

CAPITOL DEVELOPMENT DESIGN, INC.,
ENGINEERS - PLANNERS - SURVEYOR'S

5010 SUNNYSIDE AVENUE - SUITE 200 - BELTSVILLE, MD 20705
OFFICE (301) 982-1781 FAX (301) 982-1994

SURREATTS (9th) ELECTION DISTRICT
 PRINCE GEORGE'S COUNTY, MARYLAND

TCP II

VISIONS

E: SEPT., 2005

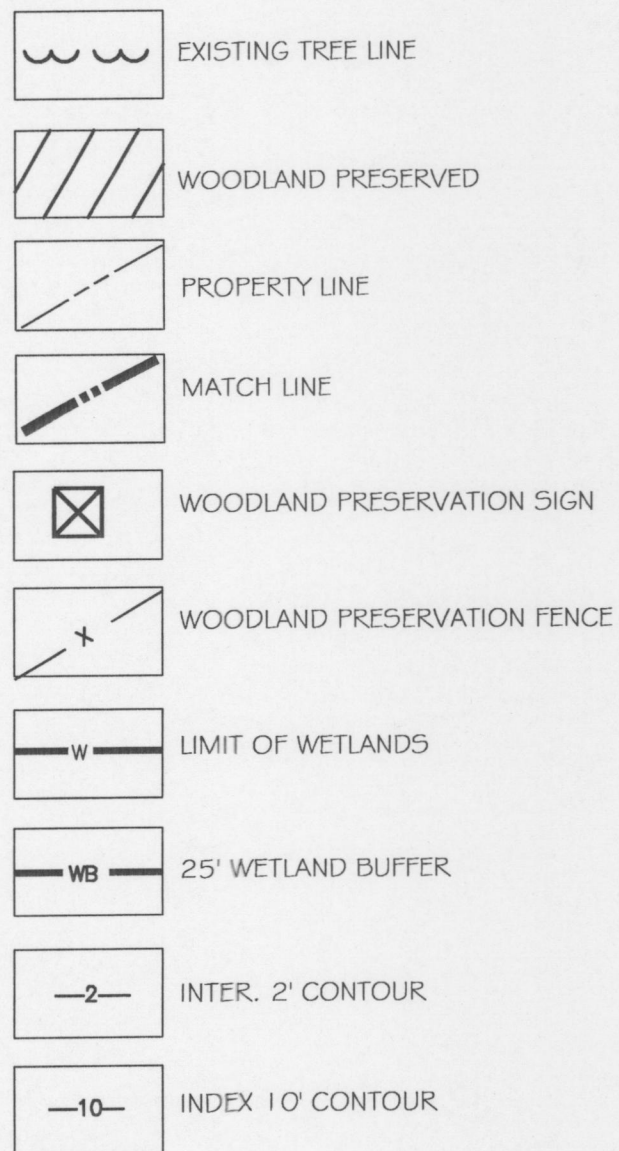
N. DD	CHECKED PAV
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SCALE: $1'' = 30'$

PROJECT/FILE NO.
03026

1 OF 3

LEGEND:



MATCH LINE SHEET 2 OF 3

MATCH LINE SHEET 2 OF 3

CEDAR CHASE PHASE-1
(KILLIECRANKIE)
SECTION TWO
P.B. REC 92 @ P.N. 66
ZONE; R-R
USE: RESIDENTIAL

N/F
LOT 26
WILLIAM R. & GLENNA J. RICKER
TOWNSEND SUBDIVISION
PB: SHD 4, © PN: 34
ZONE: R-R

OWNER/DEVELOPER:
REGAL DEVELOPMENT, LC
9220 OKLA DRIVE
FAIRFAX VIRGINIA, 22031
T.P.NO. OFFICE (703) 503-01
FAX NO. (703) 978-8822

NOTE:

This TCP II is prepared to satisfy the requirements of TCP II/25/04 for “CEDAR CHASE” Phase I. Due to circumstances beyond the applicant’s control, the 8.29 acres of off-site mitigation required for said project is not available at this time. Therefore, this plan, “CEDAR CHASE”, Phase II, provides the 8.29 acres of woodland preservation to satisfy the requirements for TCP II/25/04 “CEDAR CHASE”, Phase I. This is provided as a temporary measure to secure the required off-site mitigation area needed, so that construction of Phase I can commence. When off-site mitigation areas become available for purchase, the applicant reserves the right to replace the 8.29 acres preservation area on the plan with a purchased off-site area. Proof of said purchase will be forwarded to the Environmental Planning Section and the TCP II for “CEDAR CHASE” Phase II will be revised to allow construction of Phase II to begin.

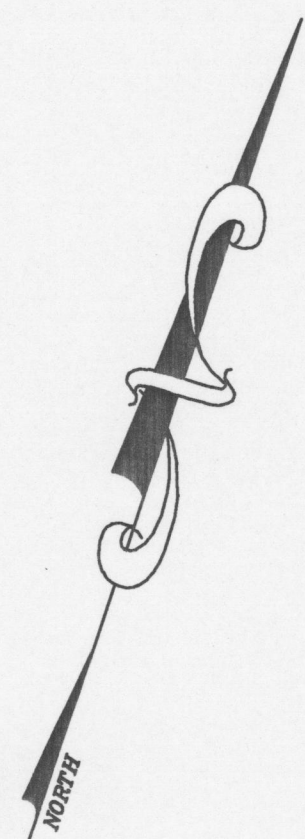
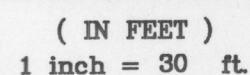
CERTIFICATION

This plan is prepared to comply with the Maryland Department of Natural Resources *State Forest Conservation Technical Manual* (1997), Chapter 2: Forest Stand Delineations. The preparer is a qualified professional under COMAR 08.19.06.01.

Signed: Patricia A. Vance 9/23/05
Patricia A. Vance

MISS UTILITY
FOR LOCATION OF UTILITIES CALL 1-800-257-7777
48 HOURS IN ADVANCE OF ANY WORK IN THE VICINITY

ORIG. REF



NOTE:

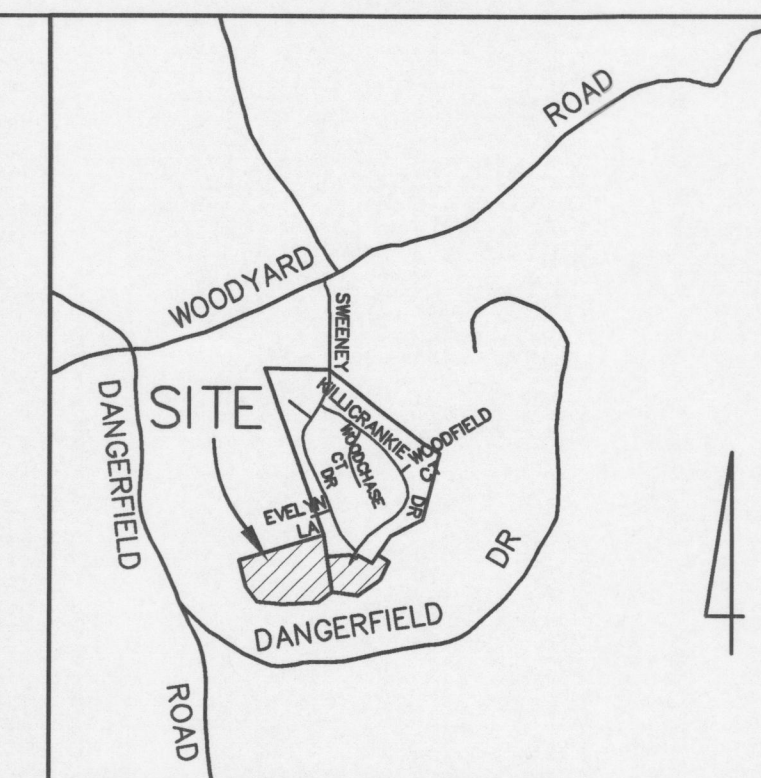
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LEGEND:

	EXISTING TREE LINE
	WOODLAND PRESERVED
	PROPERTY LINE
	MATCH LINE
	WOODLAND PRESERVATION SIGN
	WOODLAND PRESERVATION FENCE
	LIMIT OF WETLANDS
	25' WETLAND BUFFER
	INTER. 2' CONTOUR
	INDEX 10' CONTOUR

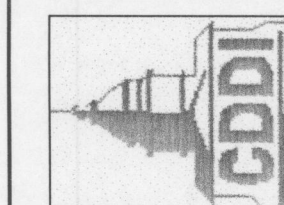
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VICINITY MAP

SCALE: 1"=2000'

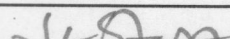


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CEDAR CHASE
PHASE II
SURREATTS (9th) ELECTION DISTRICT
PRINCE GEORGE'S COUNTY, MARYLAND

TCP II

	<p align="center">M-NCPPC Prince George's County Planning Department Environmental Planning Section</p> <p align="center">APPROVAL</p> <p align="center">TREE CONSERVATION PLAN <u>TCP 11/131/25</u></p> <p>Approved by: _____ Date: _____</p>	
01		
02		
03		
04		
05		

REVISIONS

[illegible]

DATE: SEPT., 2005

DWN. DD	CHECKED PAV
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SCALE:	1"=30'
PROJECT/FILE NO	03026

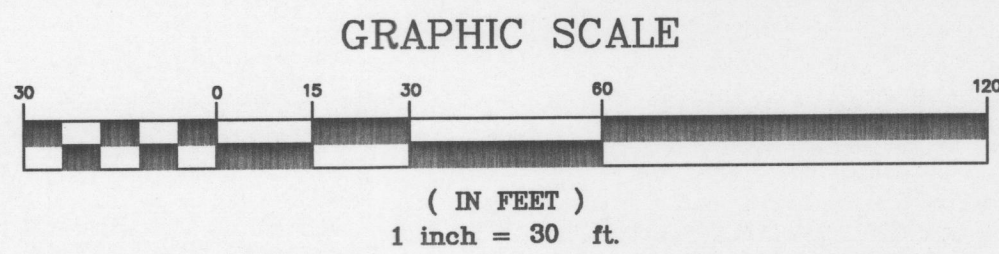
SHEET NO.
2 OF 3

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Patricia A. Vance

ORIS-100



TCP NOTES

1. Cutting or clearing of woodland not in conformance with this plan or without the express written consent of the Planning Director or designee shall be subject to a \$1.50 per square foot mitigation fee.
2. The Department of Environmental Resources shall be contacted prior to the start of any work on the site to address implementation of Tree Conservation measures shown on this plan.
3. Property owners shall be notified by the Developer or contractor of any Woodland Conservation Areas (Tree Save Areas, Reforestation Areas, Afforestation Areas, or Selective Clearing Areas) located on their lot or parcel of land and the associated fines for unauthorized disturbances to these areas. Upon the sale of the property the owner/developer or owners representative shall notify the purchaser of the property of any Woodland Conservation Areas.
4. All appropriate bonds will be posted with the Building Official prior to the issuance of any permits. These bonds will be retained as surety by teh Building Official until all required activities have been satisfied.
5. The location of all Tree Protection Devices(TPD's) shown on this plan shall be flagged or staked prior to the pre-construction meeting with the Sediment and Erosion Control Inspector from DER. Upon approval of the flagged or staked TPD locations by the Forest Resources Unit, installation of the TPD's may begin. TPD installation shall be completed prior to the installation of initial sediment controls. No cutting or clearing of trees may begin before final approval of TPD installation.

WOODLAND CONSERVATION AREA MANAGEMENT NOTES

Removal of Hazardous Trees or Hazardous Limbs By Developers or Builders

The developer and/or builder is responsible for the complete preservation of all forested areas shown on the approved plan to remain undisturbed. Only trees or parts thereof designated by the Department of Environmental Resources as dead, dying, or hazardous may be removed.

1. A tree is considered hazardous if a condition is present which leads a Licensed Arborist or Licensed Tree Expert to believe that the tree or portion of the tree has a potential to fall and strike a structure, parking area , or other high use area and result in personal injury or property damage.
2. If a hazardous condition may be alleviated by corrective pruning, the Licensed Arborist or a Licensed Tree Expert may proceed without further authorization. The pruning must be done in accordance with the latest edition of the ANSI A-300 Pruning Standards(Tree, Shrub, and Other Woody Plant Maintenance—Standard Practices")
3. Corrective measures requiring the removal of the hazardous tree or portions thereof shall require authorization by the building or grading inspector if there is a valid grading or building permit for the subject lots or parcels on which the trees are located. Only after approval by the appropriate inspector may the tree be cut by chainsaw to near the existing ground level. The stump may not be removed or covered with soil, mulch, or other materials that would inhibit sprouting.
4. Debris from the tree removal or pruning that occurs within 35 feet of the woodland edge may be removed and properly disposed of by recycling, chipping or other acceptable methods. All debris that is more than 35 feet from the woodland edge shall be cut up to allow contact with the ground, thus encouraging decomposition. The smaller materials shall be placed into brush piles that will serve as wildlife habitat.

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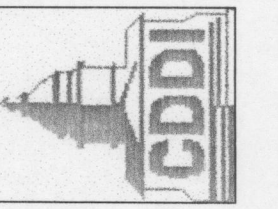
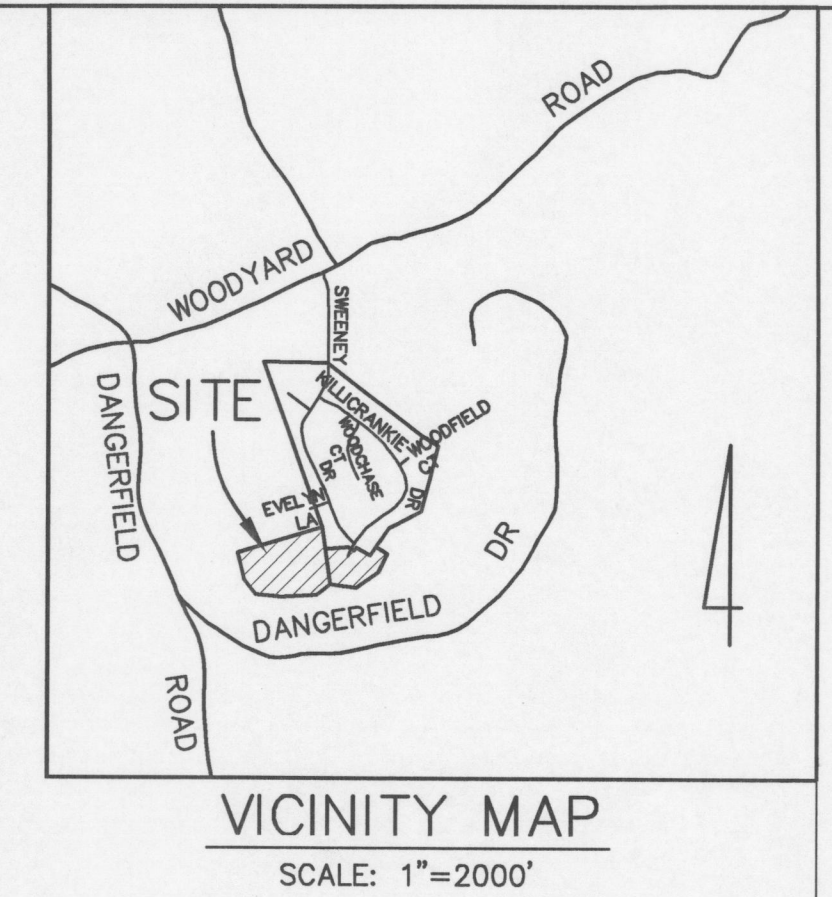
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NO.	DESCRIPTION

DATE: SEPT., 2005

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SCALE: 1"=30'

PROJECT/FILE NO. 03026

SHEET NO. 3 OF 3

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