

JM Forestry Services, LLC
 11552 Timberbrook Drive
 Waldorf, MD 20601
 Phone/FAX: (301) 645-4977

APPLICANT / OWNER
 World Worship Church, Inc.
 13910 Laurel Bowie Road
 Laurel, MD 20709
 Phone:

Type 2 Tree Conservation Plan
Woodland Conservation Bank

Snow Hill Manor
Parcel "A", Block "F",
Section "I"
 10th ELECTION DISTRICT
 PRINCE GEORGE'S COUNTY, MARYLAND

REVISIONS

1 - 2/23/05 add side entrance
2 - Not legible
3 - 6/30/05 Environmental comments
4 - Not legible
5 - Revise LOD & WPA

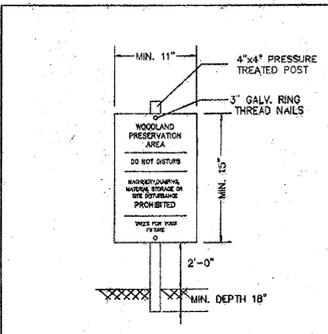
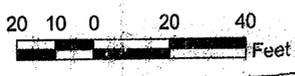
M-NCPPC
 Prince George's County Planning Department
 Environmental Planning Section
APPROVAL
TREE CONSERVATION PLAN
 TCP2- 146 - 00

Approved by	Date
John P. Markovich	3/2/1991
01 Revision	Lois Shirley 7/1/2005
02 Revision	
03 Revision	
04 Revision	
05 Revision	

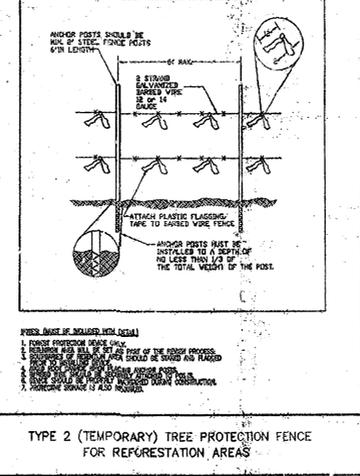
DWN Checked JPM JPM
 Scale **1" = 20'**
 Project No. **12-043**
 Sheet No. **1 of 1**

- Included Type 2 Tree Conservation Plan Data**
- This plan is submitted to fulfill the woodland conservation requirements of the Planning Director or designer shall be subject to a \$1.50 per square foot in litigation fee.
 - Existing or existing woodlands are in accordance with this plan or without the expressed written consent of the Planning Director or designer shall be subject to a \$1.50 per square foot in litigation fee.
 - A pre-construction meeting is required prior to the start of any work. The Department of Public Works and Transportation or its representative, as appropriate, shall be contacted prior to the start of any work on the site to conduct a pre-construction meeting. The Department of Public Works and Transportation shall be notified of the meeting and a copy of the meeting minutes shall be submitted to the Department of Public Works and Transportation.
 - The developer or holder of the lot or parcel shown on this plan shall notify the holder of any woodland preservation areas through the provision of a copy of this plan at time of conveyance. Future property owners are also subject to this requirement.
 - The owner of the property subject to this tree conservation plan is solely responsible for compliance with the requirements herein.
 - The property is within the Developing Tier and is zoned R-2.
 - The site is not adjacent to a creek or stream, historic site, or a scenic highway.
 - The site is not adjacent to a roadway classified as arterial or greater.
 - This plan is governed by the provisions of the responsibility of the property owner. The woodland area shall remain in a natural state. This includes the owner shall not remove any trees or vegetation from the woodland area. The owner shall not clear the woodland area for any purpose other than that specified in this plan. The owner shall not clear the woodland area for any purpose other than that specified in this plan. The owner shall not clear the woodland area for any purpose other than that specified in this plan.
 - The location of all temporary tree protection fencing (TPF) shown on the plan shall be flagged or marked in the field prior to the pre-construction meeting. Upon approval of the location by the county inspector, verification of the TPF area begins.
 - All temporary tree protection fencing required by this plan shall be installed prior to commencement of any grading of the site and shall remain in place until the final release of the project. Failure to install and maintain temporary or permanent tree protection fencing is a violation of this TCP.
 - Woodland preservation areas shall be posted with signage as shown on the plan at the time of the temporary TPF installation. These signs shall remain in place permanently.
 - All required tree protection signs shall be made to the Woodland Conservation Fund. Proof of payment shall be provided prior to the start of any work on the site. The signs shall be placed at the entrance to the woodland area and at the entrance to the project area. The signs shall be placed at the entrance to the woodland area and at the entrance to the project area. The signs shall be placed at the entrance to the woodland area and at the entrance to the project area.
 - If the developer or holder of the lot or parcel shown on this plan shall notify the holder of any woodland preservation areas through the provision of a copy of this plan at time of conveyance. Future property owners are also subject to this requirement. The owner shall not clear the woodland area for any purpose other than that specified in this plan. The owner shall not clear the woodland area for any purpose other than that specified in this plan. The owner shall not clear the woodland area for any purpose other than that specified in this plan.
 - If a tree or portion thereof is in a permanent danger of falling a structure, parking area, or other high use area and any risk in personal injury or property damage then the certification is not required and the permit shall be issued as soon as possible. The violation of the tree shall be fully compensated through appropriate prior to construction being begun. The permit shall be submitted to the inspector for documentation of the violation.
 - The report of medical, animal, and non-native plant species from any woodland preservation area shall be done with the use of hand held equipment only (sprayer or equivalent). These plants may be used for ground and control but they shall not be removed from the area and disposed of appropriately. All plants from these sources, invasive, non-native plants greater than (2) inches diameter shall be sent to either contact with the ground, this including distribution.
 - The use of herbicide is prohibited in any woodland preservation area. However, the use of herbicide to remove a tree or portion thereof is permitted if done as an emergency measure to prevent the tree from falling on a structure, parking area, or other high use area. The use of herbicide shall be done in accordance with the label instructions. The use of any herbicide shall be done in accordance with the label instructions. The use of herbicide is prohibited in any woodland preservation area. However, the use of herbicide to remove a tree or portion thereof is permitted if done as an emergency measure to prevent the tree from falling on a structure, parking area, or other high use area. The use of herbicide shall be done in accordance with the label instructions. The use of any herbicide shall be done in accordance with the label instructions.
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Laurel Bowie Road
 State Route #197



- NOTES:**
- ATTACHMENT OF SIGNS TO TREES IS PROHIBITED.
 - SIGNS SHOULD BE PROMINENTLY MAINTAINED.
 - AVOID INJURY TO ROOTS WHEN PLACING POSTS FOR THE SIGNS.
 - SIGNS SHOULD BE POSTED TO BE VISIBLE TO ALL CONSTRUCTION PERSONNEL FROM ALL DIRECTIONS.
 - SIGNS SHOULD BE INSTALLED AT SAME TIME AS TREE PROTECTION DEVICE.
 - LOCATE SIGNS APPROXIMATELY EVERY 50 FEET ALONG FENCING.
 - SIGNS SHOULD BE IN PLACE IMMEDIATELY FOLLOWING STAKE OUT OF LOD, AND REMAIN IN PLACE IN PERPETUITY.



- Legend**
- Utility Poles
 - Signs
 - TPF (Tree Protection Fence)
 - LOD Existing Limit of Disturbance
 - Treeline Per TCP2-140-00-01
 - Property Boundary
 - Easements
 - Gravel Parking Area
 - Topographic Contours 1-foot
 - Existing Fence
 - 100-Year Floodplain
 - Sewer
 - Streams
 - WPA (Woodland Preservation Area)

This TCP2 revision represents existing woodland conditions with respect to the LOD reflected on the plan. No additional clearing is proposed by this plan.

TPF (Tree Protection Fencing) will not need to be installed unless additional disturbances are proposed in the vicinity of the Woodland Preservation Area (WPA)

OWNERS CERTIFICATION

We, **World Worship Church, Inc.** hereby acknowledge that we are aware of this Type 2 Tree Conservation Plan (TCP2) and that I understand the requirements as set forth on this TCP2.

Owner / Owners Representative: *[Signature]* Date: **12-26-12**

QUALIFIED PROFESSIONAL CERTIFICATION

This complies with the current requirements of Subtitle 25 and the Environmental Technical Manual.

Signed: *[Signature]* Date: **12/18/12**
 John P. Markovich
 JM Forestry Services, LLC
 11552 Timberbrook Drive
 Waldorf, MD 20601
 Phone: 301-645-4977
 E-mail: jpmarkovich@comcast.net

STATE OF MARYLAND
 LICENSED FORESTER
 JOHN P. MARKOVICH
 NO. 165
 BOARD OF FORESTERS

Standard Woodland Conservation Worksheet for Prince George's County

Section 1 - Establishing Site Information (Enter acres for each zone)	
Site Area	1.40
Grass Tract	0.00
Woodland	0.00
Pre-wildfire Disturbed Land	0.00
Net Tract @ 7/12	0.00

TCP2-140-01	Worksheet #	52
Property Description or Subdivision Name		World Worship Church
Is this site subject to the 1995 Ordinance (Yes/No)		No
Is this one (1) single family lot? (Yes/No)		No
Are there prior TCP approvals which include a conservation plan? (Yes/No)		No
Is any portion of this property in a WCA? (Break-down Field (percentage) * Clearing permitted w/o replacement)		0.12 acres

Section 2 - Calculating Requirements (Enter acres for each corresponding column)				
Existing Woodland	0.00	0.00	0.00	0.00
Woodland Conservation Threshold (WCT) = Woodland of 13 or 14	20.00%	0.00	0.00	0.00
Woodland above WCT	0.00	0.00	0.00	0.00
Woodland cleared	0.00	0.00	0.00	0.00
Woodland cleared above WCT (smaller of 16 or 17)	0.00	0.00	0.00	0.00
Clearing above WCT (21 replacement requirement)	0.00	0.00	0.00	0.00
Clearing below WCT (21 replacement requirement)	11.00%	0.00	0.00	0.00
Clearing below WCT (21 replacement requirement) - Off-site WCA being provided on this property	0.00	0.00	0.00	0.00
Woodland Conservation Required	0.00	0.00	0.00	0.00

Section 3 - Meeting the Requirements				
Woodland Preservation	0.12	0.00	0.00	0.00
Natural Regeneration	0.00	0.00	0.00	0.00
Openland/Grassland/Tree Credit (CRZ area * 2.0)	0.00	0.00	0.00	0.00
Forest Enhancement Credit (Area * 25)	0.00	0.00	0.00	0.00
Area approved for use as WCA	0.00	0.00	0.00	0.00
Area approved for use as WCA (Area approved for use as WCA)	0.00	0.00	0.00	0.00
Credits for C&S-able Conservation on another property	0.00	0.00	0.00	0.00
Off-site WCA (Requirements being provided on this property)	0.00	0.00	0.00	0.00
Off-site WCA (Requirements being provided on this property)	0.00	0.00	0.00	0.00
Total Woodland Conservation Provided	0.12	0.00	0.00	0.00

Area of woodland not cleared: 0.12 acres
 Not cleared woodland is not part of requirements: 0.00 acres
 100% woodland conservation provided: 0.12 acres
 On-site woodland conservation provided: 0.12 acres
 On-site woodland retained and not cleared: 0.00 acres

TCP2-140-01-01 Revised 0.16 acres of Woodland Clearing, an additional 0.22 is reflected by this 02 revision

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