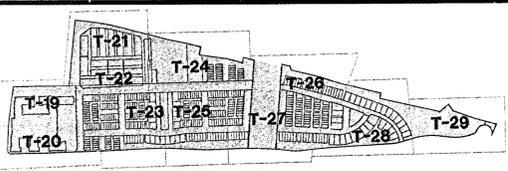
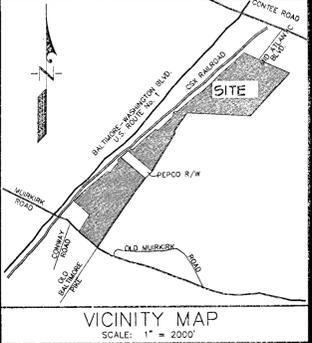


South DSP07034 North DSP05070



KEY MAPS

DSP Number	TCPII Number	Sheet	Resolution No.	BDAL DWG NO.
DSP-05070	TCPII/05-01	T1 to T10	06-34	54.041-2.4
DSP-05070	TCPII/05-02	T1, T5, T6	None	54.042 thru 54.043-2
DSP-05070	TCPII/05-03	T1, T6, T7	None	54.043-2
DSP-05024	TCPII/05-00	T1 & T11 to T17	05-216	(54.041-2 & 54.042 thru 54.043-2)
DSP-07034	TCPII/05-04	T18 to T30		(54.044-1 thru 54.061-1)



LEGEND

- PROPERTY BOUNDARY
- EX. CONTOUR
- PROP. CONTOUR
- EX. TREELINE
- LOD
- WATERS OF THE U.S.
- STREAM BUFFER
- NONTIDAL WETLAND
- EX. WETLAND BUFFER (25')
- PRIMARY MANAGEMENT AREA
- TREE PROTECTION FENCE
- REFORESTATION PROTECTION SIGNAGE
- PRESERVATION PROTECTION SIGNAGE
- CLEARING AREA
- PRESERVATION AREA
- REFORESTATION AREA
- 15 - 25% SLOPES (HIGHLY ERODIBLE SOILS)
- 25% & GREATER SLOPES
- SPECIMEN TREE WITH LIMITS OF CRITICAL ROOT ZONE (30" DBH OR GREATER)
- PROPOSED TREE 1-1/2" - 2" CAL.
- MINING LIMITS
- PHASE LINE

COMPLETE

PHASE II* PRESERVATION AREAS (PA)	
No.	AREA (AC)
1	1.70
2	0.73
3	0.08
4	0.13
TOTAL	2.72

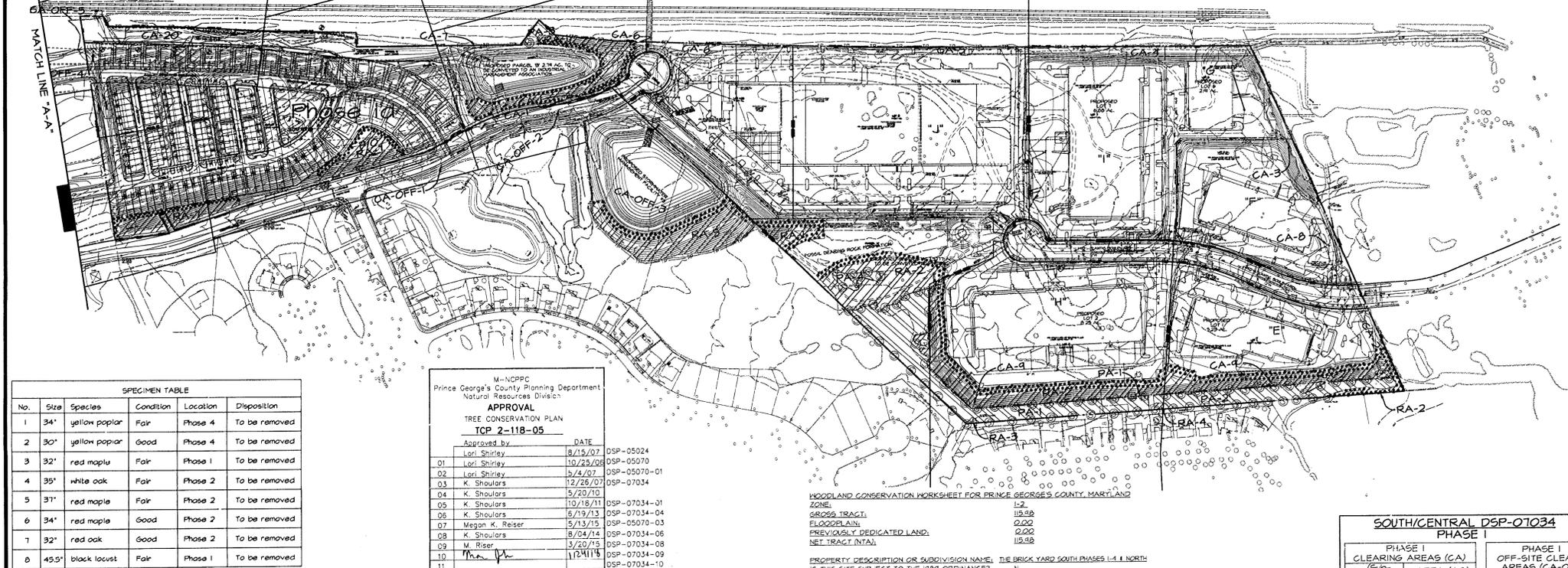
PHASE II* CLEARING AREAS (CA)	
No.	AREA (AC)
1	0.11
2	0.20
3	0.46
4	0.27
5	0.38
6	0.40
7	0.01
8	0.16
9	REMOVED
TOTAL	1.94

PHASE II* OFF-SITE CLEARING AREAS (CA-OFF)	
No.	AREA (AC)
1	0.22
2	0.26
3	3.95
TOTAL	4.43

PHASE II* REFORESTATION AREAS (RA)	
No.	AREA (AC)
1	0.34
2	3.87
3	0.01
4	0.02
5**	1.28
TOTAL	5.52

* These Clearing, Off-site Clearing, Preservation and Reforestation areas are shown on approved TCPII/05-01 with DSP-05070.

** Located off-site and shown on approved TCPII/05-01 with DSP-05070 and indicated on the revised Longwood TCP 11/2/95-01 approved 9/1/06.



SPECIMEN TABLE

No.	Site	Species	Condition	Location	Disposition
1	34"	yellow poplar	Fair	Phase 4	To be removed
2	30"	yellow poplar	Good	Phase 4	To be removed
3	32"	red maple	Fair	Phase 1	To be removed
4	35"	white oak	Fair	Phase 2	To be removed
5	31"	red maple	Fair	Phase 2	To be removed
6	34"	red maple	Good	Phase 2	To be removed
7	32"	red oak	Good	Phase 2	To be removed
8	45.2"	black locust	Fair	Phase 1	To be removed

APPROVAL
TREE CONSERVATION PLAN
TCP 2-118-05

Approved by:	DATE	DSP-05024	DSP-05070-01	DSP-05070-03	DSP-07034	DSP-07034-01	DSP-07034-04	DSP-07034-03	DSP-07034-08	DSP-07034-08	DSP-07034-09	DSP-07034-10
01. Lori Shirley	8/15/07											
02. Lori Shirley	10/25/06											
03. K. Shoulers	5/24/07											
04. K. Shoulers	12/26/07											
05. K. Shoulers	5/20/10											
06. K. Shoulers	10/18/11											
07. K. Shoulers	6/19/13											
08. Megan K. Reiser	5/13/15											
09. K. Shoulers	8/04/14											
10. M. Rice	3/20/15											
11. M. Rice	1/24/15											

WOODLAND CONSERVATION WORKSHEET FOR PRINCE GEORGES COUNTY, MARYLAND

PROPERTY DESCRIPTION OR SUBDIVISION NAME:	THE BRICK YARD SOUTH PHASES 1-4 & NORTH
IS THIS SITE SUBJECT TO THE 1984 ORDINANCE?	N
BREAK-EVEN POINT (PRESERVATION ACRES):	11.40
ACRES OF NET TRACT CLEARING PERMITTED AND REFORESTATION:	-10.95

WOODLAND CONSERVATION REQUIREMENT CALCULATIONS:

EXISTING WOODLAND ON NET TRACT (ACRES):	6.45
EXISTING WOODLAND IN FLOODPLAIN (ACRES):	0.00
WOODLAND CONSERVATION THRESHOLD (NTAL):	11.40
SMALLER OF 0 OR C:	6.45
WOODLAND ABOVE INGT:	0.00

PHASE NUMBER:	NORTH (P1)	SOUTH (P1)	SOUTH (P2)	SOUTH (P3)	SOUTH (P4)	SOUTH (P5)	TOTAL
DSP-05070 (COMPLETE)	52.28	18.12	5.55	17.64	11.74	119.98	105.00
DSP-07034	0.00	0.00	0.00	0.00	0.00	0.00	0.00
NET TRACT AREA IN THE APPLICATION:	52.28	18.12	5.55	17.64	11.74	119.98	105.00
WOODLAND ON THE NET TRACT FOR THE PHASE:	3.14	0.68	0.11	0.18	2.33	6.45	6.45
WOODLAND IN THE FLOODPLAIN FOR THE PHASE:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
WOODLAND CLEARED ON NET TRACT FOR THE PHASE:	0.42	0.68	0.01	0.11	1.29	2.69	2.69
WOODLAND CLEARED IN FLOODPLAIN FOR THE PHASE:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
OFF-SITE MITIGATION PROVIDED ON THIS PROPERTY:	4.49	0.00	0.06	0.01	0.30	4.87	4.87
OFF-SITE MITIGATION PROVIDED ON THIS PROPERTY:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
CUMULATIVE ACRES OF NET TRACT WOODLAND CLEARED:	1.44	2.67	2.78	2.31	3.94	13.14	13.14
SMALLER OF 0 OR B:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
WOODLAND CLEARED BELOW INGT:	1.44	2.67	2.78	2.31	3.94	13.14	13.14
REPLACEMENT FOR CLEARING ABOVE THE INGT (0.25%):	0.00	0.00	0.00	0.00	0.00	0.00	0.00
REPLACEMENT FOR CLEARING BELOW THE INGT (2.1%):	3.89	5.34	5.36	5.14	7.99	27.72	27.72
AFFORESTATION THRESHOLD (AFT):	10.95	10.95	10.95	10.95	10.95	54.75	54.75
CUMULATIVE WOODLAND CONSERVATION REQUIRED:	22.29	22.43	23.10	23.30	24.83	116.95	116.95
WOODLAND CONSERVATION PROVIDED:	2.12	0.00	0.00	0.00	1.05	3.17	3.17
PRESERVATION:	5.52	0.51	0.00	0.30	2.08	8.41	8.41
REFORESTATION:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
AFFORESTATION:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
AREA APPROVED FOR FEE-IN-LIEU:	0.00	0.13	0.00	0.00	0.11	0.24	0.24
CREDIT FOR OFF-SITE MITIGATION ON ANOTHER PROPERTY:	6.55	1.21	2.54	1.32	1.70	13.32	13.32
OFF-SITE MITIGATION PROVIDED ON THIS PROPERTY:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
TOTAL WOODLAND CONSERVATION PROVIDED:	14.14	16.64	14.23	21.23	26.11	102.11	102.11
WOODLAND SAVED ON THIS PHASE BUT NOT COUNTED:	0.00	0.00	0.00	0.00	0.00	0.00	0.00
EXISTING NET TRACT WOODLAND IN LATER PHASES:	-3.31	-2.63	-2.92	-2.33	-0.00	-11.20	-11.20
SHORTAGE:	-4.15	-3.66	-1.35	0.00	0.00	-9.16	-9.16

* Reforestation Area No. 5 surrounding the proposed off-site stormwater management pond has been included. Hedgerows that were not originally counted as existing woodland were augmented with afforestation to be of sufficient width to be credited as woodland conservation. This accounts for the apparent shortage.

SOUTH/CENTRAL DSP-07034

PHASE I CLEARING AREAS (CA)		PHASE I OFF-SITE CLEARING AREAS (CA-OFF)	
No. (Sub-Phase)	AREA (AC)	No. (Sub-Phase)	AREA (AC)
10 (Ph. 1b)	0.11	4 (Ph. 1d)	0.25
11 (Ph. 1a)	0.01	5 (Ph. 1d)	0.05
12 (Ph. 1a)	0.18	6 (Ph. 1b)	0.06
13 (Ph. 1a)	0.24	7 (Ph. 1b)	0.01
14 (Ph. 1a)	0.16	TOTAL	0.37
15 (Ph. 1c)	0.02		
16 (Ph. 1c)	0.07		
17 (Ph. 1c)	0.14		
18 (Ph. 1c)	0.04		
19 (Ph. 1a)	0.11		
20 (Ph. 1d)	0.87		
TOTAL	1.45		

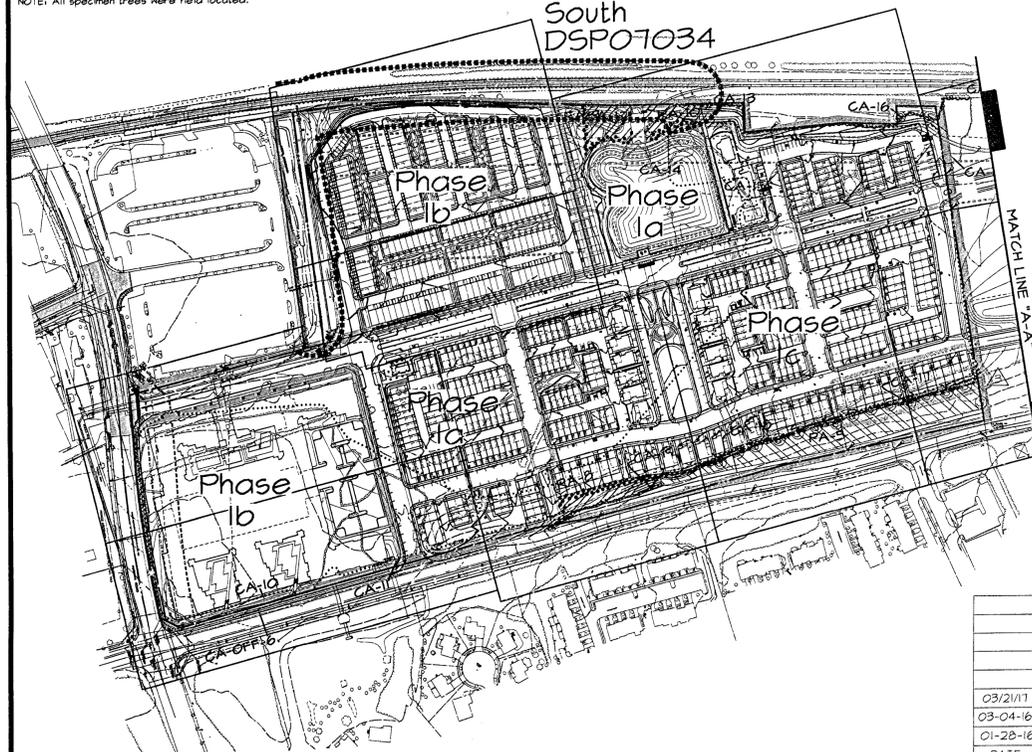
PHASE I REFORESTATION AREAS (RA)	
No. (Sub-Phase)	AREA (AC)
6	REMOVED
7 (Ph. 1d)	1.12
8 (Ph. 1c)	0.34
9 (Ph. 1a)	0.28
10 (Ph. 1a)	0.23
11 (Ph. 1d)	0.94
12 (Ph. 1d)	0.02
TOTAL	2.93

APPLICANT:
CALATLANTIC GROUP, INC.
14280 Park Meadow Drive, Suite 100
Chantilly, VA 20151
703-444-6500
ATTN: David Duncan

OWNER:
JACKSON-SHAM / BRICKYARD LIMITED PARTNERSHIP, LLLP
1101-30th Street NW, Suite B 100-A
Washington, DC 20007
301-424-1011
ATTN: Thomas J. Aylward III

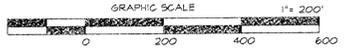
T-18 (OV)
TCP SHEET 1 OF 13
DATE: January 24, 2019
BY: Mike Patrois
QUALIFIED PROFESSIONAL
COMAR 08.19.06.01

NO.	DATE	REVISIONS DESCRIPTION	BY
3-26-10		Revised per M-NCPPC comments received 3-26-10	PCN
7-23-09		Revised to create subphases for South DSP07034	PCN
4-4-08		Revised per staff required layout changes.	CKN
3-27-08		Revised per M-NCPPC comments received 3-11-08	CKN
2/14/08		UPDATED WETLANDS/ STREAM FEATURES	MB
2/6/08		REVISED PER M-NCPPC 1-11-08 COMMENTS	MB

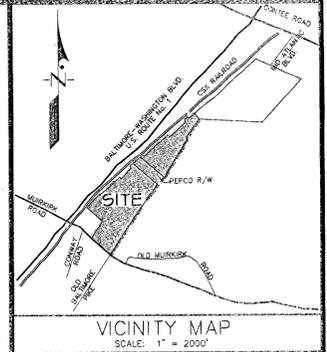
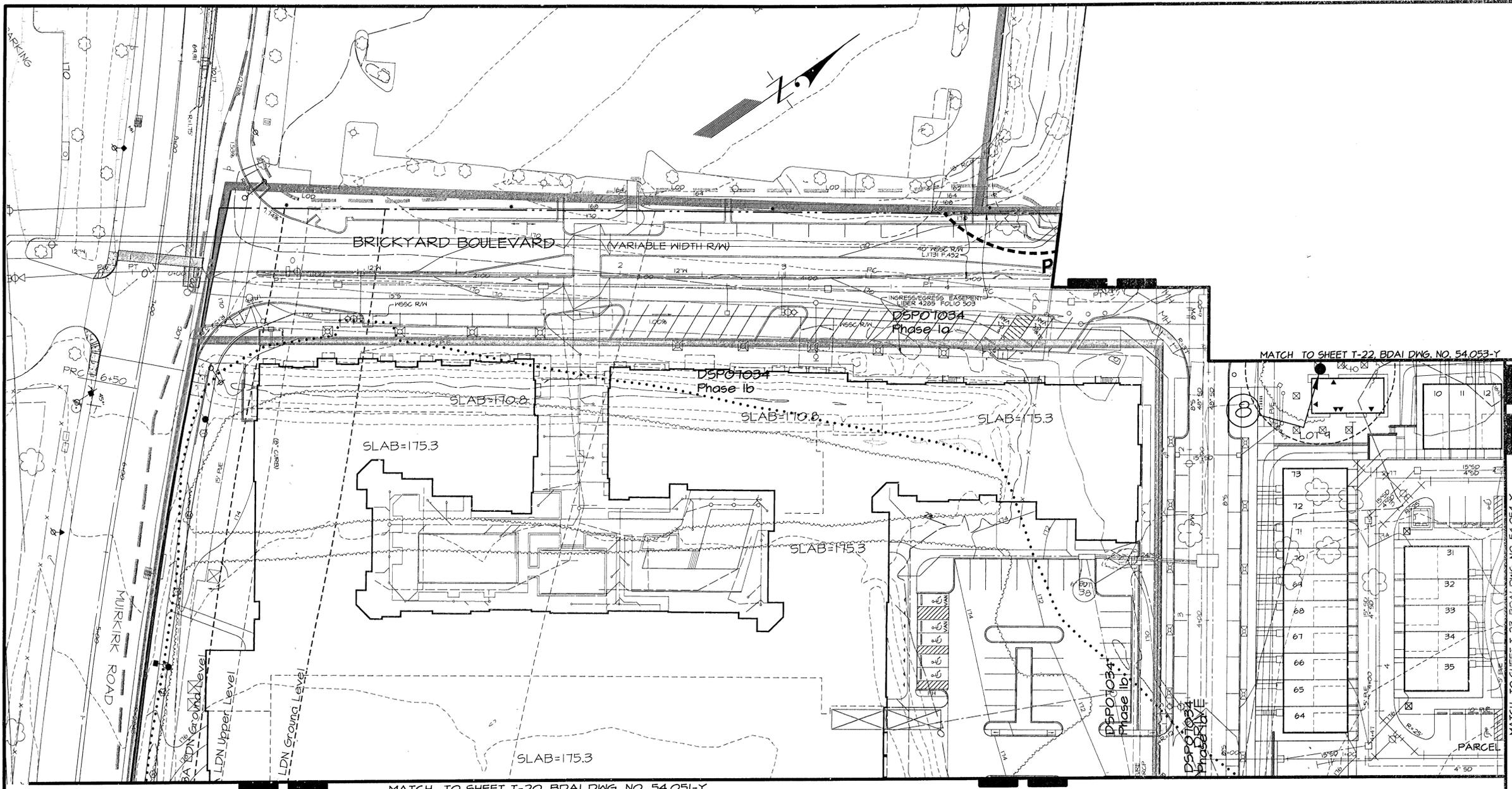


DATE	REVISIONS DESCRIPTION	BY	DATE	REVISIONS DESCRIPTION	BY
01/11/16	REVISED GRADING FOR LOTS 246-254	PCN	01/11/16	REVISED GRADING FOR LOTS 246-254	PCN
1/09/15	Revised grading per clients request.	PCN	1/09/15	Revised grading per clients request.	PCN
6/12/14	Revised to redesign clubhouse and sound wall.	PCN	6/12/14	Revised to redesign clubhouse and sound wall.	PCN
6/10/14	Revised to remove reforestation in front of retaining wall in 11-1.	PCN	6/10/14	Revised to remove reforestation in front of retaining wall in 11-1.	PCN
11/4/13	REVISED TO CONFORM WITH DSP07034-06	PCN	11/4/13	REVISED TO CONFORM WITH DSP07034-06	PCN
05/16/13	REVISED TO CONFORM WITH DSP05070-03	PCN	05/16/13	REVISED TO CONFORM WITH DSP05070-03	PCN
03-04-16	ISSUED FOR PERMIT COMMENTS	JRD	04/21/12	REVISED TO CONFORM WITH DSP07034-02	PCN
01-28-16	ADDED GREASETRAP AND GEN PAD FOR BLDG F	JRD	06/28/11	REVISED ARCH. COURTYARDS, & PARKING ON PARCEL B	JRD

OVERALL TREE CONSERVATION PLAN TYPE 2
THE BRICK YARD
MARC PLANNED COMMUNITY
PROPOSED LOTS 9-35, 38-84, 86, 89-III, 115-141, 143,
146-204, 206-225, 227-245, 297-360, 362-427,
429-620 AND PARCELS 'B', 'E', 'H', 'J' TO 'III'
LAUREL DISTRICT No. 10
PRINCE GEORGES COUNTY, MARYLAND
MSSC 200' SHEET SERIES: 216 NE 6 & 7 AND 217 NE 7
ADC MAP BK LOCATION 4 C-10



BEN DYER ASSOCIATES, INC.
Engineers / Surveyors / Planners
1771 WOODBINE ROAD, SUITE 500
BETHESDA, MARYLAND 20781
TELEPHONE (301) 440-8000
FAX (301) 440-8001
COPYRIGHT © 2007 BEN DYER ASSOCIATES, INC.
DRAWN BY: DESIGNED BY: CHECKED BY: DATE: MAY 2007
SCALE: 1"=200'
DWG NO: J-83048
BY: DATE: MAY 2007
DWG NO: 54.049-Y



LEGEND

EXISTING CONTOURS	---
PROPOSED CONTOURS	---
EXISTING SPOT ELEVATIONS	x181.7 x166.3
PROPOSED SPOT ELEVATIONS	+101.2 +155.1
PROPOSED SEWER	---
PROPOSED WATER	---
PROPOSED STORM DRAIN	---
EXISTING STREET LIGHT	---
PROPOSED STREET LIGHT	---
LIMIT OF DISTURBANCE	---
PRE-DEVELOPMENT TREE LINE	---
POST-DEVELOPMENT TREE LINE	---
FLOODPLAIN, EXISTING/PROPOSED	---
FLOODPLAIN BUFFER	---
WATERS OF THE U.S.	---
WETLAND LIMITS	---
WETLAND BUFFER	---
PRIMARY MANAGEMENT AREA	---
STREAM BUFFER	---
65 dBA LINE	---
PROPOSED RETAINING WALL	---
PROPOSED CHAIN LINK FENCE	---
PROPOSED VINYL SCREEN FENCE	---
PROPOSED CURB AND GUTTER	---
PROPOSED CONCRETE PAVING	---
PROPOSED HEAVY DUTY CONCRETE PAVING	---
PROPOSED HEAVY DUTY ASPHALT PAVING	---
STANDARD PARKING SPACES	---
COMPACT PARKING SPACES	---
HANDICAPPED PARKING SPACES	---
TREE PROTECTION FENCES	---
PRESERVATION PROTECTION SIGNAGE	---
REFORESTATION PROTECTION SIGNAGE	---
CLEARING AREA	---
PRESERVATION AREA	---
REFORESTATION AREA	---
SPECIMEN TREE WITH LIMITS OF CRITICAL ROOT ZONE	---
PROPOSED TREE 1/2"-2" CAL.	---
MINING LIMITS	---
PHASE LINE	---

MATCH TO SHEET T-20, BDAI DWG. NO. 54.051-Y

MATCH TO SHEET T-22, BDAI DWG. NO. 54.053-Y

MATCH TO SHEET T-23, BDAI DWG. NO. 54.054-Y

FOR OFFICIAL USE ONLY
QR label certifies that this plan meets conditions of final approval by the Planning Board, its designee or the District Council.
M-NCPPC APPROVAL
PROJECT NAME: THE BRICK YARD SOUTH
PROJECT NUMBER: DSP-07034-09



FOR OFFICIAL USE ONLY
QR label certifies that this plan meets conditions of final approval by the Planning Board, its designee or the District Council.
M-NCPPC APPROVAL
PROJECT NAME: THE BRICK YARD
PROJECT NUMBER: DSP-05070-03

M.J. 1/24/18

M-NCPPC Prince George's County Planning Department Natural Resources Division
APPROVAL
TREE CONSERVATION PLAN
TCP 2-118-05

APPROVED BY	DATE	DSP NUMBER
Leri Shilley	8/15/07	DSP-05024
Leri Shilley	10/25/06	DSP-05070
Leri Shilley	5/4/07	DSP-05070-01
K. Shoulters	12/28/07	DSP-07034
K. Shoulters	3/23/10	
K. Shoulters	10/18/11	DSP-07034-01
K. Shoulters	6/19/13	DSP-07034-04
Megan K. Reiser	5/13/15	DSP-05070-03
K. Shoulters	8/04/14	DSP-07034-06
Megan K. Reiser	3/20/15	DSP-07034-08
Megan K. Reiser	11/24/18	DSP-07034-09
Megan K. Reiser		DSP-07034-10

TREE CONSERVATION PLAN TYPE 2
THE BRICK YARD
MARC PLANNED COMMUNITY
PROPOSED LOTS 9-35, 38-84, 86, 89-111, 115-141, 143, 146-204, 206-225, 227-295, 297-360, 362-427, 429-620 AND PARCELS 'B', 'E', 'H', 'J' TO 'III'
LAUREL DISTRICT No. 10
PRINCE GEORGES COUNTY, MARYLAND
HSSC 200' SHEET SERIES, 216 NE 6 & 7 AND 217 NE 7
ADC MAP BK LOCATION 4 C-10

CALL MISS UTILITY
1-800-257-7111
48 hrs. Before Excavation

DATE	REVISIONS DESCRIPTION	BY
03/21/11	REVISED TO UPDATE LAYOUT	PCN
01/11/16	REVISED GRADING FOR LOTS 246-259	PCN
1/09/15	Revised grading per clients request.	PCN
6/12/14	Revised to redesign clubhouse and sound wall.	PCN
11/14/13	REVISED TO CONFORM WITH DSP07034-06	PCN
05/16/13	REVISED TO CONFORM WITH DSP05070-03	PCN
09/21/12	REVISED TO CONFORM WITH DSP07034-02	PCN
06/28/11	REVISED ARCH COURTYARDS, & PARKING ON PARCEL B	JRD

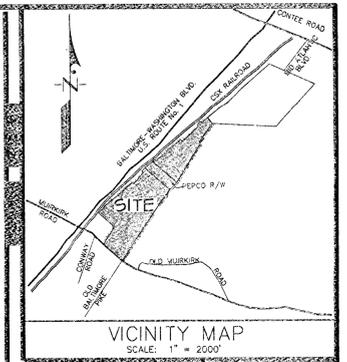
APPLICANT
CALATLANTIC GROUP, INC.
14200 Park Meadow Drive, Suite 100
Chantilly, VA 20151
703-444-6500
ATTN: David Duncan

OWNER
JACKSON-SHAW / BRICKYARD LIMITED PARTNERSHIP, LLLP
101-30th Street NW, Suite B 100-A
Washington, DC 20007
301-429-1011
ATTN: Thomas J. Aylward III

T-19
TCP SHEET 2 OF 13
January 17, 2018
Mike Petrakis
Qualified Professional
COMAR 08.19.08.01

DATE	DESCRIPTION	BY	DATE	DESCRIPTION	BY
1-23-09	Revised to create subphases for South DSP07034	PCN	1/17/2018	11:17:01 AM	J
4-4-08	Revised per staff required layout changes.	CM			
3-27-08	Revised per M-NCPPC comments received 3-1-08	DK			
2/14/08	UPDATED WETLANDS/ STREAM FEATURES	MB			
2/6/08	REVISED PER M-NCPPC 1-11-08 COMMENTS	MB			

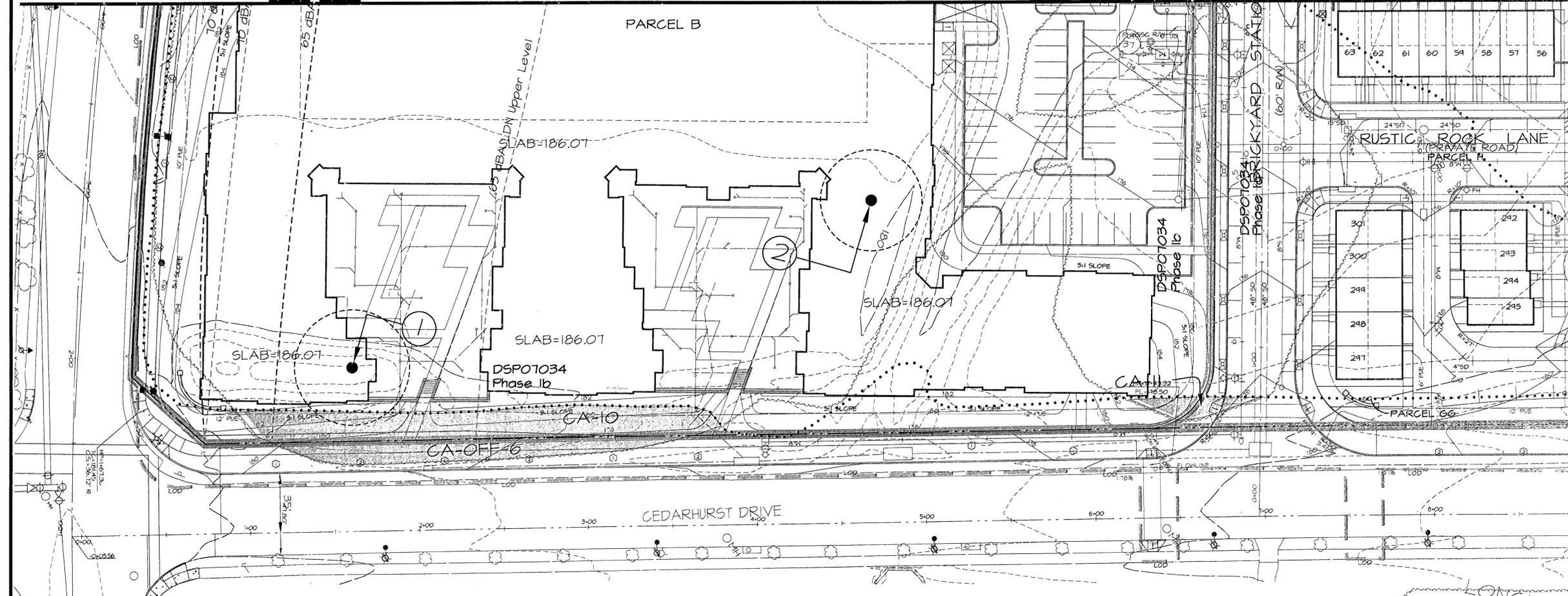
SCALE 1"=30'
DATE MAY 2007
DWG. NO. 54.050-Y



LEGEND

EXISTING CONTOURS	---
PROPOSED CONTOURS	---
EXISTING SPOT ELEVATIONS	x 01.7 x 06.3
PROPOSED SPOT ELEVATIONS	+ 01.2 + 05.1
PROPOSED SEWER	—
PROPOSED WATER	—
PROPOSED STORM DRAIN	—
EXISTING STREET LIGHT	○
PROPOSED STREET LIGHT	○
LIMIT OF DISTURBANCE	---
PRE-DEVELOPMENT TREE LINE	---
POST-DEVELOPMENT TREE LINE	---
FLOODPLAIN EXISTING/PROPOSED	---
FLOODPLAIN BUFFER	---
WATERS OF THE U.S.	---
WETLAND LIMITS	---
WETLAND BUFFER	---
PRIMARY MANAGEMENT AREA	---
STREAM BUFFER	---
65 UBA LINE	---
PROPOSED RETAINING WALL	---
PROPOSED CHAIN LINK FENCE	---
PROPOSED VINYL SCREEN FENCE	---
PROPOSED CURB AND GUTTER	---
PROPOSED CONCRETE PAVING	---
PROPOSED HEAVY DUTY CONCRETE PAVING	---
PROPOSED HEAVY DUTY ASPHALT PAVING	---
STANDARD PARKING SPACES	---
COMPACT PARKING SPACES	---
HANDICAPPED PARKING SPACES	---
TREE PROTECTION FENCE	---
PRESERVATION PROTECTION SIGNAGE	---
REFORESTATION PROTECTION SIGNAGE	---
CLEARING AREA	---
PRESERVATION AREA	---
REFORESTATION AREA	---
SPECIEN TREE WITH LIMITS OF CRITICAL ROOT ZONE	---
PROPOSED TREE 1/2" x 2" CAL.	---
MINING LIMITS	---
PHASE LINE	---

MATCH TO SHEET T-19, BDAI DWG. NO. 54.050-Y



MATCH TO SHEET T-25, BDAI DWG. NO. 54.054-Y

PARCEL "A"
P.B.VJ174 P.69
USE: OPEN SPACE
R-80 Zone

LONGWOOD
PARCEL "B"
P.B.VJ174 P.70
USE: OPEN SPACE
R-80 Zone

M.S. 1/24/18

M-NCPPC
Prince George's County Planning Department
Natural Resources Division
APPROVAL
TREE CONSERVATION PLAN
TCP 2-118-05

Approved by	DATE	DSP#
01 Lord Shirley	6/15/07	DSP-05024
02 Lord Shirley	10/25/08	DSP-05070
03 K. Shoulers	5/4/07	DSP-05070-01
04 K. Shoulers	12/26/07	DSP-07034
05 K. Shoulers	5/20/10	
06 K. Shoulers	10/18/11	DSP-07034-01
07 Megan K. Reiser	6/19/13	DSP-07034-04
08 K. Shoulers	5/13/15	DSP-05070-03
09 Megan K. Reiser	8/04/14	DSP-07034-06
10 Megan K. Reiser	3/20/15	DSP-07034-08
11 Mike Patrakis	1/22/18	DSP-07034-09

TREE CONSERVATION PLAN TYPE 2
THE BRICK YARD
MARC PLANNED COMMUNITY
PROPOSED LOTS 9-35, 38-84, 86, 89-111, 115-141, 143
146-204, 206-225, 227-245, 247-360, 362-421,
429-620 AND PARCELS 'B', 'E', 'H', 'J' TO 'III'
LAUREL DISTRICT No. 10
PRINCE GEORGES COUNTY, MARYLAND
1956 200' SHEET SYSTEM, 216 NE 6 4 T AND 211 NE 1
ADC MAP BK LOCATION 4 C-10

CALL MISS UTILITY
1-800-257-7777
48 hrs. Before Excavation

FOR OFFICIAL USE ONLY
QR label certifies that this plan meets conditions of final approval by the Planning Board, its designee or the District Council.
M-NCPPC APPROVAL

PROJECT NAME: THE BRICK YARD SOUTH
PROJECT NUMBER: DSP-07034-09

FOR OFFICIAL USE ONLY
QR label certifies that this plan meets conditions of final approval by the Planning Board, its designee or the District Council.
M-NCPPC APPROVAL

PROJECT NAME: THE BRICK YARD
PROJECT NUMBER: DSP-05070-03

DATE	REVISIONS DESCRIPTION	BY
01/04/18	Revised for architecture and lotting no change to LOD	PCN
03/21/17	REVISED TO UPDATE LAYOUT	PCN
01/11/16	REVISED GRADING FOR LOTS 246-254	PCN
1/09/15	Revised grading per clients request.	PCN
6/12/14	Revised to redesign clubhouse and sound wall.	PCN
11/14/13	REVISED TO CONFORM WITH DSP07034-06	PCN
05/16/13	REVISED TO CONFORM WITH DSP05070-03	PCN
04/21/12	REVISED TO CONFORM WITH DSP07034-02	PCN
06/28/11	REVISED ARCH COURTYARDS, 4 PARKING ON PARCEL B	JRD

APPLICANT
CALATLANTIC GROUP, INC.
14280 Park Meadow Drive, Suite 108
Chantilly, VA 20151
703-444-6500
ATTN: David Duncan

OWNER
JACKSON-SHAW / BRICKYARD LIMITED PARTNERSHIP, LLLP
1101-30th Street NW, Suite B 100-A
Washington, DC 20007
301-424-1011
ATTN: Thomas J. Aylward III

T-20
TCP SHEET 3 OF 13

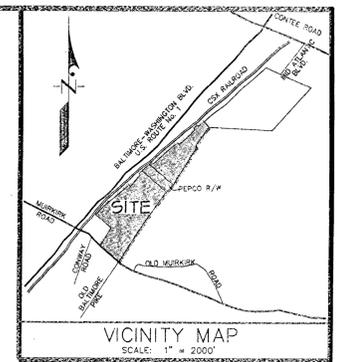
January 17, 2018

Mike Patrakis
Qualified Professional
COMAR 08.19.06.01

GRAPHIC SCALE 1" = 30'

DATE	DESCRIPTION	BY
7-23-09	Revised to create subphases for South DSP07034	PCN
4-4-08	Revised per staff required layout changes.	CW
3-21-08	Revised per M-NCPPC comments received 3-1-08	DM
2/14/08	UPDATED WETLANDS/ STREAM FEATURES	MB
2/6/08	REVISED PER M-NCPPC 1-11-08 COMMENTS	MB

DATE: MAY 2007
SCALE: 1" = 30'
SHEET NO.: 54.051-Y



LEGEND

EXISTING CONTOURS	---
PROPOSED CONTOURS	---
EXISTING SPOT ELEVATIONS	x187.7 x188.5
PROPOSED SPOT ELEVATIONS	x181.2 x189.1
PROPOSED SEWER	○
PROPOSED WATER	○
PROPOSED STORM DRAIN	○
EXISTING STREET LIGHT	△
PROPOSED STREET LIGHT	△
LIMIT OF DISTURBANCE	---
PRE-DEVELOPMENT TREE LINE	---
POST-DEVELOPMENT TREE LINE	---
FLOODPLAIN EXISTING/PROPOSED	---
FLOODPLAIN BUFFER	---
WATERS OF THE U.S.	---
WETLAND LIMITS	---
WETLAND BUFFER	---
PRIMARY MANAGEMENT AREA	---
STREAM BUFFER	---
65 dBA LINE	---
PROPOSED RETAINING WALL	---
PROPOSED CHAIN LINK FENCE	---
PROPOSED VINYL SCREEN FENCE	---
PROPOSED CURB AND GUTTER	---
PROPOSED CONCRETE PAVING	---
PROPOSED HEAVY DUTY CONCRETE PAVING	---
PROPOSED HEAVY DUTY ASPHALT PAVING	---
STANDARD PARKING SPACES	①
COMPACT PARKING SPACES	②
HANDICAPPED PARKING SPACES	③
TREE PROTECTION FENCE	TP
PRESERVATION PROTECTION SIGNAGE	④
REFORESTATION PROTECTION SIGNAGE	⑤
CLEARING AREA	---
PRESERVATION AREA	---
REFORESTATION AREA	---
SPECIEN TREE WITH LIMITS OF CRITICAL ROOT ZONE	⑥
PROPOSED TREE 1/2"x2" CAL.	⑦
MINING LIMITS	---
PHASE LINE	---
PRIMARY MANAGEMENT AREA	---
STREAM BUFFER	---

M-NCPPC
Prince George's County Planning Department
Natural Resources Division

APPROVAL
TREE CONSERVATION PLAN
TCP 2-118-05

Approved by	DATE	DSP
Lori Shirley	8/15/07	DSP-05024
Lori Shirley	10/25/08	DSP-05070
Lori Shirley	5/4/07	DSP-05070-01
K. Shoulers	12/28/07	DSP-07034
K. Shoulers	5/20/10	
K. Shoulers	10/18/11	DSP-07034-01
K. Shoulers	6/19/13	DSP-07034-04
Megan K. Reiser	5/13/15	DSP-05070-03
K. Shoulers	8/24/14	DSP-07034-06
Megan K. Reiser	1/23/15	DSP-07034-08
Megan K. Reiser	1/24/18	DSP-07034-09
		DSP-07034-10

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QR label certifies that this plan meets conditions of final approval by the Planning Board, its designee or the District Council.

M-NCPPC
APPROVAL

PROJECT NAME: THE BRICK YARD SOUTH
PROJECT NUMBER: DSP-07034-09

For Conditions of Approval see the Plan Cover Sheet or Approval Sheet. Amendment numbers must be included in the Project Number.

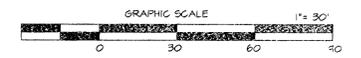
M.S. 1/24/18

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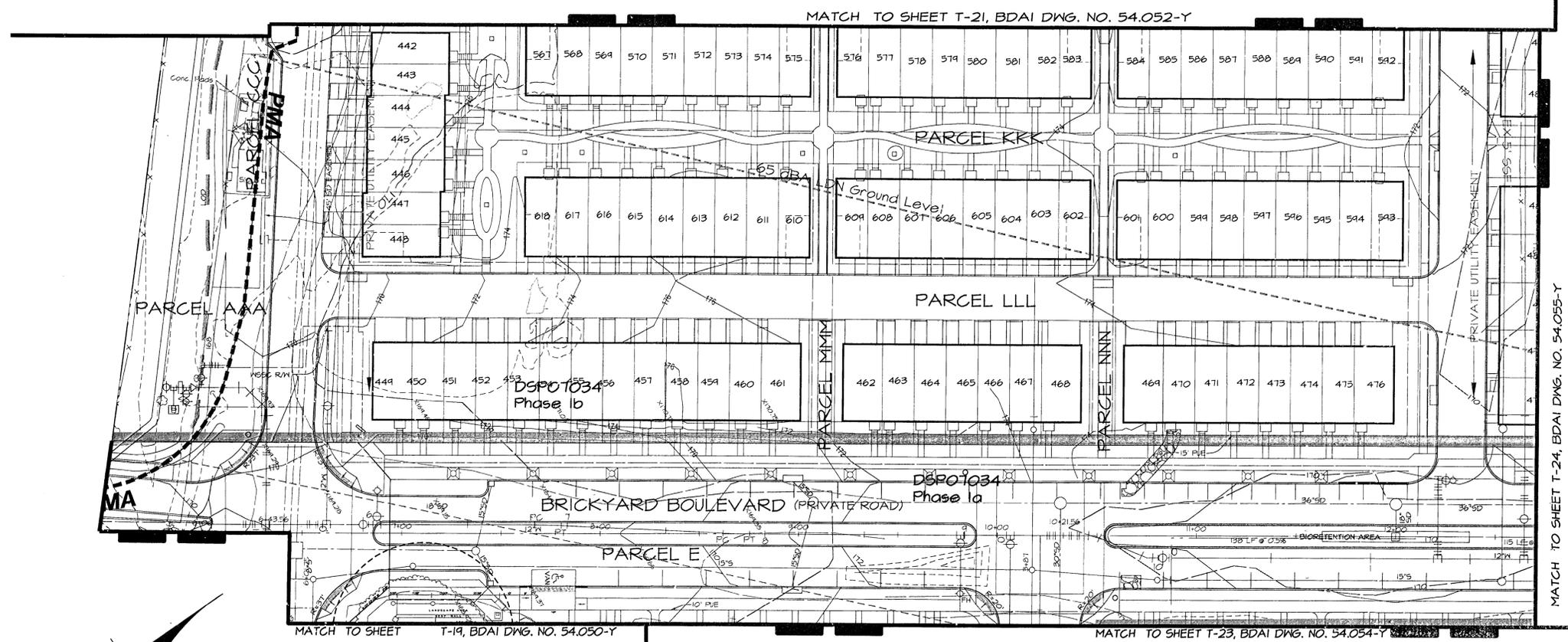
M-NCPPC
APPROVAL

PROJECT NAME: THE BRICK YARD
PROJECT NUMBER: DSP-05070-03

For Conditions of Approval see the Plan Cover Sheet or Approval Sheet. Amendment numbers must be included in the Project Number.



13



APPLICANT
CALATLANTIC GROUP, INC.
14280 Park Meadow Drive, Suite 108
Chantilly, VA 20151
703-449-6500
ATTN: David Duncan

OWNER
JACKSON-SHAW / BRICKYARD LIMITED PARTNERSHIP, LLLP
1101-30th Street NW, Suite B 100-A
Washington, DC 20007
301-424-1011
ATTN: Thomas J. Aylward III

TREE CONSERVATION PLAN TYPE 2
THE BRICK YARD
MARC PLANNED COMMUNITY
PROPOSED LOTS 9-35, 38-84, 86, 89-111, 115-141, 143,
146-204, 206-225, 227-295, 297-360, 362-427,
429-620 AND PARCELS 'B', 'E', 'H', 'J', 'J' TO 'III'

LAUREL DISTRICT No. 10
PRINCE GEORGES COUNTY, MARYLAND
MSSC 2007 SHEET SERIES: 216 NE 6 & 7 AND 217 NE 7
ADC MAP BK LOCATION 4 G-10

DATE	REVISIONS DESCRIPTION	BY
01/04/10	Revised for architecture and lotting	PCN
03/21/17	REVISED TO UPDATE LAYOUT	PCN
01/11/16	REVISED GRADING FOR LOTS 246-254	PCN
1/04/15	Revised grading per clients request.	PCN
6/12/14	Revised to redesign clubhouse and sound wall.	PCN
11/14/13	REVISED TO CONFORM WITH DSDP07034-06	PCN
09/16/13	REVISED TO CONFORM WITH DSDP05070-03	PCN

T-22
TCP SHEET 3 OF 13

January 17, 2018
DATE

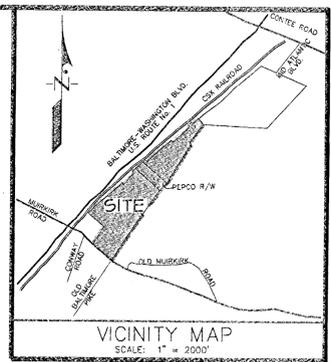
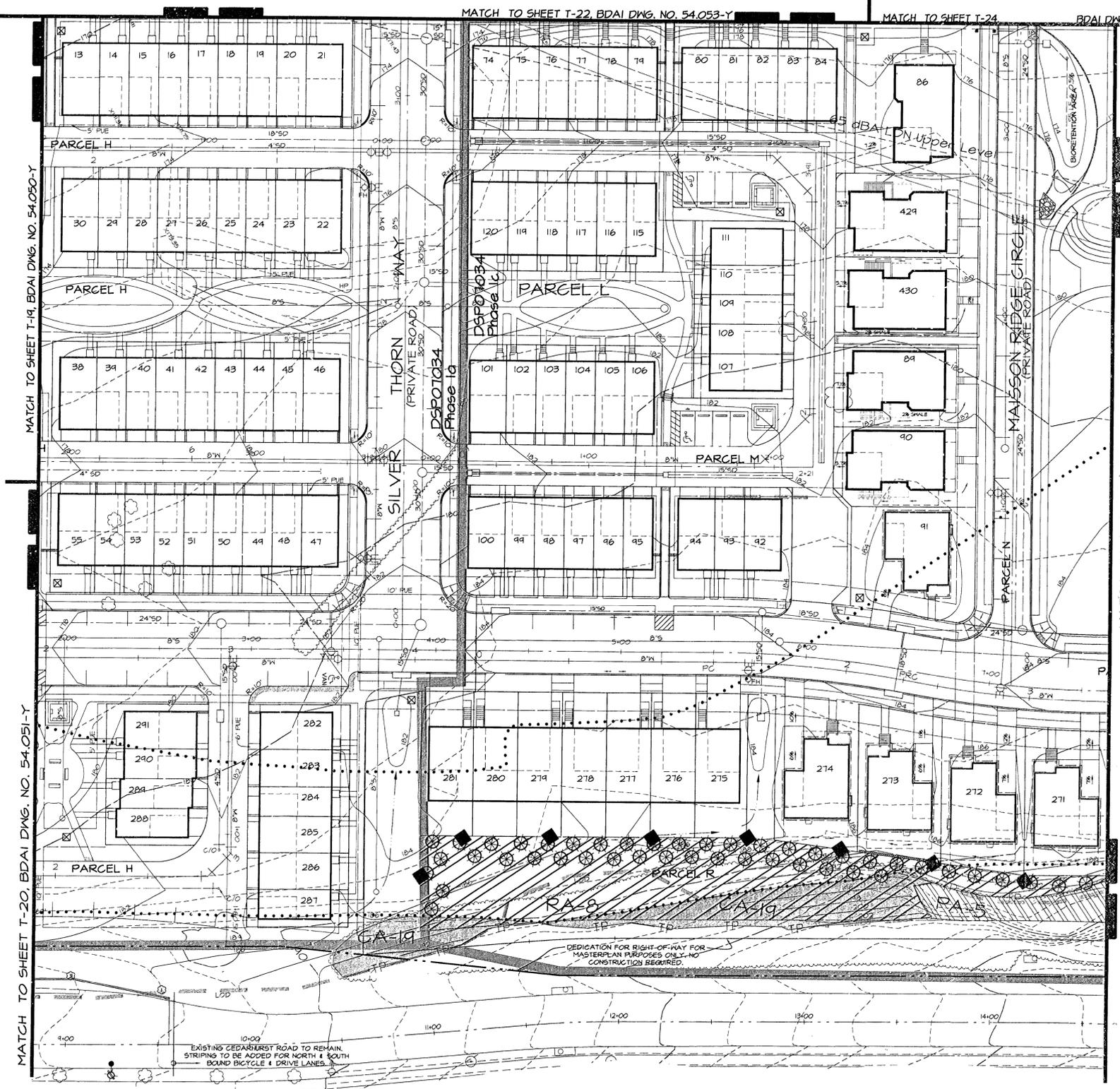
Mike Patrakis
Qualified Professional
COMAR 08.19.06.01

DATE	REVISIONS DESCRIPTION	BY
7-23-04	Revised to create subphases for South DSDP07034	PCN
4-4-08	Revised per staff required layout changes.	CW
3-21-08	Revised per M-NCPPC comments received 3-1-08	CW
2/14/08	UPDATED WETLANDS/ STREAM FEATURES	MB
2/16/08	REVISED PER M-NCPPC 1-11-08 COMMENTS	MB

SCALE 1"=30'
DATE MAY 2007
DWG. NO. 54-053-Y

CALL MISS UTILITY
1-800-257-7777
48 hrs. Before Excavation

BEN DYER ASSOCIATES, INC.
Engineers / Surveyors / Planners
1500 430-0000
TELLEPHANE 1500 430-0000
COPYRIGHT © 2007 BEN DYER ASSOCIATES, INC.
DRAWN BY: JESSE B. BROWN
CHECKED BY: JESSE B. BROWN
SCALE 1"=30'
DATE MAY 2007
DWG. NO. 54-053-Y



LEGEND

- EXISTING CONTOURS: --- 10.0 ---
- PROPOSED CONTOURS: - - - 10.2 - - -
- EXISTING SPOT ELEVATIONS: x 04.1 x 06.5
- PROPOSED SPOT ELEVATIONS: +101.2 +105.1
- PROPOSED WATER: [Symbol]
- PROPOSED SEWER: [Symbol]
- PROPOSED STORM DRAIN: [Symbol]
- EXISTING STREET LIGHT: [Symbol]
- PROPOSED STREET LIGHT: [Symbol]
- LIMIT OF DISTURBANCE: [Symbol]
- PRE-DEVELOPMENT TREE LINE: [Symbol]
- POST-DEVELOPMENT TREE LINE: [Symbol]
- FLOODPLAIN: EXISTING/PROPOSED: [Symbol]
- FLOODPLAIN BUFFER: [Symbol]
- WATERS OF THE U.S.: [Symbol]
- WETLAND LIMITS: [Symbol]
- WETLAND BUFFER: [Symbol]
- PRIMARY MANAGEMENT AREA: [Symbol]
- STREAM BUFFER: [Symbol]
- 65 DBA LINE: [Symbol]
- PROPOSED RETAINING WALL: [Symbol]
- PROPOSED CHAIN LINK FENCE: [Symbol]
- PROPOSED VINYL SCREEN FENCE: [Symbol]
- PROPOSED CURB AND GUTTER: [Symbol]
- PROPOSED CONCRETE PAVING: [Symbol]
- PROPOSED HEAVY DUTY CONCRETE PAVING: [Symbol]
- PROPOSED HEAVY DUTY ASPHALT PAVING: [Symbol]
- STANDARD PARKING SPACES: [Symbol]
- COMPACT PARKING SPACES: [Symbol]
- HANDICAPPED PARKING SPACES: [Symbol]
- TREE PROTECTION FENCE: TP [Symbol]
- PRESERVATION PROTECTION SIGNAGE: [Symbol]
- REFORESTATION PROTECTION SIGNAGE: [Symbol]
- CLEARING AREA: [Symbol]
- PRESERVATION AREA: [Symbol]
- REFORESTATION AREA: [Symbol]
- SPECIMEN TREE WITH LIMITS OF CRITICAL ROOT ZONE: [Symbol]
- PROPOSED TREE 1/2"-2" CAL.: [Symbol]
- MINNS LIMITS: [Symbol]
- PHASE LINE: [Symbol]

MATCH TO SHEET T-25, BDAI DWG. NO. 54-056-Y

MATCH TO SHEET T-19, BDAI DWG. NO. 54-050-Y

MATCH TO SHEET T-20, BDAI DWG. NO. 54-051-Y

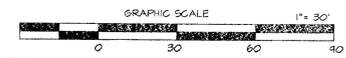
M-NCPPC
Prince George's County Planning Department
Natural Resources Division

APPROVAL
TREE CONSERVATION PLAN
TCP 2-118-05

APPROVED BY	DATE	DSP#	
01	Lori Shirley	8/25/07	DSP-05024
02	Lori Shirley	10/25/08	DSP-05070
03	K. Shoulers	5/4/07	DSP-05070-01
04	K. Shoulers	12/26/07	DSP-07034
05	K. Shoulers	5/20/10	DSP-07034
06	K. Shoulers	10/18/11	DSP-07034-01
07	Megan K. Reiser	8/19/13	DSP-07034-04
08	Megan K. Reiser	5/13/13	DSP-05070-03
09	K. Shoulers	8/24/14	DSP-07034-05
10	Megan K. Reiser	3/20/15	DSP-07034-08
11	Megan K. Reiser	11/24/15	DSP-07034-09
			DSP-07034-10

TREE CONSERVATION PLAN TYPE 2
THE BRICK YARD
MARC PLANNED COMMUNITY
PROPOSED LOTS 9-35, 38-84, 86, 89-111, 115-141, 143, 146-204, 206-225, 227-245, 247-360, 362-427, 429-620 AND PARCELS 'B', 'E', 'H', 'J' TO 'III'

LAUREL DISTRICT No. 10
PRINCE GEORGES COUNTY, MARYLAND
MSSC 200' SHEET SERIES: 216 NE 6 & 7 AND 217 NE 7
ADC MAP BK LOCATION 4 C-10



CALL MISS UTILITY
1-800-257-7117
48 hrs. Before Excavation

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M-NCPPC APPROVAL

PROJECT NAME: THE BRICK YARD SOUTH
PROJECT NUMBER: DSP-07034-09

M.J. 1/21/18

FOR OFFICIAL USE ONLY
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M-NCPPC APPROVAL

PROJECT NAME: THE BRICK YARD
PROJECT NUMBER: DSP-05070-03

DATE	REVISIONS DESCRIPTION	BY
03/21/17	REVISED TO UPDATE LAYOUT	PCN
01/11/16	REVISED GRADING FOR LOTS 246-259	PCN
11/04/15	Revised grading per clients request.	PCN
6/12/14	Revised to redesign clubhouse and sound wall.	PCN
11/14/13	REVISED TO CONFORM WITH DSP07034-06	PCN
05/16/13	REVISED TO CONFORM WITH DSP05070-03	PCN

APPLICANT
CALATLANTIC GROUP, INC.
14280 Park Meadow Drive, Suite 100
Chantilly, VA 20151
ATTN: David Duncan

OWNER
JACKSON-SHAW / BRICKYARD LIMITED PARTNERSHIP, LLLP
1101-30th Street NW, Suite B 100-A
Washington, DC 20007
301-424-1011
ATTN: Thomas J. Aylward III

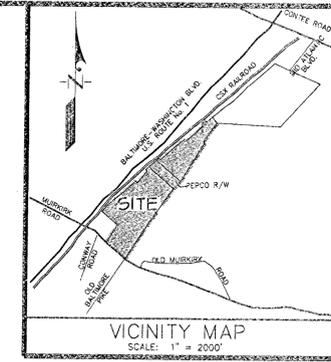
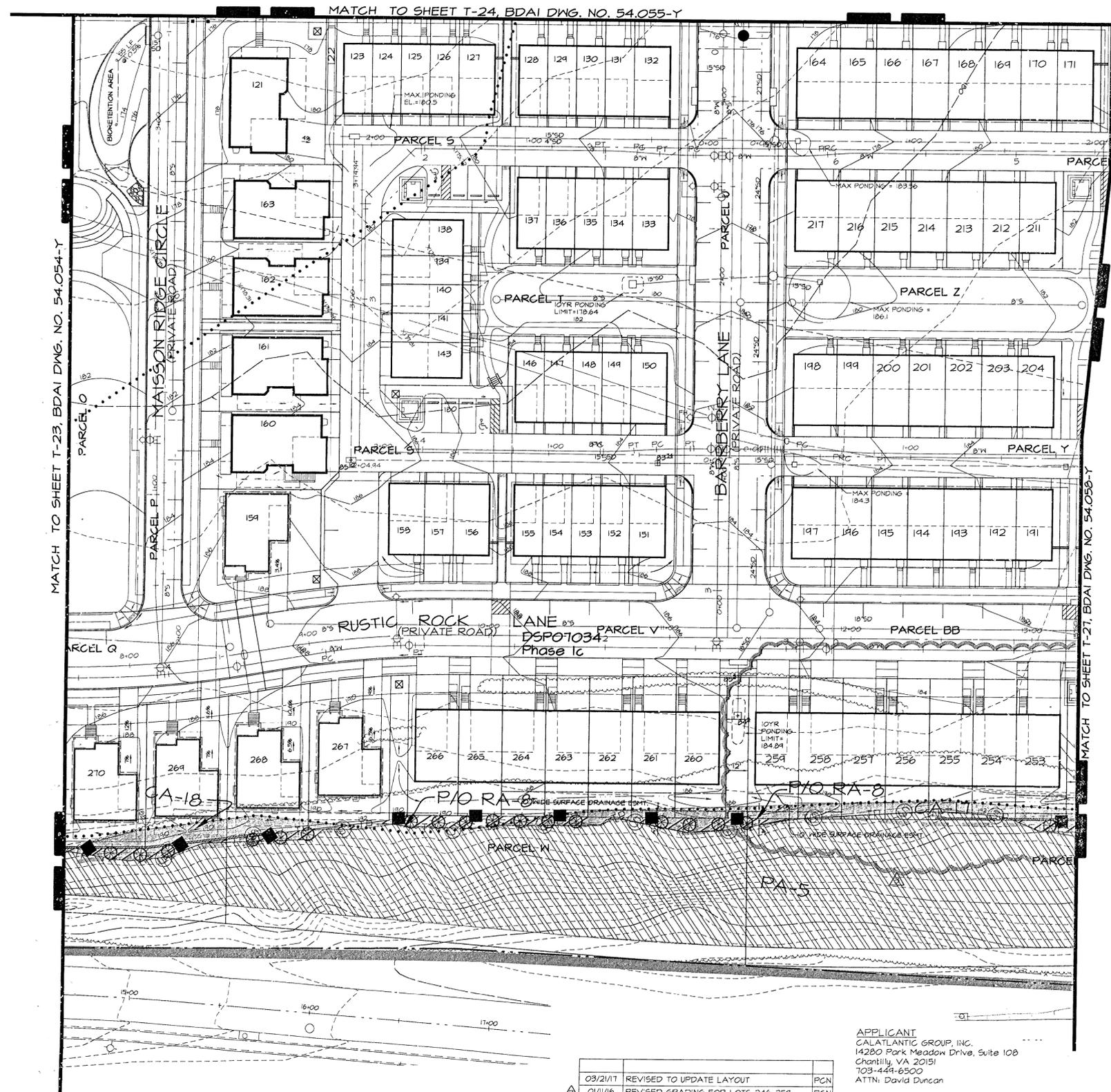
T-23
TCP SHEET 6 OF 13

January 17, 2018

Mike Patroka
Qualified Professional
COMAR 08.19.06.01

DATE	REVISIONS DESCRIPTION	BY
04/21/12	REVISED TO CONFORM WITH DSP07034-02	PCN
7-23-09	Revised to create subphases for South DSP07034	PCN
4-4-08	Revised per staff required layout changes.	CM
3-21-08	Revised per M-NCPPC comments received 3-1-08	DM
2/14/08	UPDATED WETLANDS/ STREAM FEATURES	MB
2/6/08	REVISED PER M-NCPPC 1-11-08 COMMENTS	MB
DATE	REVISIONS DESCRIPTION	BY

1/17/2018 11:19:41 AM



LEGEND

EXISTING CONTOURS	---
PROPOSED CONTOURS	---
EXISTING SPOT ELEVATIONS	x 104.7 x 106.5
PROPOSED SPOT ELEVATIONS	x 101.2 x 105.1
PROPOSED SEWER	---
PROPOSED WATER	---
PROPOSED STORM DRAIN	---
EXISTING STREET LIGHT	△
PROPOSED STREET LIGHT	△
LIMIT OF DISTURBANCE	---
PRE-DEVELOPMENT TREE LINE	---
POST-DEVELOPMENT TREE LINE	---
FLOODPLAIN, EXISTING/PROPOSED	---
FLOODPLAIN BUFFER	---
WATERS OF THE U.S.	---
WETLAND LIMITS	---
WETLAND BUFFER	---
PRIMARY MANAGEMENT AREA	---
STREAM BUFFER	---
65 DBA LINE	---
PROPOSED RETAINING WALL	---
PROPOSED CHAIN LINK FENCE	---
PROPOSED VINYL SCREEN FENCE	---
PROPOSED CURB AND GUTTER	---
PROPOSED CONCRETE PAVING	---
PROPOSED HEAVY DUTY CONCRETE PAVING	---
PROPOSED HEAVY DUTY ASPHALT PAVING	---
STANDARD PARKING SPACES	⑥
COMPACT PARKING SPACES	⑦
HANDICAPPED PARKING SPACES	⑧
TREE PROTECTION FENCE	TP
REFORESTATION PROTECTION SIGNAGE	⑤
CLEARING AREA	---
PRESERVATION AREA	---
REFORESTATION AREA	---
SPECIMEN TREE WITH LIMITS OF CRITICAL ROOT ZONE	④
PROPOSED TREE 1-1/2" CAL.	③
MINING LIMITS	---
PHASE LINE	---

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M-NCPPC APPROVAL
PROJECT NAME: THE BRICK YARD SOUTH
PROJECT NUMBER: DSP-07034-09
For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet. Amendment numbers must be included in the Project Number.

FOR OFFICIAL USE ONLY
QR label certifies that this plan meets conditions of final approval by the Planning Board, its designee or the District Council.
M-NCPPC APPROVAL
PROJECT NAME: THE BRICK YARD
PROJECT NUMBER: DSP-05070-03
For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet. Amendment numbers must be included in the Project Number.

M-NCPPC
Prince George's County Planning Department
Natural Resources Division
APPROVAL
TREE CONSERVATION PLAN
TCP 2-118-05

APPROVED BY	DATE	DSP NUMBER
Lori Shirley	8/15/07	DSP-05024
Lori Shirley	10/25/06	DSP-05070
Lori Shirley	5/4/07	DSP-05070-01
K. Shoulers	12/26/07	DSP-07034
K. Shoulers	5/20/10	
K. Shoulers	10/19/11	DSP-07034-01
K. Shoulers	5/13/13	DSP-07034-04
Megan K. Reiser	5/13/15	DSP-05070-03
K. Shoulers	8/04/14	DSP-07034-06
Megan K. Reiser	3/20/15	DSP-07034-08
Marc Jank	1/24/18	DSP-07034-09
		DSP-07034-10

TREE CONSERVATION PLAN TYPE 2
THE BRICK YARD
MARC PLANNED COMMUNITY
PROPOSED LOTS 9-35, 38-84, 86, 89-III, 115-141, 143, 146-204, 206-225, 227-245, 297-360, 362-427, 429-620 AND PARCELS 'B', 'E', 'H', 'J' TO 'III'
LAUREL DISTRICT No. 10
PRINCE GEORGES COUNTY, MARYLAND
MSSC 200' SHEET SERIES: 216 NE 8 & 1 AND 217 NE 7
ADC MAP BK LOCATION 4 C-10

CALL MISS UTILITY
1-800-257-7177
48 hrs. Before Excavation

DATE	REVISIONS DESCRIPTION	BY
03/21/17	REVISED TO UPDATE LAYOUT	PCN
01/11/16	REVISED GRADING FOR LOTS 246-259	PCN
1/09/15	Revised grading per clients request.	PCN
6/11/14	Revised to redesign clubhouse and sound wall.	PCN
11/14/13	REVISED TO CONFORM WITH DSP07034-06	PCN
05/16/13	REVISED TO CONFORM WITH DSP05070-03	PCN

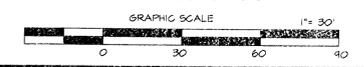
APPLICANT
CALATLANTIC GROUP, INC.
14280 Park Meadow Drive, Suite 108
Chantilly, VA 20151
703-444-6500
ATTN: David Duncan

OWNER
JACKSON-SHAW / BRICKYARD LIMITED PARTNERSHIP, LLLP
1101-30th Street NW, Suite B 100-A
Washington, DC 20007
301-424-1011
ATTN: Thomas J. Aylward III

T-25
TCP SHEET 8 OF 13

January 17, 2018
DATE
Mike Petrakis
Qualified Professional
COMAR 08.19.06.01

DATE	REVISIONS DESCRIPTION	BY
04/21/12	REVISED TO CONFORM WITH DSP07034-02	PCN
7-23-09	Revised to create subphases for South DSP07034	PCN
4-4-08	Revised per staff required layout changes.	CW
3-21-08	Revised per M-NCPPC comments received 3-1-08	CW
2/14/08	UPDATED WETLANDS/ STREAM FEATURES	MB
2/6/08	REVISED PER M-NCPPC 1-11-08 COMMENTS	MB

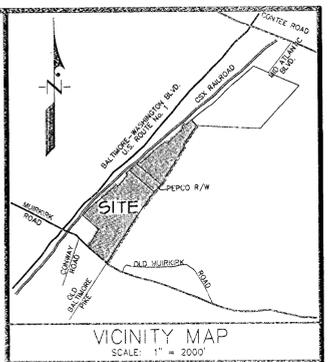
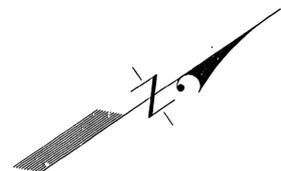


9
3

M-NCPPC
Prince George's County Planning Department
Natural Resources Division

APPROVAL
TREE CONSERVATION PLAN
TCP 2-118-05

APPROVED BY	DATE	DSP-05024
Lori Shirley	8/15/07	DSP-05070
Lori Shirley	10/28/08	DSP-05070-01
Lori Shirley	5/14/07	DSP-07034
K. Shoulers	12/26/07	DSP-07034-01
K. Shoulers	5/20/10	DSP-07034-04
K. Shoulers	10/18/11	DSP-05070-03
K. Shoulers	6/19/13	DSP-07034-06
Megan K. Reiser	5/13/15	DSP-07034-08
K. Shoulers	8/24/14	DSP-07034-09
Megan K. Reiser	1/20/15	DSP-07034-10
Megan K. Reiser	11/11/15	



LEGEND

EXISTING CONTOURS	---
PROPOSED CONTOURS	---
EXISTING SPOT ELEVATIONS	▲
PROPOSED SPOT ELEVATIONS	○
PROPOSED SEWER	—○—○—
PROPOSED WATER	—○—○—
PROPOSED STORM DRAIN	—○—○—
EXISTING STREET LIGHT	▲
PROPOSED STREET LIGHT	○
LIMIT OF DISTURBANCE	---
PRE-DEVELOPMENT TREE LINE	---
POST-DEVELOPMENT TREE LINE	---
FLOODPLAIN: EXISTING/PROPOSED	---
FLOODPLAIN BUFFER	---
WATERS OF THE U.S.	---
WETLAND LIMITS	---
WETLAND BUFFER	---
PRIMARY MANAGEMENT AREA	---
STREAM BUFFER	---
65 dBA LINE	---
PROPOSED RETAINING WALL	---
PROPOSED CHAIN LINK FENCE	---
PROPOSED VINYL SCREEN FENCE	---
PROPOSED CURB AND GUTTER	---
PROPOSED CONCRETE PAVING	---
PROPOSED HEAVY DUTY CONCRETE PAVING	---
PROPOSED HEAVY DUTY ASPHALT PAVING	---
STANDARD PARKING SPACES	---
COMPACT PARKING SPACES	---
HAND-CAPPED PARKING SPACES	---
TREE PROTECTION FENCE	---
PRESERVATION PROTECTION SIGNAGE	---
REFORESTATION PROTECTION SIGNAGE	---
CLEARING AREA	---
PRESERVATION AREA	---
REFORESTATION AREA	---
SPECIMEN TREE WITH LIMITS OF CRITICAL ROOT ZONE	---
PROPOSED TREE 1/2"x2" CAL.	---
MINING LIMITS	---
PHASE LINE	---

MATCH TO SHEET T-24, BDAI DWG. NO. 54.055-Y

PARCEL D
DSP07034
Phase Ic

MATCH TO SHEET T-27, BDAI DWG. NO. 54.058-Y

MATCH TO SHEET T-27, BDAI DWG. NO. 54.058-Y

MATCH TO SHEET T-28, BDAI DWG. NO. 54.059-Y

TREE CONSERVATION PLAN TYPE 2
THE BRICK YARD
MARC PLANNED COMMUNITY
PROPOSED LOTS 9-35, 38-84, 86, 89-111, 115-141, 143, 146-204, 206-225, 227-245, 247-360, 362-427, 429-620 AND PARCELS 'B', 'E', 'H', 'J' TO 'III'
LAUREL DISTRICT No. 10
PRINCE GEORGES COUNTY, MARYLAND
MSSC 2007 SHEET SERIES: 216 NE 6 & 7 AND 217 NE 7
ADC MAP BK LOCATION 4 C-10



CALL MISS UTILITY
1-800-257-7777
48 hrs. Before Excavation

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M-NCPPC APPROVAL

PROJECT NAME: THE BRICK YARD SOUTH
PROJECT NUMBER: DSP-07034-09

For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet. Amendment numbers must be included in the Project Number.

M.J. 1/24/18

FOR OFFICIAL USE ONLY
QR label certifies that this plan meets conditions of approval by the Planning Board, its designee or the District Council.
M-NCPPC APPROVAL

PROJECT NAME: THE BRICK YARD
PROJECT NUMBER: DSP-05070-03

For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet. Amendment numbers must be included in the Project Number.

DATE	REVISIONS DESCRIPTION	BY
03/21/17	REVISED TO UPDATE LAYOUT	PCN
01/11/16	REVISED GRADING FOR LOTS 246-259	PCN
11/04/15	Revised grading per clients request.	PCN
06/12/14	Revised to redesign clubhouse and sound wall.	PCN
11/14/13	REVISED TO COMFORM WITH DSP07034-06	PCN
05/16/13	REVISED TO COMFORM WITH DSP05070-03	PCN

APPLICANT
CALATLANTIC GROUP, INC.
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ATTN: David Duncan

OWNER
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1101-30th Street NW, Suite B 100-A
Washington, DC 20007
301-424-1011
ATTN: Thomas J. Aylward III

T-26
TCP SHEET 9 OF 13

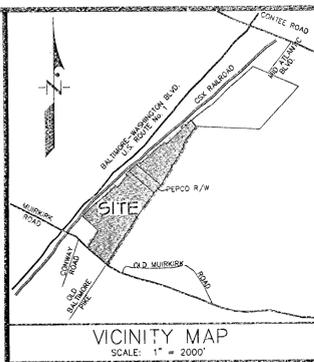
DATE	REVISIONS DESCRIPTION	BY
04/21/12	REVISED TO COMFORM WITH DSP07034-02	PCN
7-23-09	Revised to create subphases for South DSP07034	PCN
4-4-08	Revised per staff required layout changes.	CW
3-27-08	Revised per M-NCPPC comments received 3-7-08	DM
2/14/08	UPDATED WETLANDS/ STREAM FEATURES	MB
2/16/08	REVISED PER M-NCPPC 1-11-08 COMMENTS	MB

1071 WOODBURN ROAD, SUITE 200
MITCHELLVILLE, MARYLAND 20701
BEN DYER ASSOCIATES, INC.
Engineers / Surveyors / Planners
4000 WOODBURN ROAD, SUITE 200
MITCHELLVILLE, MARYLAND 20701
TEL: 301-430-2000
FAX: 301-430-2001
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DRAWN BY: DESIGNED BY: CHECKED BY: J-B3048
SCALE: 1"=30'
DATE: MAY 2007
DWS NO: 54.051-Y

MATCH TO SHEET T-24, BDAI DWG. NO. 54.055-Y

MATCH TO SHEET T-26, BDAI DWG. NO. 54.057-Y

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1-800-257-7777
48 hrs, Before Excavation



M-NCPPC
Prince George's County Planning Department
Natural Resources Division

APPROVAL
TREE CONSERVATION PLAN
TCP 2-118-05

APPROVED BY	DATE	DSP-05074
Lori Shirley	8/15/07	DSP-05070
Lori Shirley	10/25/09	DSP-05070-01
Lori Shirley	6/14/07	DSP-07034
K. Shoulers	12/28/07	DSP-07034
K. Shoulers	5/20/10	DSP-07034-01
K. Shoulers	10/18/11	DSP-07034-04
K. Shoulers	6/19/13	DSP-05070-03
Megan K. Reiser	5/13/15	DSP-07034-06
K. Shoulers	8/24/14	DSP-07034-08
Megan K. Reiser	3/20/15	DSP-07034-09
Megan K. Reiser	1/24/18	DSP-07034-10

LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- EXISTING SPOT ELEVATIONS
- PROPOSED SPOT ELEVATIONS
- PROPOSED WATER
- PROPOSED SEWER
- PROPOSED STORM DRAIN
- EXISTING STREET LIGHT
- PROPOSED STREET LIGHT
- LIMIT OF DISTURBANCE
- PRE-DEVELOPMENT TREE LINE
- POST-DEVELOPMENT TREE LINE
- FLOODPLAIN, EXISTING/PROPOSED
- FLOODPLAIN BUFFER
- WATERS OF THE U.S.
- WETLAND LIMITS
- WETLAND BUFFER
- PRIMARY MANAGEMENT AREA
- STREAM BUFFER
- 65 UBA LINE
- PROPOSED RETAINING WALL
- PROPOSED CHAIN LINK FENCE
- PROPOSED VINYL SCREEN FENCE
- PROPOSED CURB AND GUTTER
- PROPOSED CONCRETE PAVING
- PROPOSED HEAVY DUTY CONCRETE PAVING
- PROPOSED HEAVY DUTY ASPHALT PAVING
- STANDARD PARKING SPACES
- COMPACT PARKING SPACES
- HANDICAPPED PARKING SPACES
- TREE PROTECTION FENCE
- PRESERVATION PROTECTION SIGNAGE
- REFORESTATION PROTECTION SIGNAGE
- CLEARING AREA
- PRESERVATION AREA
- REFORESTATION AREA
- SPECIMEN TREE WITH LIMITS OF CRITICAL ROOT ZONE
- PROPOSED TREE 1/2"-2" CAL.
- MINING LIMITS
- PHASE LINE

MATCH TO SHEET T-25, BDAI DWG. NO. 54.056-Y

MATCH TO SHEET T-26, BDAI DWG. NO. 54.057-Y

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M-NCPPC APPROVAL

PROJECT NAME: THE BRICK YARD SOUTH
PROJECT NUMBER: DSP-07034-09

For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet. Amendment numbers must be included in the Project Number.

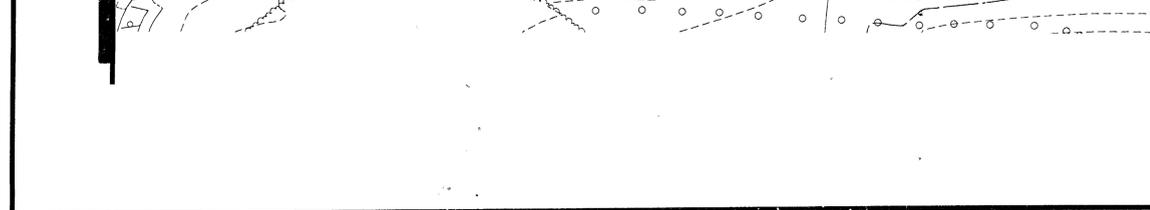
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M-NCPPC APPROVAL~~

~~PROJECT NAME: THE BRICK YARD
PROJECT NUMBER: DSP-05070-03~~

~~For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet. Amendment numbers must be included in the Project Number.~~

TREE CONSERVATION PLAN TYPE 2
THE BRICK YARD
MARC PLANNED COMMUNITY
PROPOSED LOTS 9-35, 38-84, 86, 89-III, 115-141, 143, 146-204, 206-225, 227-245, 247-360, 362-427, 429-620 AND PARCELS 'B', 'E', 'H', 'J' TO 'III'

LAUREL DISTRICT No. 10
PRINCE GEORGES COUNTY, MARYLAND
HSSC 200' SHEET SERIES: 216 NE & T AND 217 NE T
ADC MAP BK LOCATION 4 C-10



DATE	REVISIONS DESCRIPTION	BY
03/21/11	REVISED TO UPDATE LAYOUT	PCN
01/11/16	REVISED GRADING FOR LOTS 246-259	PCN
1/09/15	Revised grading per clients request.	PCN
6/12/14	Revised to redesign clubhouse and sound wall.	PCN
11/14/13	REVISED TO CONFORM WITH DSP07034-06	PCN
05/16/13	REVISED TO CONFORM WITH DSP05070-03	PCN

APPLICANT
CALATLANTIC GROUP, INC.
14280 Park Meadow Drive, Suite 10B
Chantilly, VA 20151
703-444-6500
ATTN: David Duncan

OWNER
JACKSON-SHAW / BRICKYARD LIMITED PARTNERSHIP, LLLP
1101-302H Street NW, Suite B 100-A
Washington, DC 20001
301-424-1011
ATTN: Thomas J. Aylward III

T-27
TCP SHEET 10 OF 13

January 17, 2018

DATE	REVISIONS DESCRIPTION	BY
04/21/12	REVISED TO CONFORM WITH DSP07034-02	PCN
1-23-09	Revised to create subphases for South DSP07034	PCN
4-4-08	Revised per staff required layout changes.	CW
3-21-08	Revised per M-NCPPC comments received 3-1-08	DM
2/14/03	UPDATED WETLANDS/ STREAM FEATURES	MB
2/6/08	REVISED PER M-NCPPC 1-11-08 COMMENTS	MB

DATE: MAY 2007
DRAWN BY: [Signature]
SCALE: 1"=30'
DWG NO: 54.058-Y

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M-NCPPC APPROVAL

PROJECT NAME: THE BRICK YARD SOUTH
PROJECT NUMBER: DSP-07034-09

For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet. Amendment numbers must be included in the Project Number.

ENGINEER: BEN DYER ASSOCIATES, INC.
1921 WOODSTONE ROAD, SUITE 200
METCALLE, MARYLAND 20714
Tel: 301-271-1100
Fax: 301-271-1101
www.bendyer.com
TELEPHONE (301) 430-6000

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DRAWN BY: [Signature]
SCALE: 1"=30'
DWG NO: 54.058-Y

DATE	REVISIONS DESCRIPTION	BY
03/21/17	REVISED TO UPDATE LAYOUT	PCN
01/11/16	REVISED GRADING FOR LOTS 246-259	PCN
1/04/15	Revised grading per clients request.	PCN
6/12/14	Revised to redesign clubhouse and sound wall.	PCN
11/4/13	REVISED TO COMFORM WITH DSP07034-06	PCN
05/16/13	REVISED TO COMFORM WITH DSP05070-03	PCN

M.J. 1/24/18

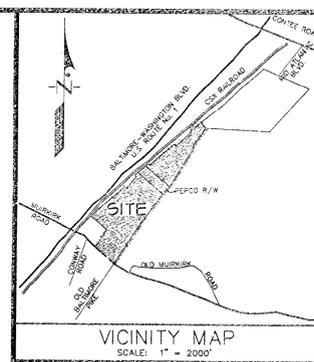
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M-NCPPC APPROVAL
PROJECT NAME: THE BRICK YARD SOUTH
PROJECT NUMBER: DSP-07034-09
For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet. Amendment numbers must be included in the Project Number.



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M-NCPPC APPROVAL
PROJECT NAME: THE BRICK YARD
PROJECT NUMBER: DSP-05070-03
For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet. Amendment numbers must be included in the Project Number.

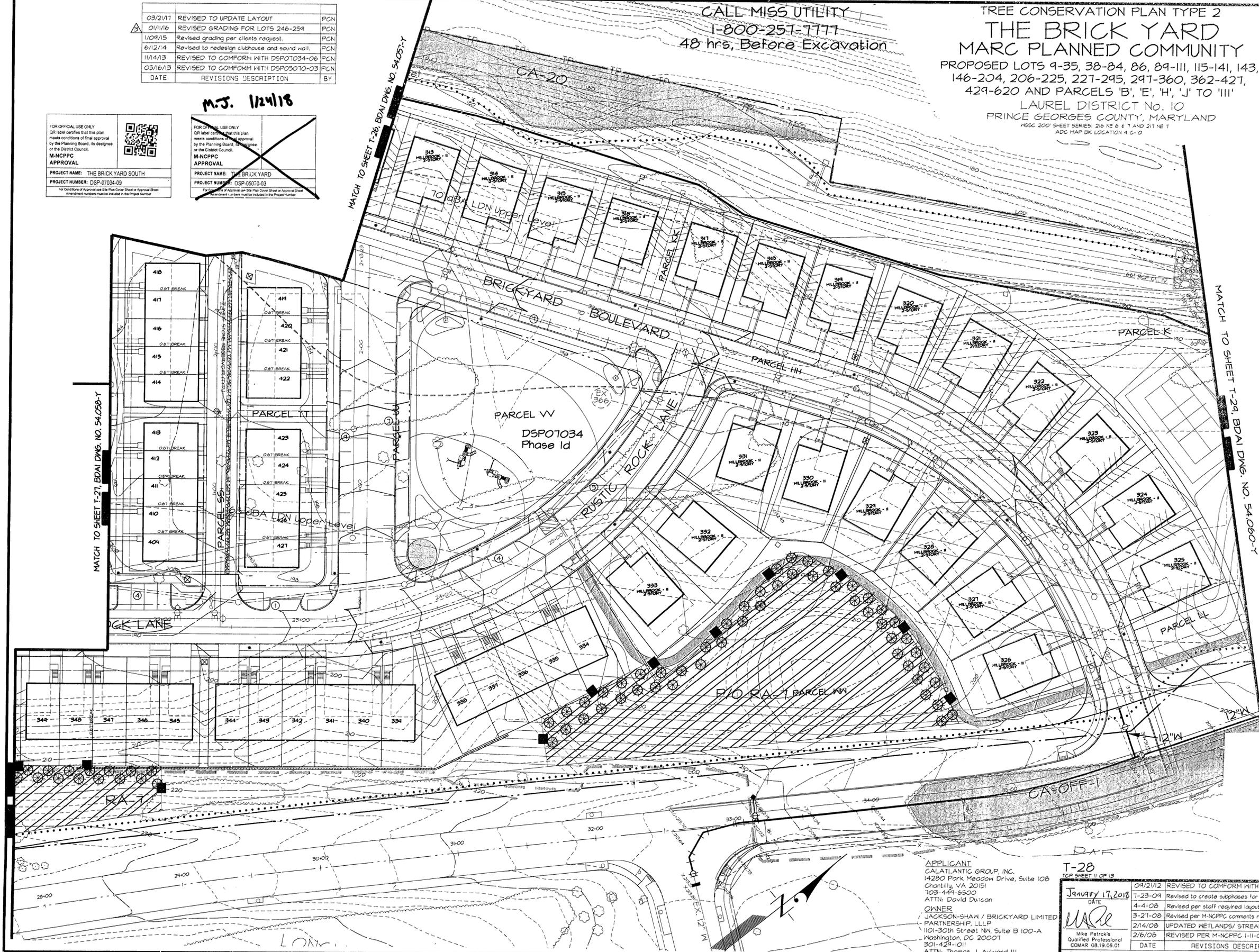
CALL MISS UTILITY
1-800-251-7777
48 hrs. Before Excavation

TREE CONSERVATION PLAN TYPE 2
THE BRICK YARD
MARC PLANNED COMMUNITY
PROPOSED LOTS 9-35, 38-84, 86, 89-111, 115-141, 143, 146-204, 206-225, 227-295, 297-360, 362-427, 429-620 AND PARCELS 'B', 'E', 'H', 'J' TO 'III'
LAUREL DISTRICT No. 10
PRINCE GEORGES COUNTY, MARYLAND
P65C 200' SHEET SERIES, 216 NE 6 1 T AND 217 NE 1
ADC MAP BK LOCATION 4 C-10



LEGEND

EXISTING CONTOURS	---	10'
PROPOSED CONTOURS	---	10'
EXISTING SPOT ELEVATIONS	○	x189.7 x186.5
PROPOSED SPOT ELEVATIONS	○	x181.2 x185.1
PROPOSED SEWER	○	SS
PROPOSED WATER	○	W
PROPOSED STORM DRAIN	○	SD
EXISTING STREET LIGHT	○	SL
PROPOSED STREET LIGHT	○	SL
LIMIT OF DISTURBANCE	---	LOD
PRE-DEVELOPMENT TREE LINE	---	PTL
POST-DEVELOPMENT TREE LINE	---	PTL
FLOODPLAIN, EXISTING/PROPOSED	---	FP
FLOODPLAIN BUFFER	---	FB
WATERS OF THE U.S.	---	WUS
WETLAND LIMITS	---	WEL
WETLAND BUFFER	---	WB
PRIMARY MANAGEMENT AREA	---	PM
STREAM BUFFER	---	SB
65' UBA LINE	---	UBA
PROPOSED RETAINING WALL	---	RW
PROPOSED CHAIN LINK FENCE	---	CLF
PROPOSED VINYL SCREEN FENCE	---	VSF
PROPOSED CURB AND GUTTER	---	CG
PROPOSED CONCRETE PAVING	---	CP
PROPOSED HEAVY DUTY CONCRETE PAVING	---	HDCP
PROPOSED HEAVY DUTY ASPHALT PAVING	---	HDA
STANDARD PARKING SPACES	---	SP
COMPACT PARKING SPACES	---	CPS
HANDICAPPED PARKING SPACES	---	HPS
TREE PROTECTION FENCE	---	TPF
PRESERVATION PROTECTION SIGNAGE	---	PPS
REFORESTATION PROTECTION SIGNAGE	---	RPS
CLEARING AREA	---	CA
PRESERVATION AREA	---	PA
REFORESTATION AREA	---	RA
SPECIMEN TREE WITH LIMITS OF CRITICAL ROOT ZONE	---	STR
PROPOSED TREE 1-1/2" x 2" CAL.	---	TR
MINING LIMITS	---	ML
PHASE LINE	---	PL



M-NCPPC
Prince George's County Planning Department
Natural Resources Division
APPROVAL
TREE CONSERVATION PLAN
TCP 2-118-05

APPROVED BY	DATE	DSP NUMBER
Lori Shirley	8/15/07	DSP-05024
Lori Shirley	10/23/08	DSP-05070
K. Shoulers	5/22/07	DSP-05070-01
K. Shoulers	12/28/07	DSP-07034
K. Shoulers	5/20/10	DSP-07034-01
K. Shoulers	10/18/11	DSP-07034-01
K. Shoulers	6/19/13	DSP-07034-04
Megan K. Reiser	3/13/15	DSP-06070-03
K. Shoulers	8/24/14	DSP-07034-06
Megan K. Reiser	3/20/18	DSP-07034-08
Megan K. Reiser	1/24/18	DSP-07034-09
Megan K. Reiser	1/24/18	DSP-07034-10

APPLICANT
CALATLANTIC GROUP, INC.
14280 Park Meadow Drive, Suite 108
Chantilly, VA 20151
703-444-6500
ATTN: David Duncan

OWNER
JACKSON-SHAW / BRICKYARD LIMITED
PARTNERSHIP, L.L.P.
1101-30th Street NW, Suite B 100-A
Washington, DC 20007
301-424-1011
ATTN: Thomas J. Ayward III

T-28
TOP SHEET 11 OF 13

DATE	REVISIONS DESCRIPTION	BY
04/21/12	REVISED TO COMFORM WITH DSP07034-02	PCN
1-23-09	Revised to create subphases for South DSP07034	PCN
4-4-08	Revised per staff required layout changes.	CH
3-21-08	Revised per M-NCPPC comments received 3-7-08	DM
2/14/08	UPDATED WETLANDS/ STREAM FEATURES	MB
2/6/08	REVISED PER M-NCPPC 1-11-08 COMMENTS	MB
DATE	REVISIONS DESCRIPTION	BY

DATE: January 17, 2018
DATE: MAY 2007

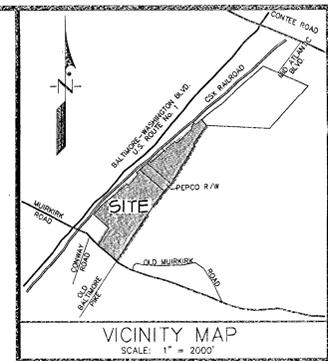
GRAPHIC SCALE 1" = 30'

13

1741 WOODBINE ROAD, SUITE 500
MITCHELLVILLE, MARYLAND 20716
BEN DYER ASSOCIATES, INC.
Engineers / Surveyors / Planners
TELEPHONE: (301) 430-5000
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DRAWN BY: DESIGNED BY: CHECKED BY: RECORDED BY:
SCALE: 1" = 30'
JOB NO.: J-83048
SHEET NO.: 54-059-Y

M-NCPPC
Prince George's County Planning Department
Natural Resources Division
APPROVAL
TREE CONSERVATION PLAN
TCP 2-118-05

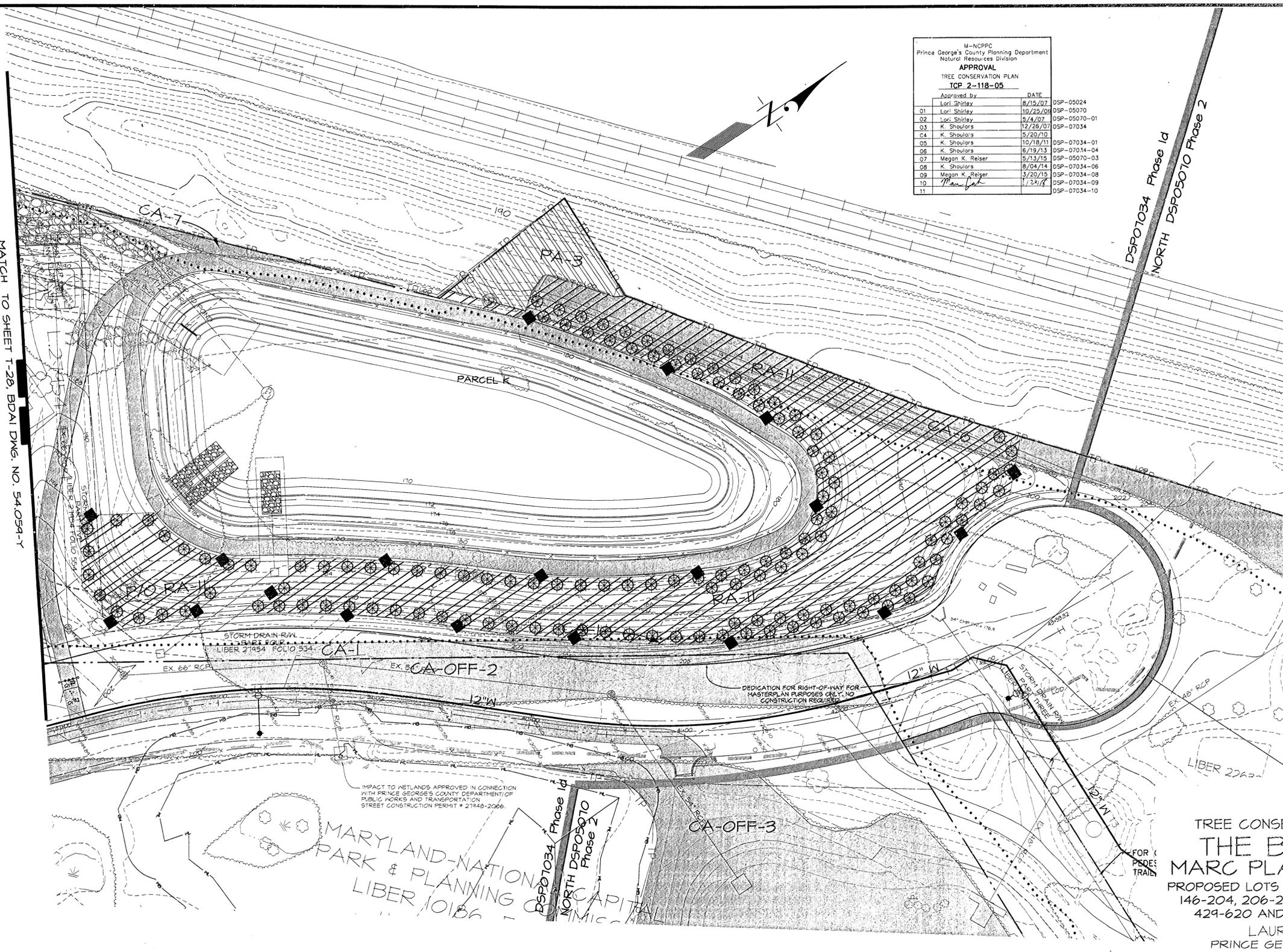
Approved by	DATE	DSP
01 Lori Shirley	8/15/07	DSP-05024
02 Lori Shirley	10/25/08	DSP-05070
03 K. Shoulers	5/4/07	DSP-05070-01
04 K. Shoulers	12/28/07	DSP-07034
05 K. Shoulers	5/20/10	
06 K. Shoulers	10/18/11	DSP-07034-01
07 Megan K. Reiser	6/19/13	DSP-07034-04
08 K. Shoulers	5/13/15	DSP-05070-03
09 Megan K. Reiser	8/04/14	DSP-07034-06
10 Megan K. Reiser	3/20/15	DSP-07034-08
11 <i>[Signature]</i>	1/21/17	DSP-07034-09
		DSP-07034-10



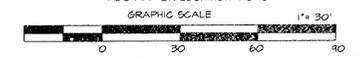
LEGEND

EXISTING CONTOURS	-10-
PROPOSED CONTOURS	102
EXISTING SPOT ELEVATIONS	x124.1 x 26.5
PROPOSED SPOT ELEVATIONS	+10.2 +10.1
PROPOSED SEWER	—○—○—
PROPOSED WATER	—○—○—
PROPOSED STORM DRAIN	—○—○—
EXISTING STREET LIGHT	△
PROPOSED STREET LIGHT	○
LIMIT OF DISTURBANCE	LOD
PRE-DEVELOPMENT TREE LINE	—○—○—
POST-DEVELOPMENT TREE LINE	—○—○—
FLOODPLAIN: EXISTING/PROPOSED	FB
FLOODPLAIN BUFFER	FB
WATERS OF THE U.S.	W
WETLAND LIMITS	WL
WETLAND BUFFER	WB
PRIMARY MANAGEMENT AREA	PKA
STREAM BUFFER	SB
65 dBA LINE	—○—○—
PROPOSED RETAINING WALL	—○—○—
PROPOSED CHAIN LINK FENCE	—○—○—
PROPOSED VINYL SCREEN FENCE	—○—○—
PROPOSED CURB AND GUTTER	—○—○—
PROPOSED CONCRETE PAVING	—○—○—
PROPOSED HEAVY DUTY CONCRETE PAVING	—○—○—
PROPOSED HEAVY DUTY ASPHALT PAVING	—○—○—
STANDARD PARKING SPACES	⑥
COMPACT PARKING SPACES	③
HANDICAPPED PARKING SPACES	②
TREE PROTECTION FENCE	TP
PRESERVATION PROTECTION SIGNAGE	⑤
REFORESTATION PROTECTION SIGNAGE	⑥
CLEARING AREA	—○—○—
PRESERVATION AREA	—○—○—
REFORESTATION AREA	—○—○—
SPECIMEN TREE WITH LIMITS OF CRITICAL ROOT ZONE	⑦
PROPOSED TREE 1-1/2" CAL.	⑧
MINING LIMITS	—○—○—
PHASE LINE	—○—○—

MATCH TO SHEET T-20, BDAI DWG. NO. 54.0591-Y



TREE CONSERVATION PLAN TYPE 2
THE BRICK YARD
MARC PLANNED COMMUNITY
PROPOSED LOTS 9-35, 38-84, 86, 89-III, 115-141, 143, 146-204, 206-225, 227-245, 297-360, 362-427, 429-620 AND PARCELS 'B', 'E', 'H', 'J' TO 'III'
LAUREL DISTRICT No. 10
PRINCE GEORGES COUNTY, MARYLAND
W85C 200' SHEET SERIES: 216 NE 6 & 7 AND 217 NE 7
ADD. MAP BK LOCATION 4 G-10



13

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M-NCPPC APPROVAL

PROJECT NAME: THE BRICK YARD SOUTH
PROJECT NUMBER: DSP-07034-09

M.J. 1/24/19

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M-NCPPC APPROVAL

PROJECT NAME: THE BRICK YARD
PROJECT NUMBER: DSP-05070-03

DATE	REVISIONS DESCRIPTION	BY
03/21/17	REVISED TO UPDATE LAYOUT	PCN
01/11/16	REVISED GRADING FOR LOTS 246-259	PCN
1/04/15	Revised grading per clients request.	PCN
6/12/14	Revised to redesign clubhouse and sound wall.	PCN
11/14/13	REVISED TO COMFORM WITH DSP07034-06	PCN
05/16/13	REVISED TO COMFORM WITH DSP05070-03	PCN

APPLICANT
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Chantilly, VA 20151
703-444-6500
ATTN: David Duncan

OWNER
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1101-30th Street NW, Suite B 100-A
Washington, DC 20001
301-429-1011
ATTN: Thomas J. Aylward III

T-29
TCP SHEET 12 OF 13

DATE	REVISIONS DESCRIPTION	BY	DATE	REVISIONS DESCRIPTION
09/21/12	REVISED TO COMFORM WITH DSP07034-02	PCN	12/21/2018	REVISED TO COMFORM WITH DSP07034-09
7-23-09	Revised to create subphases for South DSP07034	PCN		
4-4-08	Revised per staff required layout changes.	CIN		
3-21-08	Revised per M-NCPPC comments received 3-7-08	DM		
2/14/08	UPDATED WETLANDS/ STREAM FEATURES	MB		
2/16/08	REVISED PER M-NCPPC 1-11-08 COMMENTS	MB		

12721 WOODMERE ROAD, SUITE 200
MITCHELLVILLE, MARYLAND 20721
BEN DYER ASSOCIATES, INC.
Engineers / Surveyors / Planners
TELEPHONE (301) 430-2000
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DRAWN BY DESIGNED BY CHECKED BY RECORD NO. J-B304B
MB SCALE 1"=30'
BY DATE MAY 2007 DWG. NO. 54.060-Y

CALL MISS UTILITY
1-800-257-7177
48 hrs. Before Excavation

TYPE II TREE CONSERVATION NOTES

1. Cutting or clearing of woodland not in conformance with this plan or without the expressed written consent of the Planning Director or designee shall be subject to a \$1500 per square foot mitigation fee.
2. The Department of Environmental Resources (DER) must be contacted prior to the start of any work on the site to address implementation of Tree Conservation Measures shown on this plan.
3. Property owners shall be notified by the Developer or Contractor, of any Woodland Conservation Areas (Tree Save Areas, Reforestation Areas, Afforestation Areas or Selective Clearing Areas) located on their lot or parcel of land and the associated Tree Protection Distances to these areas. Upon the sale of the property the owner/developer or owners representative shall notify the purchaser of the property of any Woodland Conservation Areas.
4. All appropriate bonds shall be posted with the Building Official prior to the issuance of any permits. These bonds will be returned as surety by the Building Official upon completion of all required activities shown on this plan.
5. All required off-site mitigation shall be identified on an approved TCPP for the off-site location and shall be recorded as an off-site assessment in the land records of Prince Georges County prior to issuance of any permits for the off-site property.
6. The location of all Tree Protection Devices (TPDs) shown on this Plan, shall be flagged or staked in the field prior to the pre-construction meeting with the Sediment and Erosion Control Inspector from DER upon approval of the flagged or staked TPD locations by the Inspector. Installation of the TPDs may begin. TPD installation shall be completed prior to installation of initial sediment controls. No cutting or clearing of trees may begin until approval of TPD installation.
7. Work on this project will be halted in several phases. All TPDs required for a given phase shall be installed prior to any disturbance within that phase of work.
8. Woodland Conservation - Tree Save Areas and/or Reforestation Areas shall be posted as shown at the same time as the Tree Protective Device installation and/or start of reforestation activities. These signs shall remain in place.
9. All tree planting for woodland replacement, reforestation or afforestation will be completed prior to use and occupancy of the site. The woodland replacement, reforestation or afforestation within the prescribed time frame of the TPDs shall be completed. No cutting or clearing of trees shall be allowed until the TPDs are installed. Violation of this Plan including the associated \$1500 per square foot penalty unless a written extension is approved by the DER Inspector.
10. The DER Inspector shall be notified prior to soil preparation or initiation of any tree planting on this site.
11. Results of survival checks for all tree plantings shall be reported to the DER Inspector for the site and M-NCPPC, Environmental Planning Section.
12. Prior to the issuance of any permits, the contractor responsible for soil preparation, site preparation, tree planting and tree maintenance must be identified.

PLANTING SPECIFICATIONS FOR RE/AFFORESTATION AREAS

1. Quantity: (see Plant Schedule)
2. Type: (see Plant Schedule)
3. Plant Quality Standards: The plants selected shall be healthy and sturdy representative of their species. Seedlings shall have a minimum top growth of 18". The diameter of the root collar (the part of the root just below ground level) shall be at least 3/8". The roots shall be well developed and at least 8" long. No more than 10% of the root system (both primary and auxiliary/fibrous) shall show evidence of being cut (girdled) or stripped from the plant during the digging process. Substantial auxiliary/fibrous roots shall be present.

Plants that do not have an abundance of well developed terminal buds on the leaders and branches shall be rejected.

Plants shall be shipped by the nursery immediately after lifting from the field or removal from its greenhouse, and planted immediately upon receipt by the landscape contractor.

If the plants cannot be planted immediately after delivery to the reforestation site, they shall be stored in the shade with their roots protected from direct exposure to sun and wind by the use of straw, peat moss, compost, or other suitable material and shall be maintained through periodic watering, until the time of planting.

4. Plant Handling: The quantity of seedlings taken to the field shall not exceed the quantity that can be planted in a day. Seedlings, once removed from the nursery or temporary storage area shall be planted immediately.
5. Timing of Planting: The best time to plant seedlings is while they are dormant, prior to spring budding. The most suitable months for planting are March and April, when the soil is moist, November and early December are also acceptable planting times for this region and cloudy weather is considered ideal. No planting shall be done while the ground is frozen. Planting shall occur in one growing season or the issuance of grading/building permits and/or rearing the final grades and stabilization of planting areas. No planting shall be done while the ground is frozen.

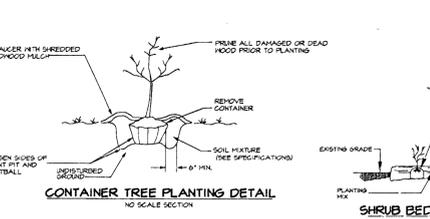
6. Seeding Planting: Seed seedlings can be hand planted using a dibble bar or sharp shooter shovel. It is important that the seedling be placed in the hole so that the roots can spread out naturally; they should not be twisted, balled up, or bent. Moist soil should then be packed firmly around the roots. Seedlings should be planted at a depth where their roots collar is just below the ground surface. Air pockets should not be left after closing the hole which would allow the roots to dry out. See planting details for further explanation. If the contractor wishes to plant by another method, the preparer of this tree conservation plan may be contacted and give his approval before planting may begin.
7. Spacing: See Plant Schedule and/or Planting Plan for spacing requirements. Also refer to the Planting Layout detail for a description of the general planting theory.

8. Soil: Upon the completion of all grading operations, a soil test shall be conducted to determine what soil preparation and soil amendments, if any, are necessary to create good tree growing conditions. Soil samples shall be taken at a rate that provides one soil sample for each area that appears to have a different soil type (if the entire area appears uniform, then only one sample is necessary), and submitted for testing to a private company.
9. The Company of choice shall make recommendations for improving the existing soil. The soil will be tested and recommended for corrections of soil texture, pH, magnesium, phosphorus, potassium, calcium and organic matter.
10. Soil Improvement Measures: The soil shall then be improved according to the recommendations made by the testing company.

11. Fencing & Signage: Final protective fencing shall be placed on the visible and/or development side of planting areas. The protective fence shall be installed upon completion of planting operations. Signs shall be posted per the signage detail on this sheet.

12. Planting Method: Consult the Planting Detail(s) shown on this plan.
13. Mulching: Apply 2" thick layer of woodchip or shredded hardwood mulch (as noted) to each planting site (see detail shown on this plan).
14. Groundcover Establishment: The remaining disturbed area between seeding planting sites shall be seeded and stabilized with white clover seed at the rate of 5lbs/acre.
15. Mowing: No mowing shall be allowed in any planting area.
16. Survival Check for Bond Release: The seeding planting is to be checked at the end of each year for two years to assure that no less than 75% of the original planted quantity survives.

Source of Seedlings: Hawkins Signature Landscapes
14720 Park Meadows Drive, Suite 108
Chantilly, VA 20151
703-444-6500
(801)-940-6274



WOODLAND CONSERVATION AREA MANAGEMENT NOTES

Removal of Hazardous Trees or Limbs by Developers or Builders

The developer and/or builder is responsible for the complete preservation of all forested areas shown on this plan to remain undisturbed. Only trees or parts thereof designated by the Department of Environmental Resources as dead/dying or hazardous may be removed.

1. A tree is considered hazardous if a condition is present which leads a Licensed Arborist or a Licensed Tree Expert to believe that the tree or a portion of the tree has a potential to fall and strike a structure, utility area or other high use area and result in personal injury or property damage.
2. If a hazardous condition may be alleviated by corrective pruning, the Licensed Arborist or a Licensed Tree Expert may proceed with that authorization. The pruning must be done in accordance with the latest edition of the ANSI A300 Pruning Standards ("Tree Shrub and Other Woody Plant Maintenance - Standard Practices").
3. Corrective measures requiring the removal of the hazardous tree or portions thereof shall require authorization by the building or grading inspector if there is a valid grading or building permit for the subject lots or parcels on which the trees are located. Only after approval of the appropriate inspector, may the tree be cut by chainsaw to near the existing ground level. The stump may not be removed or covered with soil, mulch or other materials that would inhibit sprouting.
4. Debris from the tree removal or pruning that occurs within 35 feet of the woodland edge may be removed and properly disposed of by recycling, chipping or other acceptable methods. All debris that is more than 35 feet from the woodland edge shall be cut up to allow contact with the ground, thus encouraging decomposition. The smaller materials shall be placed into brush piles that will serve as wildlife habitat.

Removal of Hazardous Trees/Limbs, Noxious Plants, Invasive Plants or Non-Native Plants in Woodland Conservation Areas Owned by Individual Homeowners

1. If the developer or builder no longer has an interest in the property, the homeowner shall obtain a written statement from the Licensed Arborist or Licensed Tree Expert identifying the hazardous condition and the proposed corrective measures prior to having the work conducted. The tree may then be removed by the arborist or tree expert. The stump shall be cut as close to the ground as possible and left in place. The removal or grinding of the stumps in the woodland conservation area is not permitted.
2. The removal of noxious, invasive and non-native plant species from the woodland conservation areas may be done with the use of hand-held equipment only, such as pruners or a chain saw. These plants may be cut near the ground and the material less than two inches diameter may be removed from the area and disposed of appropriately. All material from these noxious, invasive and non-native plants greater than two (2) inches diameter shall be cut to allow contact with the ground, thus encouraging decomposition.
3. The use of broadcast spraying of herbicides is not permitted. However, the use of herbicides to discourage re-sprouting of invasive, noxious, or non-native plants is permitted, if done on an application of the chemical directly to the cut stump immediately following the cutting of plant tops. The use of any herbicide shall be done in accordance with the label instructions.

Note: The use of chainsaws is extremely dangerous and should not be conducted with poorly maintained equipment, without safety equipment, or by individuals not trained in the use of this equipment for the pruning and/or cutting of trees.

Protection of Reforestation and Afforestation Areas by Developers or Builders

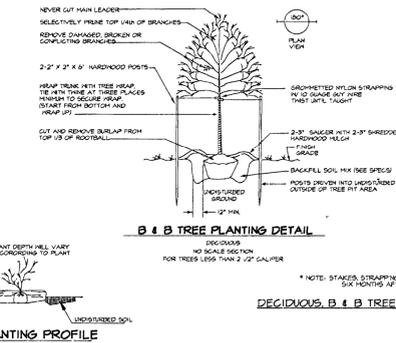
1. Reforestation and afforestation areas shall be planted prior to occupancy of the nearest building or residence. If planting cannot occur due to planting conditions, the developer or property owner shall install the fencing and signage in accordance with the approved Type II Tree Conservation Plan. Planting shall then be accomplished during the next planting season. If planting is delayed beyond the transfer of property title to the homeowner, the developer shall obtain a signed statement from the purchaser indicating that they understand that the reforestation area is located on their property and that reforestation will occur during the next planting season. A copy of that document shall be presented to the grading inspector and the environmental planning section.
2. Reforestation areas shall not be mowed, however the management of competing vegetation around individual trees is acceptable.

Protection of Reforestation and Afforestation Areas by Individual Homeowners

1. Reforestation fencing and signage shall remain in place in accordance with the approved Type II Tree Conservation Plan or until the trees have grown sufficiently to have crown closure.
2. Reforestation areas shall not be mowed, however, the management of competing vegetation around individual trees is acceptable.

Woodland Areas NOT Counted as Part of the Woodland Conservation Requirements

1. A revised Tree Conservation Plan is required prior to clearing any woodland area which is not specifically identified to be cleared on the most recently approved Type II Tree Conservation Plan (TCP) on file in the office of the M-NCPPC, Environmental Planning Section located on the 4th floor of the County Administration Building at 14741 Governor Cullen Bowie Drive, Upper Merion, Maryland 20112, phone 301-452-3650. Additional mitigation will be required for the clearing of all woodlands beyond that reflected on the approved plans. Although clearing may be allowed, it may be subject to additional replacement requirements, mitigation and fees which must be reflected on TCP revisions approved by the M-NCPPC Environmental Planning Section.
2. Homeowners or property owners may remove trees less than two (2) inches diameter, shrubs, and vines in woodland areas which are saved but not part of the woodland conservation requirements after all permits have been released for the subject property. This area may not be tilled or have other ground disturbances which would result in damage to the tree roots. Raking leaves and overseeding with native grasses, flowers and groundcovers is acceptable. Seeding with invasive grasses, including any variety of Kentucky 31 fescue is not acceptable.



WOODLAND CONSERVATION AREA MANAGEMENT NOTES

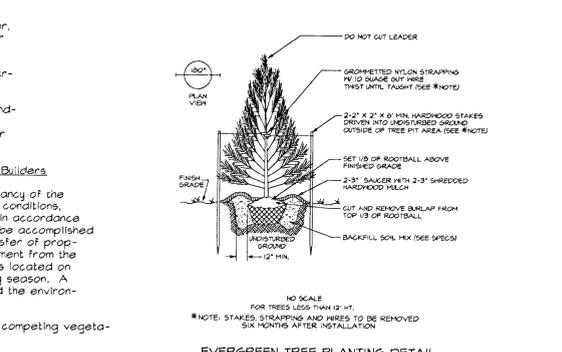
1. Prior to any disturbance of the site, the tree save lines shall be field located by surveying techniques and the appropriate tree protective device (see detail) shall be erected along these designated lines. Only after the tree protective devices have been installed shall any tree cutting or other clearing, grubbing or grading operations begin. All protection devices shall remain in place until all construction has ceased in the immediate vicinity. Devices shall be maintained throughout construction. Attachment of signs, or any other objects, to trees is prohibited. No equipment, machinery, vehicles, materials or excessive pedestrian traffic shall be allowed within protected areas.
2. After the boundaries of the retention area have been staked and flagged and before any disturbance has taken place on site, a pre-construction meeting at the construction site shall take place. The developer, contractor or project manager, and appropriate local inspectors shall attend.
3. Reforestation planting shall be done after the final grading is established, stabilized and approved by SCD. Reforestation techniques and methods must comply with the details and specifications provided herein.

Field check the re-afforestation area according to the following schedule:

- Year 1: Site Preparation and Tree Planting
Survival check once annually (September-November, see Note 1)
Watering if needed (2 x month)
Control of undesirable vegetation as needed (1 x in June 4 1 x in September min.)
- Year 2-3: Reinforcement planting if needed (see Note 2)
Survival check once annually (September-November)
Control of undesirable vegetation if needed (1 x in May 4 1 x in August min.)
- Year 4-5: Reinforcement planting if needed (see Note 2)
Survival check once annually (September-November)

Notes:

- 1) Survival Check: Check planted stock against plant list (or as-built) by walking the site and taking inventory. Plants must show vitality. Submit field data forms (Condition Check Sheets) to owner after each inspection. Remove all dead plants.
- 2) Reinforcement Planting: Replace dead or missing plants in sufficient quantity to bring the total number of live plants to at least 15% of the number originally planted, if a particular species suffers unusually high mortality, replace with an alternate plant type.
- 3) Miscellaneous: Fertilization or watering during years 1 through 3 will be done on an as needed basis. Special return operations or recommendations will be conducted on an as needed basis. Remove perimeter fencing and signage after year 5 based on the date planted.



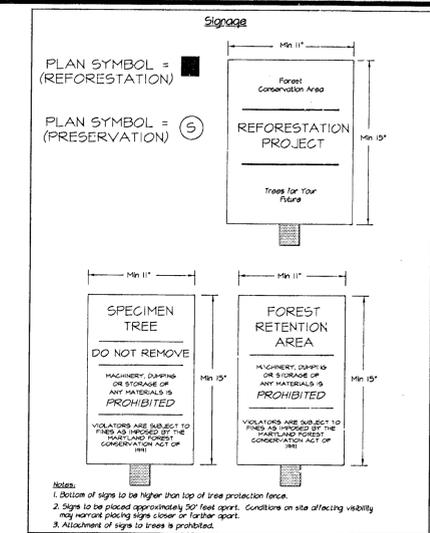
EVERGREEN TREE PLANTING DETAIL

STOCK SPECIFICATION:
1000 SEEDLINGS PER ACRE
TOTAL RE/AFFORESTATION PROVIDED: 3.06 ACRES EACH 1/2' CAL. = 1 SEEDLING

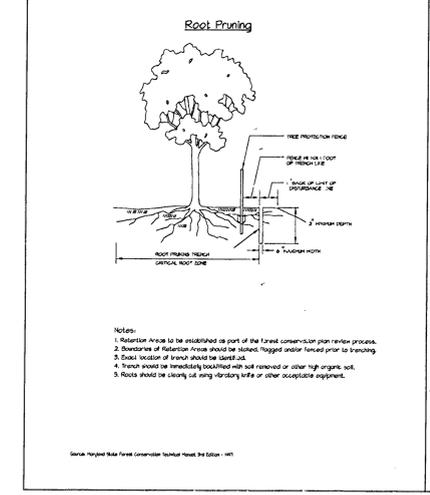
Reforestation Area	Acres	Tulip Poplar	Black Gum	Red Maple	Red Oak	American Beach	Total No. of Seedlings	Total No. of 1 1/2' Cal. Trees
6	REMOVED	---	---	---	---	---	0	0
7	1.12	150	150	150	150	150	675	675
8	0.34	31	31	31	31	31	155	113
9	0.28	40	40	40	40	40	200	28
10	0.36	56	56	56	56	56	280	21
11	0.94	104	104	104	104	104	545	133
12	0.02	---	---	---	---	---	---	7
TOTAL	3.06	394	394	394	394	394	1,970	362

APPROVAL
TREE CONSERVATION PLAN
TCP 2-118-05

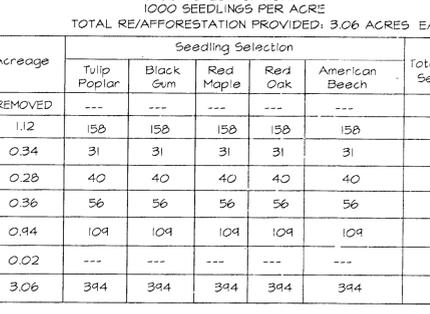
APPROVED BY	DATE	DATE	DSP-#
Lori Shirley	8/15/07		DSP-05024
Lori Shirley	10/25/08		DSP-05070
Lori Shirley	5/4/07		DSP-05070-01
K. Shoulars	12/25/07		DSP-07034
K. Shoulars	5/20/10		
K. Shoulars	10/18/11		DSP-07034-01
K. Shoulars	6/19/13		DSP-07034-04
Megan K. Reiser	5/13/15		DSP-05070-03
K. Shoulars	8/04/14		DSP-07034-05
Megan K. Reiser	3/20/15		DSP-07034-08
Megan K. Reiser	11/24/15		DSP-07034-09
Megan K. Reiser	11/24/15		DSP-07034-10



Signage

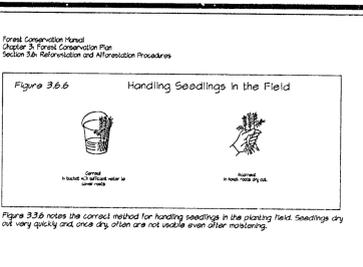


SEEDLING PLANTING DETAIL

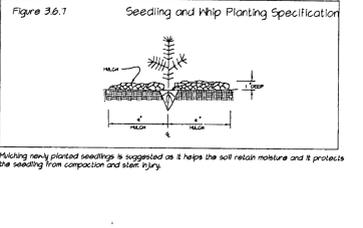


REVISIONS

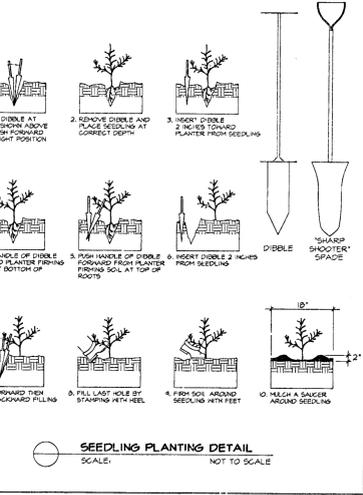
DATE	REVISIONS DESCRIPTION	BY
03/21/17	REVISED TO UPDATE LAYOUT	PCN
01/11/16	REVISED GRADING FOR LOTS 246-254	PCN
1/04/15	Revised grading per clients request.	PCN
6/12/14	Revised to redesign clubhouse and sound wall.	PCN
11/4/13	REVISED TO CONFORM WITH DSP07034-06	PCN



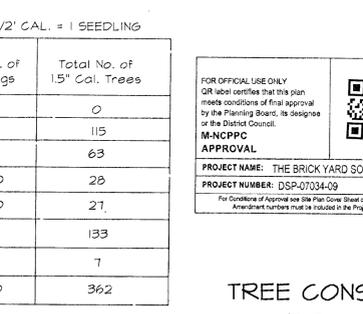
PLANTING LAYOUT



SEEDLING PLANTING DETAIL



TREE PROTECTION FENCING - TYPE I

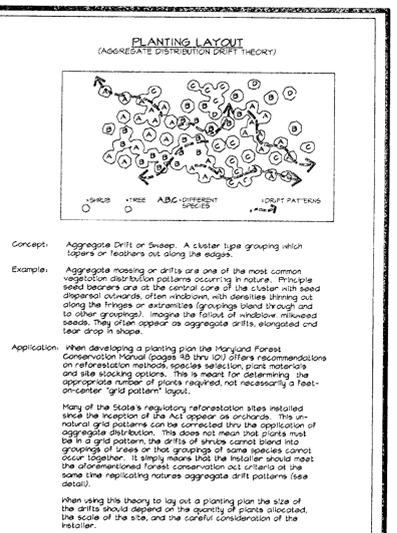


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QR label certifies that this plan meets conditions of final approval by the Planning Board, as designed by the District Council.
M-NCPPC APPROVAL

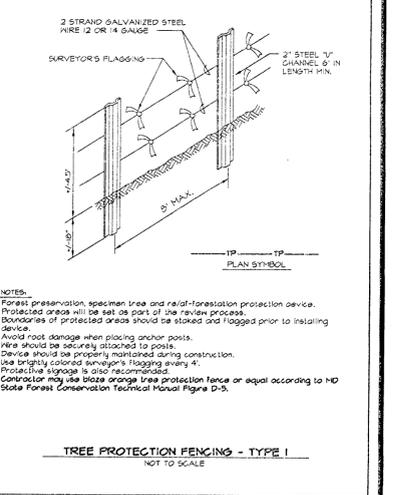
PROJECT NAME: THE BRICK YARD SOUTH
PROJECT NUMBER: DSP-07034-09

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M-NCPPC APPROVAL

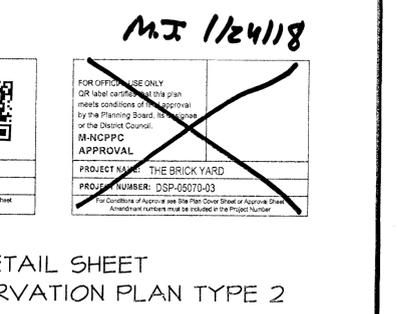
PROJECT NAME: THE BRICK YARD
PROJECT NUMBER: DSP-05070-03



SEEDLING PLANTING DETAIL



TREE PROTECTION FENCING - TYPE I



REVISIONS

DATE	REVISIONS DESCRIPTION	BY
05/16/13	REVISED TO CONFORM WITH DSP05070-03	PCN
09/21/12	REVISED TO CONFORM WITH DSP07034-02	PCN
7-23-09	Revised to create subphases for South DSP07034	PCN
4-4-08	Revised per staff required layout changes.	CW
3-21-08	Revised per M-NCPPC comments received 3-1-08	DM
2/6/08	REVISED PER M-NCPPC 1-11-08 COMMENTS	MB