

PLANTING SPECIFICATION NOTES

35. Quantity: See Plant Schedule)
36. Type: See Plant Schedule)
37. Plant Quality Standards: The plants selected shall be healthy and sturdy representatives of their species. Seedlings shall have a minimum top growth of 16". The diameter of the root collar (the part of the root just below ground level) shall be at least 3/8". The roots shall be well developed and at least 8" long. No more than twenty-five percent (25%) of the root system (both primary and auxiliary/bicous roots) shall be present.
38. Plants that do not have an abundance of well developed terminal buds on the leaders and branches shall be rejected.
39. Plants shall be shipped by the nursery immediately after filling from the field or removed from the greenhouse, and planted immediately upon receipt by the landscape contractor. If the plants cannot be planted immediately after delivery to the contractor site, they shall be stored in the shade with their root masses protected from direct exposure to sun and wind by the use of straw, peat moss, compost, or other suitable material and shall be maintained through periodic watering, until the time of planting.
40. Plant Handling: the quantity of seedlings taken to the field shall not exceed the quantity that can be planted in a day. Seedlings, once removed from the nursery or temporary storage area shall be planted immediately.
41. Timing of Planting: The best time to plant seedlings is while they are dormant, prior to spring budding. The most suitable months for planting are March and April, when the soil is moist, but may be planted from March through November. No planting shall be done while water is frozen. Planting should occur within one growing season of the issuance of grading/building permits and/or reaching the final grades and stabilization of planting areas.
42. Seedling Planting: Tree seedlings shall be hand planted using a dibble bar or sharp-shooter shovel. It is important that the seedling be placed in the hole so that the roots can spread out naturally; they should not be twisted, balled up or bent. Moist soil should then be packed firmly around the roots. Seedlings should be planted at a depth where their roots lie just below the ground surface. See schedule should not be left after clearing the hole which would allow the roots to dry out. See planting details for further explanation. If the contractor wishes to plant by another method, the preparer of this tree conservation plan must be contacted and give his approval before planting may begin.
43. Spacing: See Plant Schedule and/or Planting Plan for spacing requirements. Also refer to the Planting Layout detail for a description of the general planting theory.
44. Soil: Upon the completion of all grading operations, a soil test shall be conducted to determine what soil preparation and soil amendments, if any, are necessary to create good tree growing conditions. Soil samples shall be taken at a rate that provides one soil sample for each area that appears to have a different soil type (if the entire area appears uniform, then only one sample is necessary), and submitted for testing to a private company. The company of choice shall make recommendations for improving the existing soil. The soil will be tested and recommended for corrections of soil texture, pH, magnesium, phosphorus, potassium, calcium and organic matter.

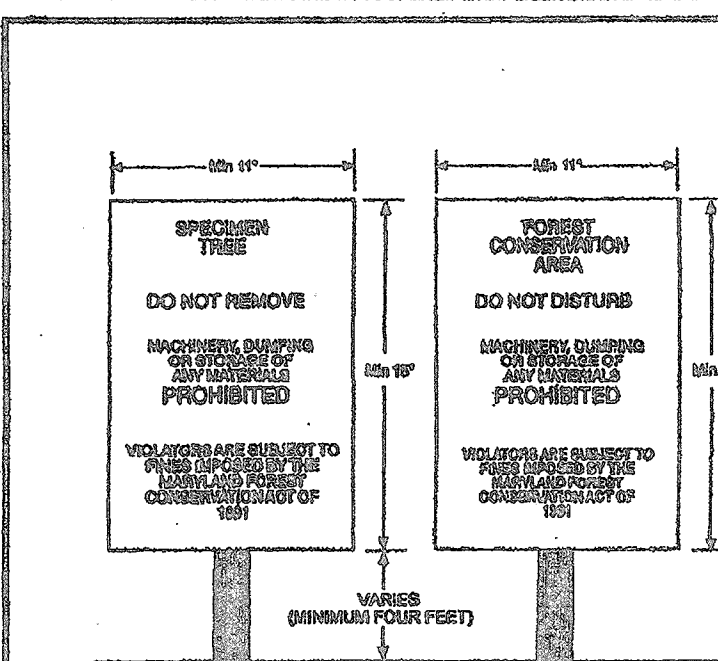
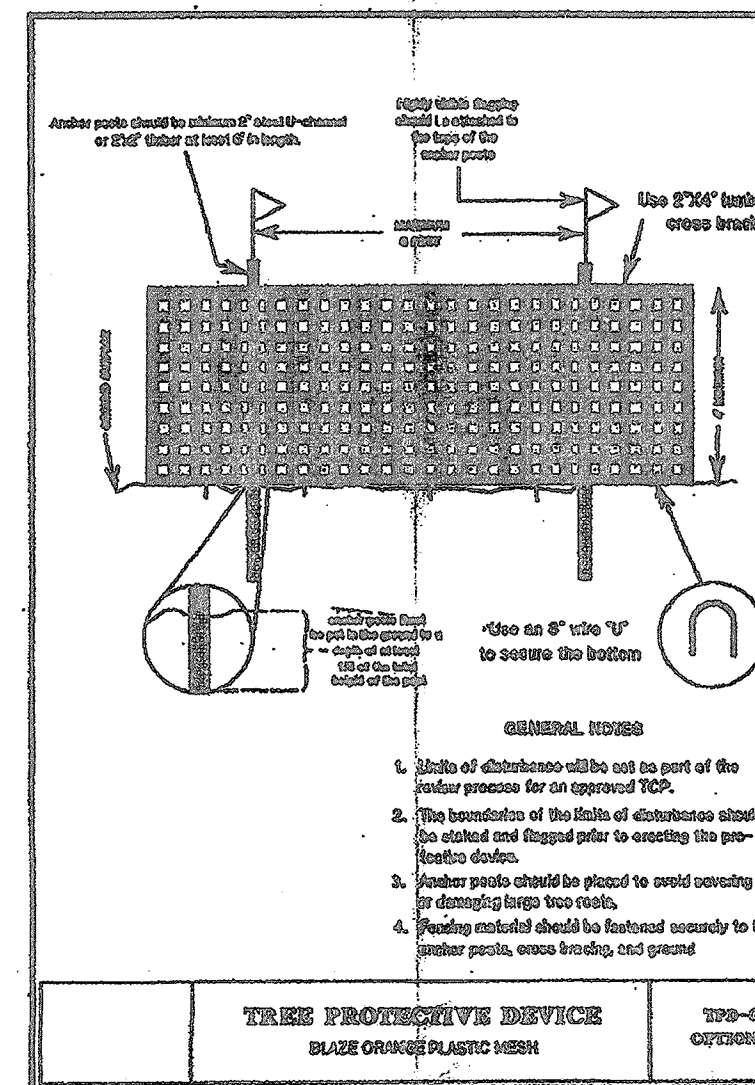
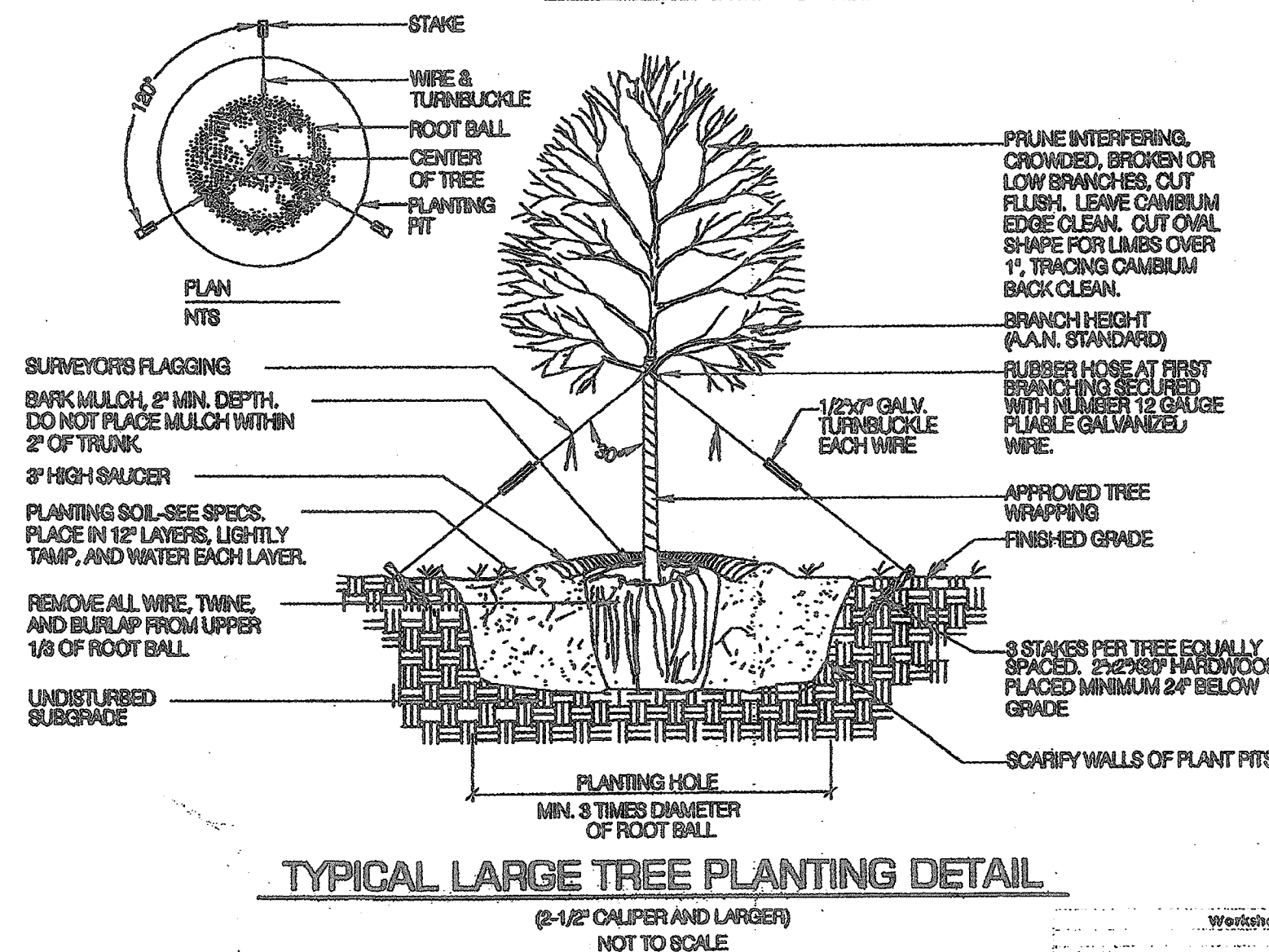
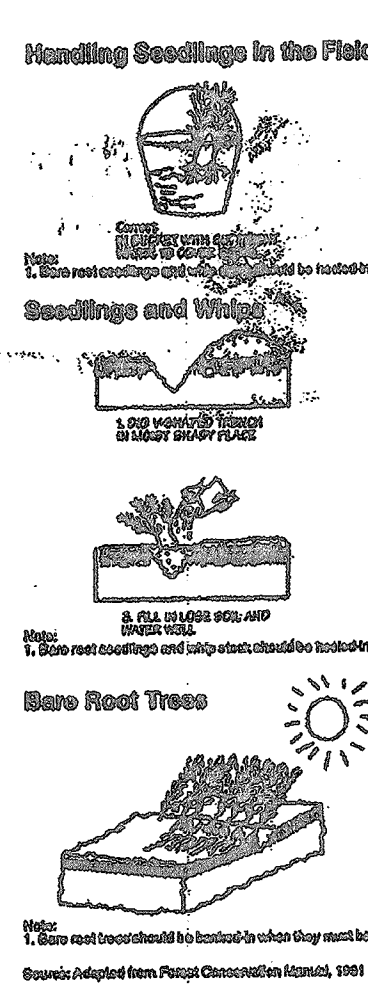
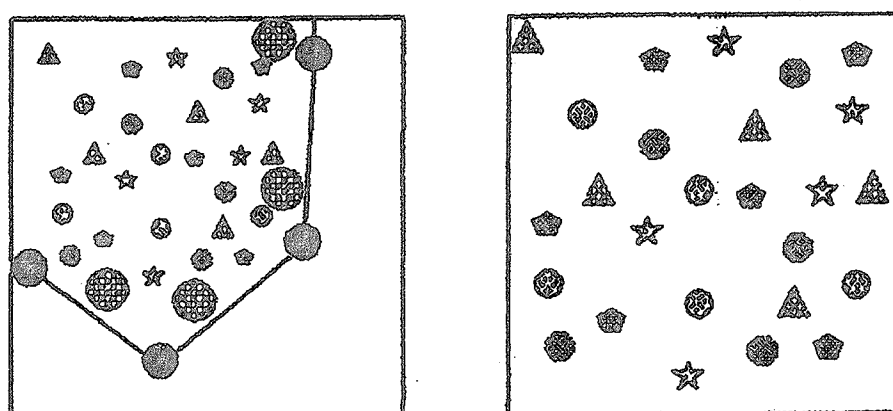
10. All woodlands designated on this plan for preservation are the responsibility of the property owner. The woodland areas shall remain in a natural state. This includes the canopy trees and understory vegetation. A revised tree conservation plan is required prior to clearing woodland areas that are not specifically identified to be cleared on the approved TGP2.
11. Tree and woodland conservation methods such as root pruning shall be conducted as noted on this plan.
12. The location of all temporary tree protection fencing (TPFs) shown on this plan shall be flagged or staked in the field prior to the pre-construction meeting. Upon approval of the locations by the county inspector, installation of the TPFs may begin.
13. All temporary tree protection fencing required by this plan shall be installed prior to commencement of clearing and grading of the site and shall remain in place until the bond is released for the project. Failure to install and maintain temporary or permanent tree protective devices is a violation of this TGP2.
14. Woodland preservation areas shall be posted with signage as shown on the plans at the same time as the temporary TPF installation. These signs must remain in perpetuity.
15. Removal of Hazardous Trees or Limbs by Developers or Builders
16. The developer and/or builder is responsible for the complete preservation of all forested areas shown on the approved plan that remain undisturbed. Only trees or parts thereof designated by the county as dead, dying, or hazardous may be removed.
17. A tree is considered hazardous if a condition is present which leads a Certified Arborist or Licensed Tree Expert to believe that the tree or a portion of the tree has a potential to fall and strike a structure, parking area, or other high use area and result in personal injury or property damage.
18. During the initial stages of clearing and grading, if hazardous trees are present, or trees are present that are not hazardous but are leaning into the disturbed area, the permittee shall remove said trees using a chain saw. Corrective measures requiring the removal of the hazardous tree or portions thereof shall require authorization by the county inspector. Only after approval by the inspector may the tree be cut by chainsaw near the existing ground level. The stump shall not be removed or covered with soil, mulch or other materials that would inhibit sprouting.
19. If a tree or trees become hazardous prior to bond release for the project, due to storm events or other situations not resulting from an action by the permittee, prior to removal, a Certified Arborist or a Licensed Tree Expert must certify that the tree or the portion of the tree in question has a potential to fall and strike a structure, parking area, or other high use area and may result in personal injury or property damage. Once certified, the trees are in imminent danger of striking a structure, parking area, or other high use area and may result in personal injury or property damage then the certification is not required and the permittee shall take corrective action immediately. The condition of the area shall be fully documented through photographs prior to corrective action being taken. The photos shall be submitted to the inspector for documentation of the damage.

23. All afforestation and reforestation bonds, based on square footage, shall be posted with the county prior to the issuance of any permits. These bonds will be retained as surety until all required activities have been satisfied or the required timeframe for maintenance has passed, whichever is longer.
24. For each lot for which afforestation is proposed, the afforestation and associated fencing shall be installed prior to the issuance of the building permit for that lot. A certification prepared by a qualified professional may be used to provide verification that the afforestation has been completed. It must include, at a minimum, photos of the afforestation areas and the associated fencing for each lot with labels on the photos identifying the locations and a plan showing the location where the photos were taken.
25. Seeding planting is to occur from November through May only. No planting shall be done while ground is frozen. Planting with larger caliper stock or containerized stock may be done at any time, subject to a detailed maintenance schedule being provided.
26. If planting cannot occur due to site or weather conditions, the developer or property owner shall install the fencing and signage in accordance with the approved Type 2 Tree Conservation Plan. Planting shall then be accomplished during the next planting season. If planting is delayed beyond the transfer of the property title to the homeowner, the developer or builder shall obtain a signed statement from the purchaser indicating that they understand that the reforestation area is located on their property and that reforestation will occur during the next planting season. A copy of that document shall be presented to the county inspector.
27. Reforestation areas shall not be mowed. The management of competing vegetation around individual trees and the removal of noxious, invasive, and non-native vegetation within the reforestation areas is acceptable.
28. Required temporary tree protection fencing shall be installed prior to the clearing and grading of the site and shall remain in place until the permanent tree protection fencing is installed with the required planting. The temporary fencing is not required to be installed if the permanent fencing is installed prior to clearing and grading of the site. Failure to install and maintain temporary or permanent tree protective fencing is a violation of this TCP2.
29. Afforestation/reforestation areas shall be posted with notification signage, as shown on the plans, at the same time as the permanent protection fencing installation. These signs shall remain in perpetuity.
30. The county inspector shall be notified prior to soil preparation or initiation of any tree planting on this site.
31. At time of issuance of the first permit, the following information shall be submitted to the MNOPPC Planning Department regarding the contractor responsible for implementation of this plan: contractor name; business name (if different); address; and phone number. Results of annual survival checks for each of the required four years after tree planting shall be reported to the MNOPPC Planning Department.
32. Failure to establish the afforestation or reforestation within the prescribed time frame will result in the forfeiture of the reforestation bond and/or a violation of this plan including the associated \$9.00 per square foot penalty unless the county inspector approves a written extension.

33. Reforestation fencing and signage shall remain in place in accordance with the approved Type 2 Tree Conservation Plan.
34. Reforestation areas shall not be mowed; however, the management of competing vegetation and removal of noxious, invasive, and non-native vegetation around individual trees is acceptable.

58. Prior to the issuance of the first permit for the development shown on this TCP2, all off site woodland conservation required by this plan shall be identified on an approved TCP2 plan and recorded as an off-site easement in the land records of Prince George's County. Proof of recordation of the off-site conservation shall be provided to the M-NCPPC, Planning Department prior to issuance of any permit for the associated plan.

SAMPLE AFFORESTATION / REFORESTATION RANDOM PLANTING PATTERN

[illegible]

	Approved by	Date
	J.L. Stasz	9-25-08
01	<i>P. V...</i>	<i>1-28-11</i>
02	<i>Megan K. Reiser</i>	<i>12/13/2008</i>
03		
04		
05		

PROPERTY OWNERS AWARENESS CERTIFICATE

I/we, _____, hereby acknowledge that we are aware of this Type 2 Tree Conservation Plan (TCP2) and that we understand the requirements as set forth in this TCP2.

✓ QUALIFIED PROFESSIONAL CERTIFICATION ✓

John P. Markovich
 John P. Markovich
 Licensed Forester #152
 JM Forestry Services, LLC
 11552 Timberbrook Drive
 Waldorf, Maryland 20601
 (301) 645-4977
 jmarkovich@comcast.net

12/8/10
 Date


LAND PLANNERS
ENGINEERS
LAND SURVEYORS

14603 MAIN STREET - UPPER MARLBOROUGH, MD. 20775
JAMES H. REEDER, INC.
(301) 267-3100 (301) 956-6200
(301) 956-6200 (410) 253-8500

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TYPE 2 TREE CONSERVATION PLAN
 LOTS 7 - 15 & OUTLOT "A"
KING GALLAHAN SUBDIVISION
 PISCATAWAY (58th) ELECTION DISTRICT
 PRINCE GEORGES COUNTY, MARYLAND

SHEET 3 of 3

November 15, 2017 DATE				11721 WOODMORE ROAD, SUITE 200 MITCHELLVILLE, MARYLAND 20721	
Mike Petrakis Qualified Professional COMAR 08.19.06.01				 BEN DYER ASSOCIATES, INC. Engineers / Surveyors / Planners TELEPHONE (301) 430-2000 COPYRIGHT © 2017 BEN DYER ASSOCIATES, INC.	
11/15/17	Revised to provide 0.02 ac. Fee-in-lieu	PCN	PCN	DRAWN BY: PCN DESIGNED BY: MP SCALE: 1" = 50' DATE: NOVEMBER 2017	RECORD NO. B15010 DRAW NO. 54-003-Y
DATE	DESCRIPTION	BY			
	REVISIONS				