CAL.	—
MINING LIMITS	—
PHASE LINE	—



TREE CONSERVATION PLAN TYPE 2
THE BRICK YARD
MARC PLANNED COMMUNITY
PROPOSED LOTS 9-35, 38-84, 86, 89-III, 115-141, 143, 146-204, 206-225, 227-245, 247-360, 362-427, 429-620 AND PARCELS 'B', 'E', 'H', 'J' TO 'III'
LAUREL DISTRICT No. 10
PRINCE GEORGES COUNTY, MARYLAND
WBSG 200' SHEET SERIES: 216 NE 6 & 7 AND 217 NE 1
ADD MAP BK LOCATION 4 G-10



13

CALL MISS UTILITY
1-800-257-7177
48 hrs, Before Excavation

FOR OFFICIAL USE ONLY
QR label certifies that this plan meets conditions of final approval by the Planning Board, its designee or the District Council.
M-NCPPC APPROVAL
PROJECT NAME: THE BRICK YARD SOUTH
PROJECT NUMBER: DSP-07034-09
For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet Amendment Number must be included in the Project Number.

M.J. 1/24/19

FOR OFFICIAL USE ONLY
QR label certifies that this plan meets conditions of final approval by the Planning Board, its designee or the District Council.
M-NCPPC APPROVAL
PROJECT NAME: THE BRICK YARD
PROJECT NUMBER: DSP-05070-03
For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet Amendment Number must be included in the Project Number.

DATE	REVISIONS DESCRIPTION	BY
03/21/17	REVISED TO UPDATE LAYOUT	PCN
01/11/16	REVISED GRADING FOR LOTS 246-259	PCN
1/04/15	Revised grading per clients request.	PCN
6/12/14	Revised to redesign clubhouse and sound wall.	PCN
11/14/13	REVISED TO CONFORM WITH DSP07034-06	PCN
05/16/13	REVISED TO CONFORM WITH DSP05070-03	PCN

APPLICANT
CALATLANTIC GROUP, INC.
14280 Park Meadow Drive, Suite 108
Chantilly, VA 20151
703-444-6500
ATTN: David Duncan

OWNER
JACKSON-SHAW / BRICKYARD LIMITED PARTNERSHIP, LLLP
1101-30th Street NW, Suite B 100-A
Washington, DC 20007
301-424-1011
ATTN: Thomas J. Aylward III

T-29 TCP SHEET 12 OF 13	
January 17, 2019 DATE	04/21/12 REVISED TO CONFORM WITH DSP07034-02 PCN 10721 WOODMORE ROAD, SUITE 200 MITCHELLVILLE, MARYLAND 20721
7-23-09	Revised to create subphases for South DSP07034 PCN
4-4-08	Revised per staff required layout changes. C/N
3-21-08	Revised per M-NCPPC comments received 3-1-08 DM
2/14/08	UPDATED WETLANDS/ STREAM FEATURES MB
2/6/08	REVISED PER M-NCPPC 1-11-08 COMMENTS MB
DATE	REVISIONS DESCRIPTION
1/1/07-PROJ/83018-107	sheets/TCP11-07034-south-09.dwg, 1/17/2018 11:24:03 AM
BY	DATE MAY 2007
DWG. NO.	54.060-Y

TYPE II TREE CONSERVATION NOTES

- Cutting or clearing of woodland not in conformance with this plan or without the expressed written consent of the Planning Director or designee, shall be subject to a \$1500 per square foot mitigation fee.
- The Department of Environmental Resources (DER) must be contacted prior to the start of any work on the site to assure implementation of Tree Conservation Measures shown on this plan.
- Property owners shall be notified by the Developer or Contractor of any Woodland Conservation Areas (Tree Save Areas, Reforestation Areas, Afforestation Areas or Selective Clearing Areas) located on their lot or parcel of land and the associated Tree for Woodland Conservation Areas. Upon the sale of the property the owner/developer or owners representative shall notify the purchaser of the property of any Woodland Conservation Areas.
- All appropriate bonds shall be posted with the Building Official prior to the issuance of any permits. These bonds will be returned as surety by the Building Official upon all required activities have been satisfied.
- All required off-site mitigation shall be identified on an approved TCPI for the off-site location and shall be recorded as an off-site easement in the land records of the Prince Georges County prior to issuance of any permits for the subject property.
- The location of all Tree Protection Devices (TPDs) shown on this Plan, shall be flagged or staked in the field prior to the pre-construction meeting with the Sediment and Erosion Control Inspector from DER upon approval of the flagged or staked TPD locations by the Inspector. Installation of the TPDs may begin. TPD installation shall be completed prior to installation of initial sediment controls. No cutting or clearing of trees may begin before final approval of TPD installation.
- Work on this project will be limited in several phases. All TPDs required for a given phase shall be installed prior to any disturbance within that phase of work.
- Woodland Conservation - Tree Save Areas and/or Reforestation Areas shall be posted as shown at the same time as the Tree Protection Device installation and/or start of reforestation activities. These signs shall remain in place.
- All tree planting for woodland replacement, reforestation or afforestation will be completed prior to the use and/or occupancy of the woodland replacement, reforestation or afforestation within the prescribed time frame from the start of the reforestation or afforestation. Violation of this Plan including the associated \$1500 per square foot penalty unless a written extension is approved by the DER Inspector.

- The DER Inspector shall be notified prior to soil preparation or initiation of any tree planting on this site.
- Results of survival checks for all tree plantings shall be reported to the DER Inspector for the site and M-NCPPC, Environmental Planning Section.
- Prior to the issuance of any permits, the contractor responsible for soil preparation, site preparation, tree planting and tree maintenance must be identified.

Name _____
Business Name _____
Address _____
Phone Number _____

PLANTING SPECIFICATIONS FOR RE/AFFORESTATION AREAS

- Quantity: (See Plant Schedule)
- Types: (See Plant Schedule)
- Plant Quality Standards: The plants selected shall be healthy and sturdy representatives of their species. Seedlings shall have a minimum top growth of 18". The diameter of the root collar (the part of the root just below ground level) shall be at least 3/8". The roots shall be well developed and at least 8" long. No more than 10% of the root system (both primary and auxiliary/brows) shall show evidence of being cut (girdled) or stripped from the plant during the digging process. Substantial auxiliary/brows roots shall be present.

Plants that do not have an abundance of well developed terminal buds on the leaders and branches shall be rejected.
Plants shall be shipped by the nursery immediately after lifting from the field or removal from this greenhouse and planted immediately upon receipt by the landscape contractor.

If the plants cannot be planted immediately after delivery to the reforestation site, they shall be stored in the shade with their roots moistened protected from direct exposure to sun and wind by the use of straw, peat moss, compost, or other suitable material and shall be maintained through periodic watering, until the time of planting.

- Plant Handling: The quantity of seedlings taken to the field shall not exceed the quantity that can be planted in a day. Seedlings, once removed from the nursery or temporary storage area shall be planted immediately.
- Timing of Planting: The best time to plant seedlings is while they are dormant, prior to spring budding. The most suitable months for planting are March and April, when the soil is moist, November and early December are also acceptable planting times for this region weather and cloudy weather is considered ideal. No planting shall be done while the ground is frozen. Planting shall occur within one growing season of the issuance of grading/building permits and/or regrading the final grades and stabilization of planting areas. No planting shall be done while the ground is frozen.

- Seeding Planting: Tree seedlings can be hand planted using a dibble bar or sharp-shooter shovel. It is important that the seedling be placed in the hole so that the roots can spread out naturally; they should not be twisted, balled up, or bent. Moist soil should then be packed firmly around the roots. Seedlings should be planted at a depth where their roots collars lie just below the ground surface. Air pockets should not be left after closing the hole which would allow the roots to dry out. See planting details for further explanation. If the contractor wishes to plant by another method, the preparer of this tree conservation plan must be contacted and give his approval before planting may begin.
- Spacing: See Plant Schedule and/or Planting Plan for spacing requirements. Also refer to the Planting Layout detail for a description of the general planting theory.

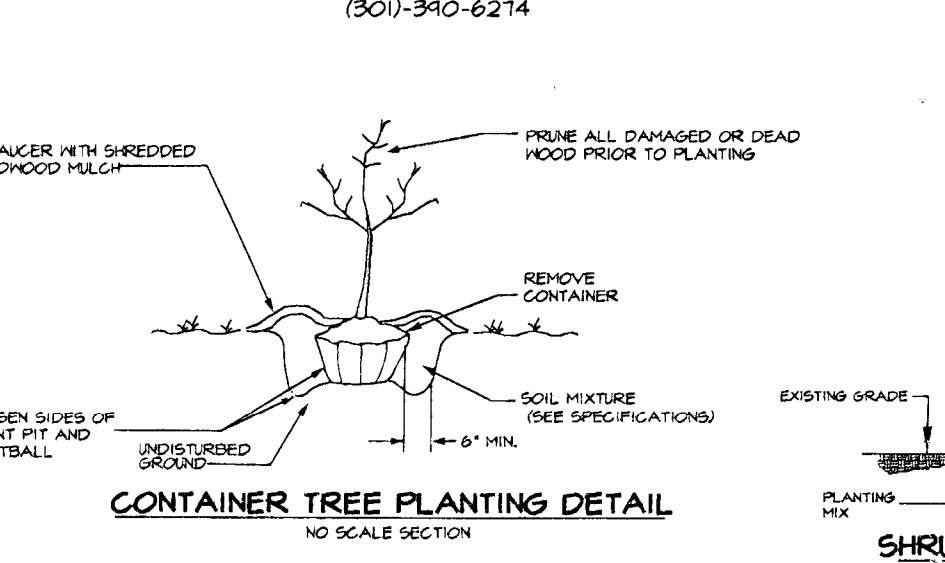
- Soil: Upon the completion of all grading operations, a soil test shall be conducted to determine what soil preparation and soil amendments, if any, are necessary to create good tree growing conditions. Soil samples shall be taken at a rate that provides one soil sample for each area that appears to have a different soil type (if the entire area appears uniform, then only one sample is necessary), and submitted for testing to a private company.
- The company of choice shall make recommendations for improving the existing soil. The soil will be tested and recommended for corrections of soil texture, pH, magnesium, phosphorus, potassium, calcium and organic matter.

- Soil Improvement Measures: The soil shall then be improved according to the recommendations made by the testing company.
- Fencing & Signage: Final protective fencing shall be placed on the visible and/or development side of planting areas. The protective fence shall be installed upon completion of planting operations. Signs shall be posted per the signage detail on this sheet.

- Planting Methods: Consult the Planting Detail(s) shown on this plan.
- Mulching: Apply 2" thick layer of woodchip or shredded hardwood mulch (as noted) to each planting site (see detail shown on this plan).
- Groundcover Establishment: The remaining disturbed area between seedling planting sites shall be seeded and stabilized with white clover seed at the rate of 5lbs/acre.

- Mowing: No mowing shall be allowed in any planting area.
- Survival Check for Bond Release: The seedling planting is to be checked at the end of each year for two years to assure that no less than 75% of the original planted quantity survives.

- Source of Seedlings: Hawkins Signature Landscapes
12205 Annapolis Road
Bowie, MD 20720
(301)-940-6214



CONTAINER TREE PLANTING DETAIL
NO SCALE SECTION

WOODLAND CONSERVATION AREA MANAGEMENT NOTES

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- A tree is considered hazardous if a condition is present which leads a Licensed Arborist or a Licensed Tree Expert to believe that the tree or a portion of the tree has a potential to fall and strike a structure, parking area or other high use area and result in personal injury or property damage.

- If a hazardous condition may be alleviated by corrective pruning, the Licensed Arborist or a Licensed Tree Expert may proceed with further authorization. The pruning must be done in accordance with the latest edition of the ANSI A300 Pruning Standards ("Tree Shrub and Other Woody Plant Maintenance - Standard Practices").

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- Debris from the tree removal or pruning that occurs within 35 feet of the woodland edge may be removed and properly disposed of by recycling, chipping or other acceptable methods. All debris that is more than 35 feet from the woodland edge shall be cut up to allow contact with the ground, thus encouraging decomposition. The smaller materials shall be placed into brush piles that will serve as wildlife habitat.

Removal of Hazardous Trees/Limbs, Noxious Plants, Invasive Plants or Non-Native Plants in Woodland Conservation Areas Owned by Individual Homeowners

- If the developer or builder no longer has an interest in the property, the homeowner shall obtain a written statement from the Licensed Arborist or Licensed Tree Expert identifying the hazardous condition and the proposed corrective measures prior to having the work concluded. The tree may then be removed by the arborist or tree expert. The stump shall be cut as close to the ground as possible and left in place. The removal or grinding of the stumps in the woodland conservation area is not permitted.

- The removal of noxious, invasive and non-native plant species from the woodland conservation areas may be done with the use of hand-held equipment only, such as pruners or a chain saw. These plants may be cut near the ground and the material less than two inches diameter may be removed from the area and disposed of appropriately. All material from these noxious, invasive and non-native plants greater than two (2) inches diameter shall be cut to allow contact with the ground, thus encouraging decomposition.

- The use of broadcast spraying of herbicides is not permitted. However, the use of herbicides to discourage re-sprouting of invasive, noxious, or non-native plants is permitted if done as an application of the chemical directly to the cut stump immediately following the cutting of plant tops. The use of any herbicide shall be done in accordance with the label instructions.

Note: The use of chainsaws is extremely dangerous and should not be conducted with poorly maintained equipment, without safety equipment, or by individuals not trained in the use of this equipment for the pruning and/or cutting of trees.

Protection of Reforestation and Afforestation Areas by Developers or Builders

- Reforestation and afforestation areas shall be planted prior to occupancy of the nearest building or residence. If planting cannot occur due to planting conditions, the developer or property owner shall install the fencing and signage in accordance with the approved Type II Tree Conservation Plan. Planting shall then be accomplished during the next planting season. If planting is delayed beyond the transfer of property title to the homeowner, the developer shall obtain a signed statement from the purchaser indicating that they understand that the reforestation area is located on their property and that reforestation will occur during the next planting season. A copy of that document shall be presented to the grading inspector and the environmental planning section.

- Reforestation areas shall not be mowed, however, the management of competing vegetation around individual trees is acceptable.

Protection of Reforestation and Afforestation Areas by Individual Homeowners

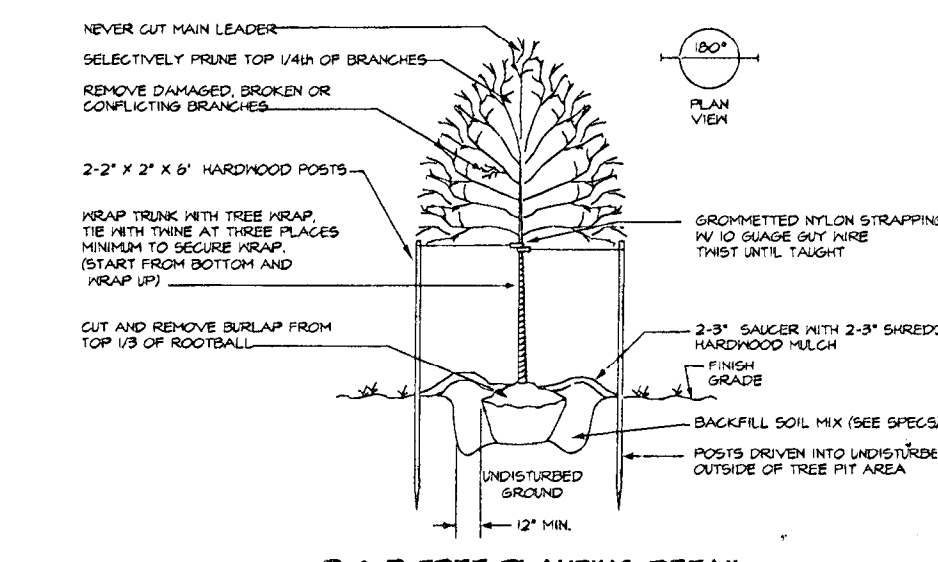
- Reforestation fencing and signage shall remain in place in accordance with the approved Type II Tree Conservation Plan or until the trees have grown sufficiently to have crown closure.

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Woodland Areas NOT Counted as Part of the Woodland Conservation Requirements

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- Homeowners or property owners may remove trees less than two (2) inches diameter, shrubs, and vines in woodland areas which are saved but not part of the woodland conservation requirements after all permits have been released for the subject property. This area may not be tilled or have other ground disturbances which would result in damage to the tree roots. Raking leaves and overseeding with native grasses, flowers and groundcovers is acceptable. Seeding with invasive grasses, including any variety of Kentucky 31 fescue is not acceptable.



B & B TREE PLANTING DETAIL
NO SCALE SECTION



SHRUB BED PLANTING PROFILE
NO SCALE SECTION

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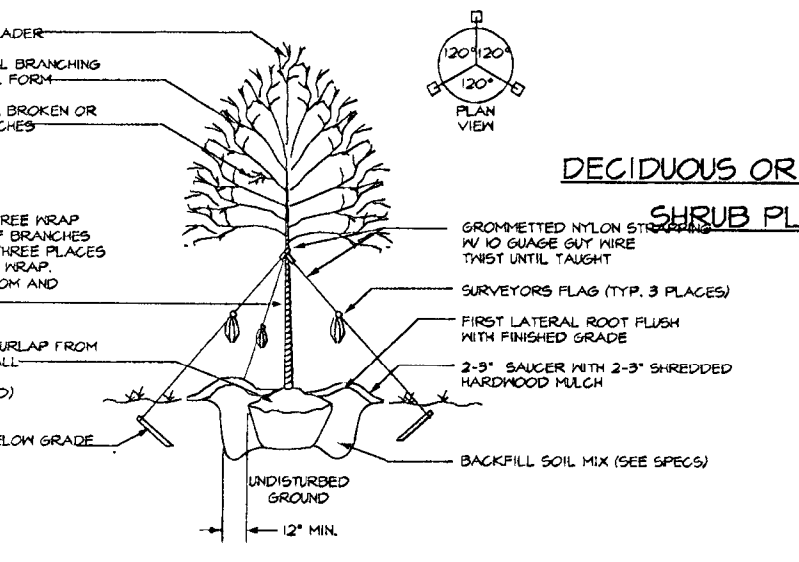
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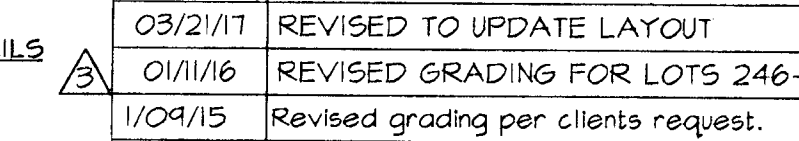
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B & B TREE PLANTING DETAIL
NO SCALE SECTION



SHRUB BED PLANTING PROFILE
NO SCALE SECTION

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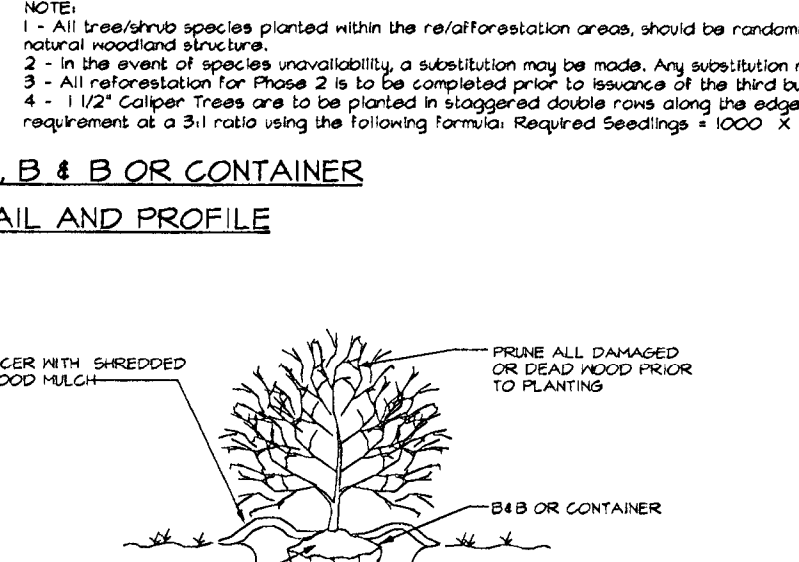
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B & B TREE PLANTING DETAIL
NO SCALE SECTION



SHRUB BED PLANTING PROFILE
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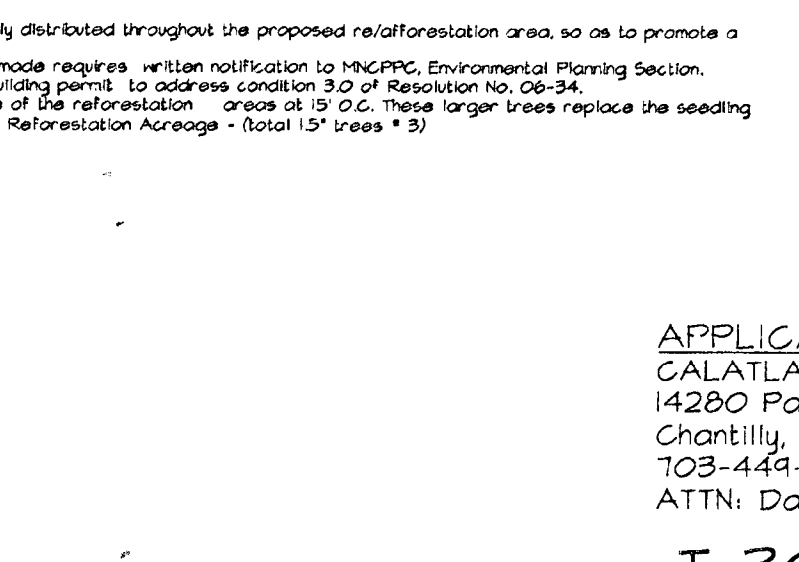
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- Homeowners or property owners may remove trees less than two (2) inches diameter, shrubs, and vines in woodland areas which are saved but not part of the woodland conservation requirements after all permits have been released for the subject property. This area may not be tilled or have other ground disturbances which would result in damage to the tree roots. Raking leaves and overseeding with native grasses, flowers and groundcovers is acceptable. Seeding with invasive grasses, including any variety of Kentucky 31 fescue is not acceptable.



B & B TREE PLANTING DETAIL
NO SCALE SECTION



SHRUB BED PLANTING PROFILE
NO SCALE SECTION