



PLANTING SPECIFICATION NOTES **GENERAL NOTES** Handling Seedlings in the Field Seeding and Whip Figures 35. Quantity: (See Plant Schedule) This plan is submitted to fulfill the woodland conservation requirements for a grading permit. If this grading permit expires, the this Planting With Dibble Bar TCP2 also expires and is no longer valid. 36. Type: (See Plant Schedule) Cutting or clearing of woodland not in conformance with this plan or without the express written consent of the Planning Director or 37. Plant Quality Standards: The plants selected shall be healthy and sturdy representatives of their species. Seedlings shall have a designee shall be subject to a \$9.00 per square foot mitigation fee. minimum top growth of 18°. The clameter of the root collar (the part of the root just below ground level) shall be at least 3/8°. The roots shall be well developed and at least 8" long. No more than twenty-five percent (25%) of the root system (both primary and A pre-construction meeting is required prior to the issuance of grading permits. The Department of Public Works and auxiliary/fibrous roots shall be present. Transportation or the Department of Environmental Resources, as appropriate, shall be contacted prior to the start of any work on Correct and inserrest Flanding Death the site to conduct a pre-construction meeting where implementation of woodland conservation measures shown on this plan will Seedlings and White 38. Plants that do not have an abundance of well developed terminal buds on the leaders and branches shall be rejected. be discussed in detail. 39. Plants shall be shipped by the nursery immediately after lifting from the field or removal from the green house, and planted The developer or builder of the lots or parcels shown on this plan shall notify future buyers of any woodland conservation areas immediately upon receipt by the landscape contractor. If the plants cannot be planted immediately after delivery to the reforestation through the provision of a copy of this plan at time of contract signing. Future property owners are also subject to this requirement. 2 organ ennoles and scread out evenly i. Insert pibble at Angle Onden Above Vid Push Forvard Duvishie Posmun site, they shall be stored in the shade with their root masses protected from direct exposure to sun and wind by the use of straw. peat moss, compost, or other suitable material and shall be maintained through periodic watering, until the time of planting. The owners of the property subject to this tree conservation plan are solely responsible for conformance to the requirements CHINESTAN GRAN 40. Plant Handling; the quantity of seedlings taken to the field shall not exceed the quantity that can be planted in a day. Seedlings, once removed from the nursery or temporary storage area shall be planted immediately. Medical Planting 6. The property is within the Developing Tier and is Zoned R-E. 41. Timing of Planting: The best time to plant seedlings is while they are domant, prior to spring budding. The most suitable months 8. FIL IN LOSE SOIL AND 4. CONCRETE BUILD BY 60% AND FIRST WITH FEET The property is adjacent to Piscalaway Road which is a designated historic roadway. for planting are March and April, when the soil is moist, but may be planted from March through November. No planting shall be 4. Fill handle of dissle Tomaso statise remand Son at bottom of G HISTOT DIDDLE 2 HOLES done while ground is trozen. Planting shall occur within one growing season of the issuance of grading/building permits and/or The property is adjacent to Piscataway Road which is classified as an arterial roadway. reaching the final grades and stabilization of planting areas. 9. This plan is grandfathered under Prince George's County Code Section 25-119(g), per CB-27-2010. 42. Seedling Planting: Tree seedlings shall be hand planted using a dibble bar or sharp-shooter shovel. It is important that the seedling be placed in the hole so that the roots can spread out naturally; they should not be twisted, balled up or bent. Moist soil should he trees pointing terms the noun. Whist sell checklibe t TREE PRESERVATION AND RETENTION NOTES then be packed firmly around the roots. Seedlings should be planted at a depth where their roots lie just below the ground surface. Air pockets should not be left after closing the hole which would allow the roots to dry out. See planting details for further 10. All woodlands designated on this plan for preservation are the responsibility of the property owner. The woodland areas shall exclanation. If the contractor wishes to plant by another method, the preparer of this tree conservation plan must be contacted and remain in a natural state. This includes the canopy trees and understory vegetation. A revised tree conservation plan is required Z full foreard then full eachead felen B. FOL LAST MOLE BY 9, firm son accomp Secoung with Feet give his approval before planting may begin. prior to clearing woodland areas that are not specifically identified to be cleared on the approved TCP2. 43. Spacing: See Plant Schedule and/or Planting Plan for spacing requirements. Also refer to the Planting Layout detail for a Tree and woodland conservation methods such as root pruning shall be conducted as noted on this plan. description of the general planting theory. 12. The location of all temporary tree protection fencing (TPFs) shown on this plan shall be flagged or staked in the field prior to the 44. Soil: Upon the completion of all grading operations, a soil test shall be conducted to determine what soil preparation and soil pre-construction meeting. Upon approval of the locations by the county inspector, installation of the TPFs may begin. codling and Whip Flanting Toshniquo andling Bare Root Stock eediing Planting Techniques Figura D:19 amendments, if any, are necessary to create good tree growing conditions. Soil samples shall be taken at a rate that provides one soil sample for each area that appears to have a different soil type (If the entire area appears uniform, then only one sample is All temporary tree protection tencing required by this plan shall be installed prior to commencement of clearing and grading of the necessary), and submitted for testing to a private company. The company of choice shall make recommendations for improving site and shall remain in place until the bond is released for the project. Failure to install and maintain temporary or permanent tree the existing soil. The soil will be tested and recommended for corrections of soil texture, pH, magnesium, phosphorus, potassium, protective devices is a violation of this TCP2. 4. Woodland preservation areas shall be posted with signage as shown on the plans at the same time as the temporary TPF 45. Soil improvement Measures: the soil shall then be improved according to the recommendations made by the testing company. installation. These signs must remain in perpetuity. 46. Fencing and Signage: Final protective fencing shall be placed on the visible and/or development side of planting areas. The final Removal of Hazardous Trees or Limbs by Developers or Builders CROMDED, BROKEN protective fence shall be installed upon completion of planting operations unless it was installed during the initial stages of LOW BRANCHES, CU development. Signs shall be posted per the signage detail on this sheet.v The developer and/or builder is responsible for the complete preservation of all forested areas shown on the approved plan to remain undisturbed. Only trees or parts thereof designated by the county as dead, dying, or hazardous may be removed. 47. Planting method: Consult the Planting Detail(s) shown on this plan. SHAPE FOR LIMBS OVER DO NOT REMOVE do not disturb 1°, TRACING CAMBIUM A tree is considered hazardous if a condition is present which leads a Certified Arborist or Licensed Tree Expert to believe that the 48. Mulching: Apply two-inch thick layer of woodchip or shredded hardwood mulch (as noted) to each planting site (see detail shown BACK CLEAN. tree or a portion of the tree has a potential to fall and strike a structure, parking area, or other high use area and result in personal (A.A.N. STANDARD) 49. Groundcover Establishment: the remaining disturbed area between seedling planting sites shall be seeded and stabilized with 7. During the initial stages of clearing and grading, if hazardous trees are present, or trees are present that are not hazardous but are SURVEYORS FLAGGING white clover seed at the rate of 5 lbs/acre. leaning into the disturbed area, the permittee shall remove said trees using a chain saw. Corrective measures requiring the removal BARK MULCH, 2" MIN. DEPTH. DO NOT PLACE MULCH WITHI of the hazardous free or portions thereof shall require authorization by the county inspector. Only after approval by the inspector 50. Mowing: No mowing shall be allowed in any planting area. may the tree be cut by chainsaw to near the existing ground level. The stump shall not be removed or covered with soil, mulch or 2º OF TRUNK other materials that would inhibit sprouting. 51. Survival Check for Bond Release: The seedling planting is to be checked at the end of each year for four years to assure that no 3" HIGH SAUCER less than 75% of the original planted quantity survives. If the minimum number has not been provided the area must be 18. If a tree or trees become hazardous prior to bond release for the project, due to storm events or other situations not resulting from PLANTING SOIL-SEE SPECS. ·Uso an S° wko °U° supplemented with additional seedlings to reach the required number at time of planting. an action by the permittee, prior to removal, a Certified Arborist or a Licensed Tree Expert must certify that the tree or the portion of PLACE IN 12" LAYERS, LIGHTLY to seeme the bottom FINISHED GRADE the tree in question has a potential to fall and strike a structure, parking area, or other high use area and may result in personal injury TAMP, AND WATER EACH LAVER 52. Source of Seedlings: Information concerning source of trees will be provided to M-NCPPC once known. or property damage. If a tree or portions thereof are in imminent danger of striking a structure, parking area, or other high use area Bottom of signs to be higher then top of tree protective device (TPD). When placed above TPD, sign height to be a minimum of 4' (feet). and may result in personal injury or property damage then the certification is not required and the permittee shall take corrective general notes REMOVE ALL WIRE, TWINE, FOUR YEAR MANAGEMENT PLAN FOR REFORESTATION/AFFORESTATION AREAS action immediately. The condition of the area shall be fully documented through photographs prior to corrective action being taken and Burlap from Upper i. Alcite of disturbance will be set as sent of the Signs to be pisced approximately '150' (feet) apart. Conditions on site affecting vieability may warrant placing signs sview process for an approved TCP. The photos shall be submitted to the inspector for documentation of the damage. 1/3 OF ROOT BALL 53. Field-check the Re- or Afforestation area according to the following schedule: 2. The boundaries of the limits of disturbance about clessor or farther apart. Attachement of signs to trees is prohibited. be cloked and fingged prior to erecting the pro-If corrective pruning may alleviate a hazardous condition, the Certified Arborist or a Licensed Tree Expert may proceed without . Signs to be affixed to wood profe using some or nails further authorization. The pruning must be done in accordance with the latest edition of the appropriate ANSI A300 Pruning 54. Year 1: Site Preparation and Tree Planting 3. Anchor pools chould be placed to evold severing in order to insure permanence. r demeging large tree reets, Standards. The condition of the area shall be fully documented through photographs prior to corrective action being taken. The Course Adequad from Percus Conservation Monus, 1991 4. Fanding material should be featened securely to the Survival check once annually (September-November), see note below -SCARIPY WALLS OF PLANT PITS photos shall be submitted to the inspector for documentation of the damage. Debtis from the tree removal or pruning that occurs maker pests, ordes bracing, and ground withine action ????g 35 feet of the woodland edge may be removed and properly disposed of by recycling, chipping or other Watering (2x month) acceptable methods. All debris that is more than 35 feet from the woodland edge shall be cut up to allow contact with the ground, TREE PROTECTIVE DEVICE thus encouraging decomposition. The smaller materials shall be placed into brush piles that will serve as wildlife habitat. Construction Signs Control of undesirable vegetation as needed (1x in June and 1x in September, mln.) BLAZE ORANGÉ PLASTIC MESH TYPICAL LARGE TREE PLANTING DETAIL Tree work to be completed within a road right-of-way requires a permit from the Maryland Department of Natural Resources unless Year 2-3: Reinforcement Planting as needed (See note below) the tree removal is shown within the approved limits of disturbance on a TCP2. The work is required to be conducted by a Licensed (2-1/2" CALIPER AND LARGER) Worksheet for Calculating Tree Cover Credit Survival check once annually (September-November) Tree protection fencing (TPFs) is not required for all or portions of this plan because an undisturbed 100-foot buffer of open land for Control of undesirable vegetation if needed (1x in May and 1x in August, min.) a 50-loot forested butter is being maintained between the limit of disturbance (LOD) and the woodland preservation areas. If the LOD changes and the change impacts these buffers, the county inspector shall be contacted to evaluate the change to determine LONGO FENG Year 4: Reinforcement planting as needed. (See note below) if a revision to the tree conservation plan is necessary or if installation of TPFs will be required. of required TC : In Acres Survival check (September-November) 22. Debris piles shown in woodland preservation areas shall be removed by hand without the use of mechanical equipment within the preservation area. Chains may be used to pull debris out of the preservation areas. Caution must be used not to damage remaining i. Total area existing trees (non WC acres) = 55. Survival Check: Check planted stock against plant list (or as-planted list) by walking the site and taking inventory. Plants must show t. Total square footage in Planted Trees vitality. Submit field data forms (Condition Check Sheets) to owner after each inspection. Remove all dead plants. M . TOTAL SQUARE FOOTAGE REQUIRED = M-NCPPC AFFORESTATION AND REFORESTATION NOTES 56. Reinforcement Planting: Replace dead or missing plants in sufficient quantily to bring the total number of live plants to at least 75% Prince George's County Planning Department Satisfica of the number originally planted. If a particular species suffers unusually high mortality, replace with an alternative plant type. 23. All afforestation and reforestation bonds, based on square footage, shall be posted with the county prior to the Issuance of any Environmental Planning Section permits. These bonds will be retained as surety until all required activities have been satisfied or the required timeframe for Based on Size at | Number of 57. Miscellaneous: Fertilization or watering during years 1 through 3 will be done on an as-needed basis. Special return operations or maintenance has passed, whichever is longer. onting (in squero recommendations will be conducted on an as-needed basis. Type 2 Tree Consavation Plan 4. For each lot for which afforestation is proposed, the afforestation and associated fencing shall be installed prior to the issuance of TCPII - <u>144</u> - <u>05</u> NOTE FOR OFF-SITE WOODLAND CONSERVATION the building permit for that lot. A certification prepared by a qualified professional may be used to provide verification that the Approved by afforestation has been completed. It must include, at a minimum, photos of the afforestation areas and the associated fencing for 58. Prior to the issuance of the first permit for the development shown on this TCP2, all off site woodland conservation required by this 9-25-06 each lot with labels on the photos identifying the locations and a plan showing the location where the photos were taken. th equal spread plan shall be identified on an approved TCP2 plan and recorded as an off-site easement in the land records of Prince George's 1-20-11 County, Proof of recordation of the off-site conservation shall be provided to the M-NCPPC, Planning Department prior to issuance Seedling planting is to occur from November through May only. No planting shall be done while ground is frozen. Planting with pread or greater; and over 50° height with less spread larger caliper stock or containerized stock may be done at any time, subject to a detailed maintenance schedule being provided. of any permit for the associated plan. Maan K. Reiser 2/13/2017 kous - large shade tree (50° and greater ht. with ead equal to or greater than ht; and trees 75' or 26. If planting cannot occur due to site or weather conditions, the developer or property owner shall install the fencing and signage in NOTES ON RETAINED TREES AND WOODLAND accordance with the approved Type 2 Tree Conservation Plan, Planting shall then be accomplished during the next planting PERMANENT TREE PROTECTION FENCE vergreen • columnar tree (less than 30' height with season. If planting is delayed beyond the transfer of the property little to the homeowner, the developer or builder shall obtain a read less than 15" 59. If the original developer or builder no longer has an interest in the property and the current owner desires to remove a hazardous signed statement from the purchaser indicating that they understand that the reforestation area is located on their properly and that SPLIT RAIL WOOD FENCE DETAIL tree or portion thereof, the owner shall obtain a written statement from a Certified Arborist or Licensed Tree Expert identifying the egreen • small tree (30-40° halght with spread of 25 reforestation will occur during the next planting season. A copy of that document shall be presented to the county inspector. hazardous condition and the proposed corrective measures prior to having the work conducted. After proper documentation has SCALE: n.t.s. been completed per the handout "Guldance for Prince George's County Property Owners, Preservation of Woodland Conservation Reforestation areas shall not be mowed. The management of competing vegetation around individual trees and the removal of Areas", the amount or tree expert may then remove the tree. The stump shall be cut as close to the ground as possible and left in noxious, invasive, and non-native vegetation within the reforestation areas is acceptable. place. The removal or grinding of the stumps in the woodland conservation area is not permitted. vergreen - large tree (50° height or greater with spread All required temporary tree protection fencing shall be installed prior to the clearing and grading of the site and shall remain in place <u>fover 30')</u> OVAL NUMBER OF TREES 60. If a tree or portions thereof are in imminent danger of stifking a structure, parking area, or other high use area and may result in PROPERTY OWNERS AWARENESS CERTIFICATE until the permanent tree protection fencing is installed with the required planting. The temporary fencing is not required to be SAMPLE AFFORESTATION / REFORESTATION RANDOM PLANTING PATTERN personal injury or property damage then the certification is not required and the owner shall take corrective action immediately. The Manually enter information/figures into shaded areas installed if the permanent fencing is installed prior to clearing and grading of the site. Failure to Install and maintain temporary or condition of the area shall be fully documented through photographs prior to corrective action being taken. The photos shall be permanent tree protective fencing is a violation of this TCP2. submitted to the inspector for documentation of the damage. 29. Alforestation/reforestation areas shall be posted with notification signage, as shown on the plans, at the same time as the 61. Tree work to be completed within a road right-of-way requires a permit from the Maryland Department of Natural Resources unless permanent protection fencing installation. These signs shall remain in perpetuity. the tree removal is shown within the approved limits of disturbance on a TCP2. The work is required to be conducted by a hereby acknowledge 30. The county inspector shall be notified prior to soil preparation or initiation of any tree planting on this site. that we are aware of this Type 2 Tree Conservation Plan (TCP2) and 1. Existing Woodlands - 6.35 Ac. that we understand the requirements as set forth in this TCP2 62. The removal of noxious, invasive, and non-native plant species from any woodland preservation area shall be done with the use of 2. Proposed Classing - 2.69 Ac. 31. At time of issuance of the first permit, the following information shall be submitted to the M-NCPPC Planning Department regarding hand-held equipment only (pruners or a chain saw). These plants may be cut near the ground and material less than two inches the contractor responsible for implementation of this plan; contractor name; business name (if different); address; and phone 4. Proposed Preservation - 3.18 Ac. diameter may be removed from the area and disposed of appropriately. All material from these noxious, invasive, and non-native number. Results of annual survival checks for each of the required four years after tree planting shall be reported to the M-NCPPC, plants greater than two (2) Inches cliameter shall be cut to allow contact with the ground, thus encouraging decomposition. Planning Department. Owner or owners representative 63. The use of broadcast spraying of herbicides is not permitted. However, the use of herbicides to discourage re-sprouting of Failure to establish the afforestation or reforestation within the prescribed time frame will result in the forfeiture of the reforestation Invesive, noxious, or non-native plants is permitted if done as an application of the chemical directly to the cut stump immediately bond and/or a violation of this plan including the associated \$9.00 per square foot penalty unless the county inspector approves a following cutting of plant tops. The use of any herbicide shall be done in accordance with the label instructions. 64. The use of chainsaws is extremely dangerous and should not be conducted with poorly maintained equipment, without safety NOTES ON PROTECTION OF REFORESTATION AND AFFORESTATION AREAS BY OWNERS القيما فيا مصابح في مصابي وأكل علم الجالم التاسي QUALIFIED PROFESSIONAL CERTIFICATION equipment, or by individuals not trained in the use of this equipment for the pruning and/or cutting of trees. Reforestation fencing and signage shall remain in place in accordance with the approved Type 2 Tree Conservation Plan. This plan complies with the current requirements of Subtitle 25 and the Woodland and Wildlife Conservation Technical Manual Reforestation areas shall not be mowed; however, the management of competing vegetation and removal of noxious, invasive, and non-native vegetation around individual trees is acceptable. MITCHELLVILLE, MARYLAND 2072 BEN DYER ASSOCIATES, INC. Licensed Forester #15 OWNER / APPLICANT: DATE **TELEPHONE (301) 430-2000** JM Forestry Services, LLC "MISS UTILITY" 11552 Timberbrook Drive K & P BUILDERS COPYRIGHT © 2017 BEN DYER ASSOCIATES, INC. SHEET 3 of 3 Waldow, Maryland 20601 FOR LOCATION OF UTILITIES CALL 13627 ANNAPOLIS ROAD Revised to provide 0.02 ac. Fee-in-lieu (304) 645-4977 11/15/17 1-800-257-7777 48 HOURS IN ADVANCE arkovich@comcast.net Mike Petrakis **BOWE, MD 20720** DESCRIPTION DATE 1" = 50' Qualified Professional OF ANY WORK IN THIS VICINITY. 54.003-301-262-7227 COMAR 08.19.06.01 REVISIONS NOVEMBER 2017 L:\C3D-PROJ\B15010-C3D\DWG\TCP2-1-3,dwg, 11/15/2017 1:31:57 PM nicpgg The state of the s