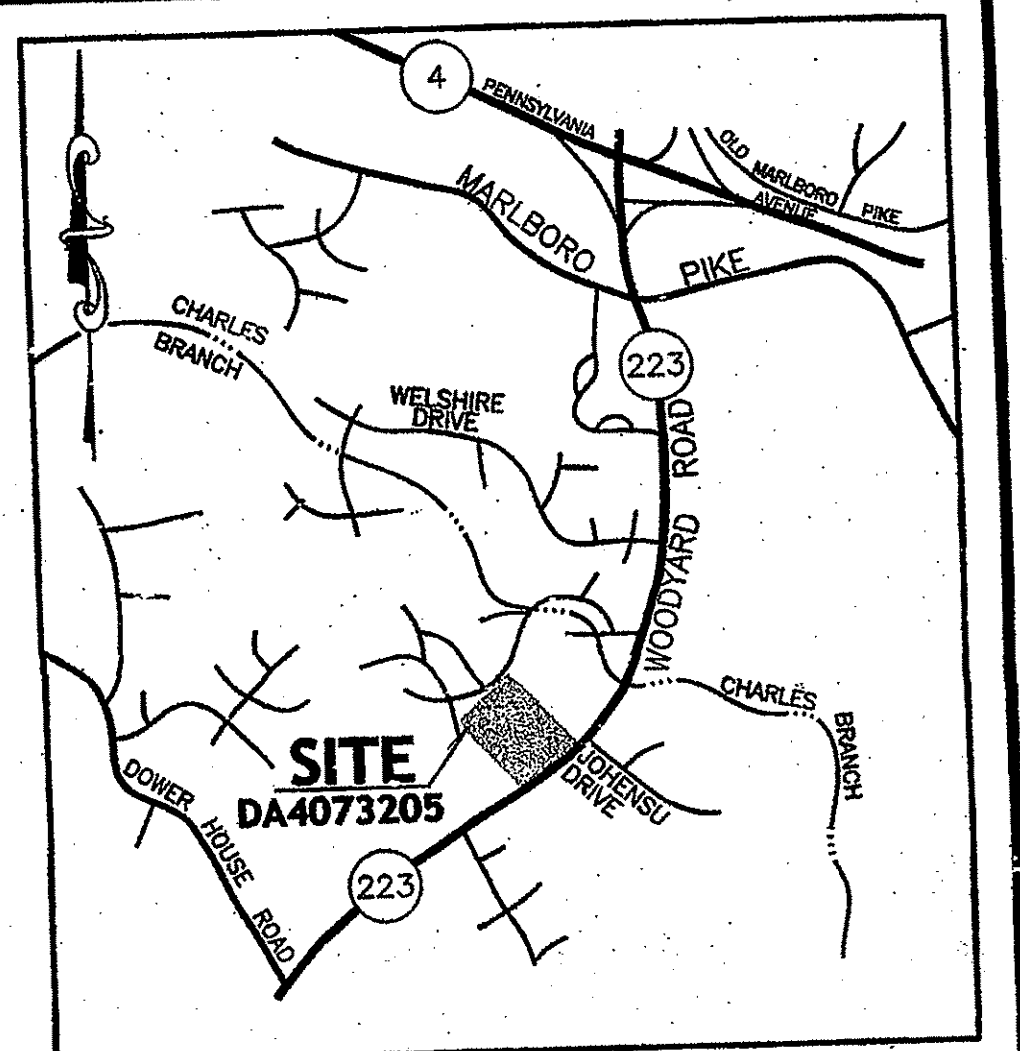


# ISABELLE'S ESTATES LANDSCAPE AND TCP II PLAN COVER SHEET

- LEGEND**
- ORNAMENTAL STREET TREE
  - STREET TREE
  - SHADE TREE
  - EVERGREEN TREE
  - ORNAMENTAL
  - SHRUB
  - EVERGREEN SHRUB
  - DAILY
  - STREET LIGHT



## VICINITY MAP

SCALE: 1" = 2000'  
200' SHEET 209 SE 09  
32nd ED. PRINCE GEORGE'S COUNTY STREET  
ADC MAP PAGE 26, GRID A-6

- WOODLAND PRESERVATION AREAS
- REFORESTATION AREAS
- EXISTING WOODED AREA

TREE PRESERVATION  
AREA = 0.51 AC.

## GENERAL NOTES

- TOPOGRAPHY FIELD SHOT: NOVEMBER, 2001.
- BY IPDS, TOPOGRAPHY CROSS-SECTIONS OF THE SITE AND WOODED ROAD COMPLETED BY THE TECH GROUP, INC. DATED JULY 2005.
- ZONING: R-R
- TAX MAP: 100, GRID A-4
- LIBER/FOLIO: 07341/377
- ELECTION DISTRICT: 15
- P. & C. CO. STREET MAP: PAGE 26, GRID A-6
- WS80 GRID: 209589
- TOTAL SITE AREA = 498,213 SF OR 11.4374 AC.
- TOTAL FLOODPLAIN AREA = 0.0 AC.
- TOTAL WETLAND AREA = 0.0 AC.
- MINIMUM LOT AREA: 20,000 SF
- PROPOSED USE: SINGLE FAMILY DETACHED
- PROPOSED NUMBER OF LOTS: 1 THRU, 20
- EXISTING W.S.C. WATER AND SEWER CATEGORIES: W-4 AND S-4
- SOIL CLASSIFICATION: B
- SUBJECT PROPERTY IS IN FLOOD PLAIN INSURANCE RATE MAP COMMUNITY PANEL # 245208060C
- SET BACK:  
FRONT: 25'  
SIDE: 17' 6"  
REAR: 20'
- ALLOWABLE LOT DENSITY = 2.18  
PROPOSED LOT DENSITY = 2.12
- STORMWATER MANAGEMENT CONCEPT APPROVAL # 3147-2001-00 JULY 13, 2005  
EXPIRATION DATE: JULY 13, 2007
- SUBDIVISION IS BASED ON MINIMUM LOT SIZE.
- THERE ARE NO CEMETERIES IN THIS SUBDIVISION.
- ULTIMATE RIGHT OF WAY ALONG MD 223 ALREADY DEDICATED BY PB 158 PN 86.
- NO LOTS SHALL HAVE DIRECT ACCESS TO MD 223.
- DOMESTIC TRASH AND DEBRIS WILL BE REMOVED AND PROPERLY DISCARDED DURING SITE GRADING.
- DEDICATION OF PARK LAND = FEE-IN-LIEU
- NEAREST POLICE STATION: CLINTON DISTRICT 5- 5.8 MILES
- NEAREST FIRE STATION: MARLBORO, CO. 45  
7710 CROOM ROAD-2.51 MILES
- MASTER PLAN SUBREGION VI, PLANNING AREA: 77 & 78
- DISTURBED AREA=506,834 SQ. FT. OR 11.63 ACRES
- PROPOSED USE: SINGLE FAMILY RESIDENCE
- A 5'-0" TO 6'-0" BOARD ON BOARD WOODEN FENCE IS TO BE PROVIDED ALONG THE PROPERTY LINE FRONTING WOODYARD ROAD.
- BOUNDARY VERIFIED BY THE TECH GROUP, INC., JULY 2005.

M-NCPPC APPROVALS			
PROJECT NAME: ISABELLE'S ESTATES			
PROJECT NUMBER: DSP-05109			
For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet. Revisions Listed Below Apply to This Sheet.			
Approval or Revision #	Approval Date	Reviewer's Initials	Certification Date
1	4/27/06	GW	4/27/06

## ZONING INFORMATION

- ZONING: R-R
- NET LOT AREA (MINIMUM): 20,000 SF
- LOT COVERAGE: 25%
- LOT WIDTH / FRONTAGE:  
AT FRONT BUILDING LINE: 60'  
AT FRONT STREET LINE: 70'
- DE-SAC: 60'
- MINIMUM SETBACK REQUIREMENTS:  
FRONT: 25'  
REAR: 20'
- TOTAL AREA OF SITE: 11.43 AC.

## DEED INFORMATION

GRANTOR: WFC ENTERPRISE, LLC  
GRANTEE: RAY-SUN, INC.  
DATE OF CONVEYANCE: 10/22/2004  
DEED REFERENCE: L2004-1100

## BENCHMARK INFORMATION

B.M. #	ELEVATION & STATION
"A"	ELEVATION: 183.85 8" SPIKE IN POWER POLE, LOCATED ACROSS FROM LOT 4 ON THE OTHER SIDE OF WOODYARD RD.
"B"	ELEVATION: 191.62 8" SPIKE IN POWER POLE, ON WOODYARD RD, IN FRONT OF EX TOBACCO BARN.
"C"	ELEVATION: 199.91 8" SPIKE IN POWER POLE LOCATED APPROX. 185' SOUTH OF BENCHMARK "B" ON WOODYARD RD.

## SHEET INDEX

- LANDSCAPE AND TCP II PLAN COVER SHEET
- LANDSCAPE AND TCP TYPE II PLAN
- LANDSCAPE DETAILS AND NOTES
- TCP TYPE II - DETAILS AND NOTES

## M-NCPPC

Prince George's County Planning Department  
Environmental Planning Section

## APPROVAL

TREE CONSERVATION PLAN

TCP II /148/91-01

APPROVED BY: [Signature] DATE: 4/27/06

01 [Signature] 4/27/06

02 [Signature] 4/27/06

03 [Signature] 4/27/06

04 [Signature] 4/27/06

05 [Signature] 4/27/06

## UTILITY CERTIFICATION

I HEREBY CERTIFY THAT THE EXISTING AND/OR PROPOSED UNDERGROUND UTILITY INFORMATION SHOWN HEREON HAS BEEN CORRECTLY OBTAINED FROM UTILITY COMPANY RECORDS. FURTHER, THAT THIS PROJECT HAS BEEN CAREFULLY COORDINATED WITH EACH UTILITY COMPANY, AND ALL AVAILABLE UNDERGROUND UTILITY INFORMATION RELATIVE TO THIS PLACE HAS BEEN OBTAINED FROM THEM.

ROBERT C. BOYD  
REGISTERED LANDSCAPE ARCHITECT  
MARYLAND NO. 957

4/26/06 DATE

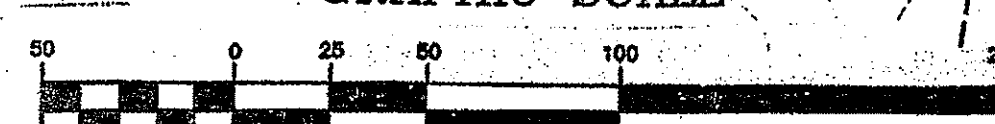
## DRAINAGE AND GRADING CERTIFICATE

I CERTIFY THAT I HAVE INSPECTED THIS SITE AND THAT DRAINAGE ONTO THIS SITE FROM OTHER UPGRADE PROPERTIES, AND FROM THIS SITE INTO OTHER DRAINAGE PROPERTIES HAS BEEN ADDRESSED IN SUBSTANTIAL ACCORDANCE WITH APPLICABLE CODES. I HEREBY CERTIFY THAT THE GRADING SHOWN ON THIS PLAN CONFORMS WITH SUBTITLE FOUR (4), DIVISION THREE (3) OF THE PRINCE GEORGE'S COUNTY CODE.

ROBERT C. BOYD  
REGISTERED LANDSCAPE ARCHITECT  
MARYLAND NO. 957

4/26/06 DATE

## GRAPHIC SCALE



## LEGEND

- BOUNDARY
- RIGHT-OF-WAY
- LOTS
- BR
- PUE
- EASEMENTS
- EX. 2" CONTOUR
- EX. 10' CONTOUR
- PROP. 2" CONTOUR
- PROP. 10' CONTOUR
- PROP. LIMIT OF DISTURBANCE
- PROP. STORM DRAIN
- SOILS
- PROP. PAVING
- 15% SLOPES
- EX. 1" W
- EX. 6" S
- EX. SP
- EX. TREE LINE
- PROP. TREE LINE
- UNMITIGATED NOISE CONTOUR - 65 dBA GROUND
- UNMITIGATED NOISE CONTOUR - 65 dBA UPPER
- MITIGATED NOISE CONTOUR
- CONCEPTUAL LOD
- EX. STRUCTURES
- EX. ROAD
- CENTURINE
- EX. SEWER
- TREE PRESERVATION
- 25% SLOPES

## CALL "MISS UTILITY"

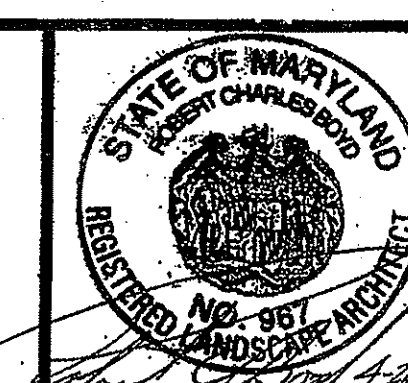
TELEPHONE: 1-800-257-7777 FOR UTILITY LOCATIONS AT LEAST 48 HOURS BEFORE BEGINNING CONSTRUCTION.

## REVISIONS

DESIGNED	IG	07/05	DATE	DATE	BY	DESCRIPTIONS	DATE	BY	DESCRIPTIONS
DRAWN	FA	07/05	DATE	04/06	TTC	UPDATED PER M-NCPPC COMMENTS DATED 2-17-06			
CHECKED	KLM	07/05	DATE						
APPROVED	JKK	07/05	DATE						

THE TECH GROUP, INC.  
ENGINEERS/PLANNERS/SURVEYORS  
REGISTERED LANDSCAPE ARCHITECTS  
MATERIALS CONSULTANTS/FACILITIES

1111 Benfield Blvd.  
Suite 100  
Millersville, Maryland 21108  
Ph. (410) 987-3450  
Fax (410) 987-3457



## OWNER/DEVELOPER

WFC ENTERPRISE, LLC  
2200 DENSE HIGHWAY  
SUITE 101  
CROFTON, MD 21114  
PHONE: (301) 261-6700

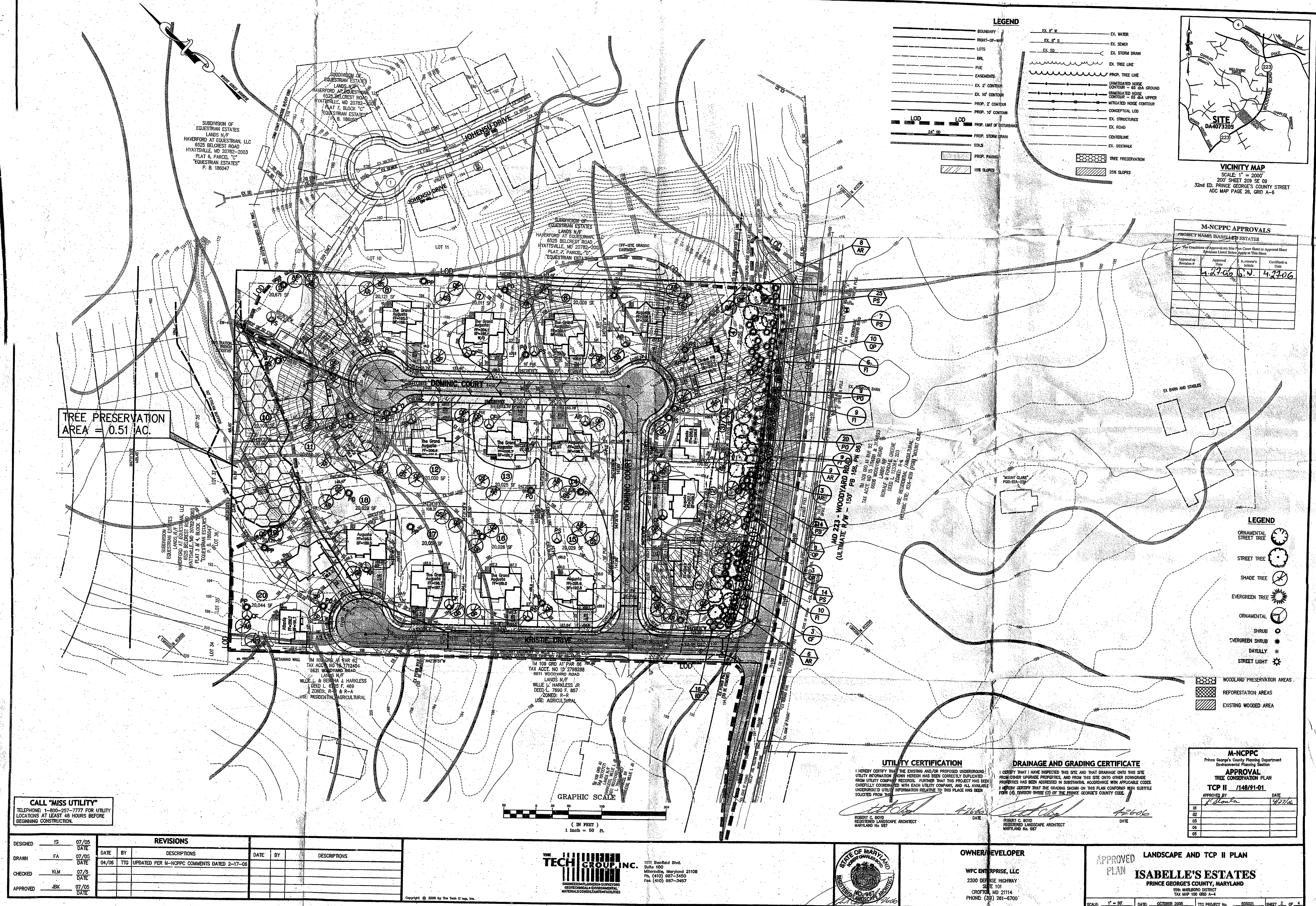
APPROVED  
PLAN

## LANDSCAPE AND TCP II PLAN COVER SHEET

ISABELLE'S ESTATES  
PRINCE GEORGE'S COUNTY, MARYLAND

15th MARLBORO DISTRICT  
TAX MAP 100 GRID A-4

SCALE: 1" = 50' DATE: OCTOBER 2005 TIG PROJECT NO.: 505021 SHEET 1 OF 4



# PLANTING PLAN NOTES

- GENERAL NOTES:
  - SCOPE: THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES OF PLANT MATERIAL SHOWN ON THE PLAN IN THE PLANT LIST, AND SHALL PROVIDE ALL MATERIALS, LABOR AND EQUIPMENT TO COMPLETE ALL LANDSCAPE WORK AS SHOWN ON THE PLANS AND SPECIFICATIONS.
  - UTILITIES: THE LANDSCAPE CONTRACTOR SHALL NOTIFY MISS UTILITY (1-800-257-7777) TO VERIFY THE LOCATION OF ALL MAIN UTILITIES AND SHALL ASK THE GENERAL CONTRACTOR TO LOCATE LIGHTING AND OTHER ON-SITE UTILITIES IN THE FIELD BEFORE PROCEEDING WITH THE INSTALLATION OF ANY PLANTING. IF CONDITIONS ARISE IN THE FIELD WHICH NECESSITATES THE SHIFTING OF A PLANT LOCATION MORE THAN 15', THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED PRIOR TO INSTALLATION.
  - SUBSTITUTIONS: ANY CHANGE IN THE TYPE, SIZE AND QUANTITY OF PLANT MATERIAL BY THE LANDSCAPE CONTRACTOR MUST BE APPROVED BY THE LANDSCAPE ARCHITECT AND THE M-NCPPC URBAN DESIGN SECTION PRIOR TO INSTALLATION.
  - STANDARDS: ALL PLANT MATERIAL MUST BE NURSERY GROWN AND MEET ALL OF THE QUALITATIVE CRITERIA ESTABLISHED BY THE CURRENT ISSUE OF THE AMERICAN STANDARD FOR NURSERY STOCK SPECIFICATIONS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN.
  - DUG MATERIAL: ALL DUG PLANT MATERIAL SHALL HAVE BEEN DUG BEFORE RUD BREAK OR AFTER LEAF MATURATION. ANY PLANT MATERIAL EXHIBITING DROOPING NEW GROWTH WITHIN TWO (2) WEEKS OF BEING PLANTED WILL BE REJECTED AND MUST BE REMOVED FROM THE JOB.
  - POOR BEHAVIOR: NO PLANTS SHALL BE PLANTED IN SITUATIONS THAT SHOW OBVIOUS POOR BEHAVIOR. SUCH SITUATIONS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER, AND IF THEY DEEM NECESSARY, THE PLANTS SHALL BE RELOCATED OR THE CONTRACT SHALL BE ADJUSTED TO ALLOW FOR BEHAVIOR CORRECTION AT A REDUCED COST. THIS NOTE DOES NOT APPLY TO THOSE PLANTS SPECIFIED AS WET CULTURE OR THOSE PLANTS INDICATED FOR WETLAND MITIGATION OR STORMWATER MANAGEMENT FACILITY PLANTINGS AND INDICATED AS SUCH ON THE LANDSCAPE PLAN.
  - SITE PREPARATION: IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO PRESENT "CLEAN" SOIL CONDITIONS TO THE LANDSCAPE CONTRACTOR PRIOR TO ANY LANDSCAPE INSTALLATION. "CLEAN" SOIL SHALL MEAN FREE OF ALL EXISTING WEEDS, PESTICIDES, FERTILIZERS, FUEL, OIL, GREASE, PETROLEUM OR OTHER CHEMICAL SUBSTANCES, BLUE STONE, CONSTRUCTION DEBRIS AND OTHER MATERIALS LARGER THAN 4" IN DIAMETER. THE "CLEAN" SOIL SHALL EXTEND TO THE FOLLOWING MINIMUM DEPTHS: 18" WHERE TREES ARE PROPOSED, 12" WHERE SHRUBS ARE PROPOSED AND 4" WHERE LAWNS ARE PROPOSED. IF THE LANDSCAPE CONTRACTOR DISCOVERS ANY OF THE ABOVE, HE/ SHE MUST REPORT THIS CONDITION TO THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING THE DEBRIS AND RESTORING THE SOIL TO ITS ORIGINAL CONDITION. ANY DAMAGED AREAS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
  - WETLANDS: DURING PLANTING, ALL AREAS SHALL BE KEPT NEAT AND CLEAN, AND ALL REASONABLE PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING PLANTS, TURF AND STRUCTURES. UPON COMPLETION, ALL DEBRIS AND WASTE MATERIAL RESULTING FROM PLANTING OPERATIONS SHALL BE REMOVED FROM THE PROJECT AND THE AREA CLEANED UP. ANY DAMAGED AREAS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
  - WATER: IF AVAILABLE ON-SITE, THE OWNER SHALL SUPPLY WATER AT NO COST. IT WILL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO SUPPLY WATER IF THERE IS NONE ON THE SITE.
- PLANTING PROCEDURES:
  - PLANTING BEDS: WITH THE EXCEPTION OF THOSE TREES SHOWN ON THE PLAN AS INDIVIDUALS, ALL PLANTS ARE TO BE PLANTED INTO PREPARED PLANTING BEDS. THE OUTLINE OF EACH BED SHALL BE SPACED DUE TO BE A SMOOTH, CONTINUOUS SHAPE. THE BEDS SHALL BE 6" DEEP BY PICKING OR OTHER MEANS AND ALL MATERIALS UNDESIRABLE FOR PLANT GROWTH AND ALL ROCKS AND DEBRIS GREATER THAN 4" DIAMETER AREA ARE TO BE REMOVED. TOPSOIL (THAT MEETS THE QUALITATIVE DESCRIPTION OF THE MARYLAND STATE HIGHWAY ADMINISTRATOR'S MATERIALS SPECIFICATION 502.01.02 NATURAL TOPSOIL) SHALL BE APPLIED OVER THE ENTIRE BED AREA IN SUFFICIENT QUANTITY SO THAT THE ELEVATION OF THE PLANTING BED, AFTER LIGHT TAMPING, IS 6" ABOVE THE FINISHED GRADE OF THE AREA ADJACENT TO THE BED. (SEE PREPARED PLANTING BED DETAIL ON PLAN FOR AN ILLUSTRATION).

- TREE PLANTING:
  - PREPARING TREE PIT: THE WALLS OF THE TREE PIT SHALL BE DUG SO THAT THEY ARE VERTICAL AND SMOOTH. THE DIAMETER OF THE PIT SHALL BE A TOTAL OF 24" WIDER THAN THE BALL DIAMETER. CARE SHOULD BE TAKEN TO EXCAVATE THE PIT BELOW A DEPTH THAT ALLOWS 1/3 OF THE BALL TO BE ABOVE THE FINISHED GRADE. IF THE PIT IS DUG TOO DEEP, THEN THE BOTTOM OF THE PIT MUST BE BACKFILLED AND FIRMLY TAMPED TO PREVENT SETTLEMENT.
  - PLACING TREE IN PIT: PLACE THE TREE IN THE PIT EITHER BY LIFTING AND CARRYING THE TREE BY ITS BALL (NEVER LIFT BY BRANCHES OR TRUNK) AND THEN LOWERING IT INTO THE PIT, SET THE TREE STRAIGHT AND IN THE CENTER OF THE PIT WITH THE MOST DESIRABLE SIDE OF THE TREE FACING TOWARD THE PROMINENT VIEW (GENERAL BUILDING, STREET, ETC.).
  - BACKFILLING TREE PIT: BACKFILL THE TREE PIT WITH A MIXTURE OF 2/3 ORIGINAL EXCAVATED MATERIAL AMENDED WITH 1/3 TOPSOIL (AS SPECIFIED IN 1-A ABOVE). THIS STEP WILL HAVE BEEN PARTIALLY COMPLETED IF THE TREE IS PLANTED INTO A PREPARED BED AS DESCRIBED ABOVE. BACKFILL SIDES OF TREE PIT HALFWAY WITH SOIL MIXTURE AND TAMP BEFORE ADDING MORE. BACKFILL, CUT ROPE OR WIRE ON BALL OF TREE AND PULL BURLAP BACK TO THE EDGE OF THE TREE BALL. REMOVE ALL PLASTIC WRAPS AND TAMPING.
  - FINISH BACKFILLING SIDES OF TREE PIT AND TAMP: NEVER COVER TOP OF ROOT BALL WITH SOIL. FORM A SAUCER ABOVE EXISTING GRADE AND AROUND THE OUTER RIM OF THE TREE PIT. MULCH TOP OF ROOT BALL AND SAUCER WITHIN 48 HOURS TO A DEPTH OF 2" TO 3". WATER THOROUGHLY ON THE INTERIOR OF THE TREE SAUCER UNTIL IT IS FILLED EVEN IF IT IS RAINING. A SECOND WATERING MAY BE NECESSARY TO INSURE SATURATION OF THE ROOT BALL. PRUNE OUT ANY DEAD OR BROKEN BRANCHES.
  - TREE BRACING: UNLESS OTHERWISE NOTED ON THE PLAN, ALL TREES MORE THAN 12" IN HEIGHT (GREATER THAN 1 1/2" CAL) ARE TO BE BRACED WITH THREE (3) QUARTER WOOD AND GROUND STAKES SPACED AS EQUALLY AS POSSIBLE IN A CIRCLE. IF POSSIBLE, BRACING SHOULD BE COMPLETED WITHIN 48 HOURS OF PLANTING THE TREE.

- SHRUB PLANTING:
  - PREPARING SHRUB PIT: THE WALLS OF THE SHRUB PIT SHALL BE DUG SO THAT THEY ARE VERTICAL AND SMOOTH. THE DIAMETER OF THE PIT SHALL BE A TOTAL OF 12" WIDER THAN THE BALL DIAMETER. THE DEPTH OF THE PIT SHALL BE AT AN ELEVATION THAT ALLOWS 1/3 OF THE BALL TO BE ABOVE THE FINISHED GRADE. AFTER THE BOTTOM OF THE PIT HAS BEEN FIRMLY TAMPED TO PREVENT SETTLEMENT.
  - PLACING SHRUB IN PIT: PLACE THE SHRUB IN THE PIT EITHER BY LIFTING OR CARRYING THE SHRUB BY ITS BALL (NEVER LIFT BY BRANCHES) AND THEN LOWERING IT INTO THE PIT.
  - BACKFILLING SHRUB PIT: BACKFILL THE SHRUB PIT HALFWAY WITH SOIL MIXTURE AND TAMP BEFORE ADDING MORE. BACKFILL, CUT ROPE OR WIRE ON BALL OF SHRUB AND PULL BURLAP BACK TO EDGE OF THE ROOT BALL. REMOVE ALL PLASTIC WRAPS AND TAMPING.
  - FINISH BACKFILLING SIDES OF PIT AND TAMP: NEVER COVER TOP OF ROOT BALL WITH SOIL. FORM A SAUCER ABOVE EXISTING GRADE AND AROUND THE OUTER RIM OF THE SHRUB PIT. MULCH TOP OF ROOT BALL AND SAUCER WITHIN 48 HOURS TO A DEPTH OF 2" TO 3". WATER THOROUGHLY ON THE INTERIOR OF THE SHRUB SAUCER UNTIL IT IS FILLED EVEN IF IT IS RAINING. A SECOND WATERING MAY BE NECESSARY TO INSURE SATURATION OF ROOT BALL. PRUNE OUT ANY DEAD BRANCHES.

- GROUND COVER PLANTING:
  - GROUND COVER BED: GROUND COVER SHALL BE PLANTED INTO PREPARED AND EDED BEDS AS DESCRIBED IN 1-A ABOVE. MULCH THE ENTIRE GROUND COVER BED TO A DEPTH OF 1" TO 2" PRIOR TO PLANTING THE GROUND COVER PLANTS.
  - PLANTING GROUND COVER: THE GROUND COVER PLANTING HOLES SHALL BE DUG THROUGH THE MULCH AND THE GROUND COVER (EITHER ROOTED OR BARE ROOT) SHALL BE PLANTED SO THAT THE ROOTS OF THE PLANT ARE SURROUNDED BY SOIL BELOW THE MULCH. ROOTED PLANTS SHALL BE SET SO THAT THE TOP OF THE PIT IS EVEN WITH THE EXISTING GRADE. BARE ROOT PLANTS SHALL BE COVERED UP TO THE CROWN OF THE PLANT OR THE SOIL LEVEL.

- PREPARATION OF FLOWER BED:
  - PREPARING BED: FLOWER BEDS SHALL BE PREPARED AND EDED AS DESCRIBED IN 1-A ABOVE. BROADCAST 10-10-10 FERTILIZER AT A RATE OF TEN (10) POUNDS PER 1,000 SQUARE FEET EVENLY OVER THE BED, THEN INCORPORATE INTO THE SOIL.
  - PROCEDURE FOR PLANTING ANNUALS: ANNUALS PITS SHOULD BE DUG THROUGH THE MULCH INTO THE SOIL WITH ONE OF THE FOLLOWING: HAND BROW, SHOVEL, SOIL PLANTER, OR HOE.

- PLANTING OF ANNUALS SHOULD OCCUR ANNUALLY MAY-1ST UNLESS FREEZING WEATHER IS IN THE FORECAST. THE ANNUALS SHOULD BE PLANTED SO THAT THE ROOTS OF THE PLANTS ARE SURROUNDED BY SOIL BELOW THE MULCH.

- MAINTENANCE OF ANNUALS PLANTING: ANNUAL BEDS SHOULD BE WEDED ONCE EVERY TWO WEEKS. WATERING TO BE BY OWNER (UNLESS DIFFERENT ARRANGEMENTS ARE MADE) AND SHOULD OCCUR TWICE PER WEEK DURING DRY WEATHER CONDITIONS. PLANTS SHOULD BE THOROUGHLY SOAKED, PREFERABLY BY A SHOWER-HEAD TYPE HAND-HELD WATERING WAND. SPRAY FOR INSECTS AND DISEASE AS NECESSARY.

- SEEDING AND SOAKING:
  - WATERING: PLANTS SHOULD BE WATERED DURING PLANTING AND PLANTING BEDS ARE TO BE ESTABLISHED WITHIN 48 HOURS OF PLANTING. WATERING SHOULD BE CONTINUED ON SOIL, OR CONSERVATION, DEPENDING ON THE TIME OF YEAR, AVAILABILITY OF MATERIALS AND OWNER'S PREFERENCE.

## RESIDENTIAL PLANT REQUIREMENTS

- LOTS 20,000 SF OR NOT GREATER THAN 40,000 S.F.
- ZONE: RR
- NUMBER OF LOTS: 20
- NUMBER OF TREES REQUIRED PER LOT: 3 SHADE TREES (OR EQUIVALENT)  
2 ORNAMENTAL OR EVERGREEN TREES  
0 SHRUBS

- TOTAL NUMBER OF TREES PROVIDED PER LOT: 3 SHADE TREES  
2 ORNAMENTAL TREES OR EVERGREEN TREE  
0 SHRUBS  
TOTAL PLANTS PROVIDED = 100

## On-Site Residential Plant List

KEY	QUAN	BOTANICAL / COMMON NAME	SIZE	SPACING	ROOT
<b>DECIDUOUS TREES</b>					
AR	15	Acer rubrum 'Spartan' / 'Spartan' Red Maple	2-2 1/2" Cal	As Shown	B&B
OP	25	Quercus phellos / Willow Oak	2-2 1/2" Cal	As Shown	B&B
OS	17	Quercus shumardii / Shumard Oak	2-2 1/2" Cal	As Shown	B&B
<b>EVERGREENS</b>					
PO	13	Picea canadensis / Northern Spruce	4-6'	As Shown	B&B
PP	8	Picea pungens / Colorado Spruce	4-6'	As Shown	B&B
<b>ORNAMENTAL TREES</b>					
AP	5	Acer palmatum / Japanese Maple	6-8' HT	As Shown	B&B
CF	6	Cornus florida / Flowering Dogwood	6-8' HT	As Shown	B&B
PS	8	Prunus serotina / Weeping / Weeping Cherry	6-8' HT	As Shown	B&B
<b>TOTAL</b>	<b>100</b>				

## HISTORICAL ('D') BUFFERYARD PLANTING (SECTION 4.7)

- USE CATEGORY OF PROPOSED (NON-RESIDENTIAL) DEVELOPMENT: ARTERIAL
- IMPACT OF PROPOSED DEVELOPMENT (H, M, OR L): L
- USE CATEGORY OF ADJOINING (NON-RESIDENTIAL) DEVELOPMENT: HISTORICAL
- IMPACT OF ADJOINING DEVELOPMENT (H, M, OR L): L
- MINIMUM REQUIRED BUFFERYARD (A, B, C, OR D): D
- MINIMUM BUILDING SETBACK: 50'
- MINIMUM WIDTH OF LANDSCAPED YARD: 40'
- NEAR FEET OF BUFFER STRIP REQUIRED ALONG PROPERTY LINE AND RIGHT-OF-WAY: 60'
- SIX-FOOT FENCE OR WALL OR FIVE FOOT BERM EMPLOYED IN BUFFERYARD: NO
- TOTAL NUMBER OF PLANT UNITS REQUIRED IN BUFFER STRIP: 488  
(6.1 x 160) - 976 → 976 X 50% reduction per 8' fence = 488
- NUMBER OF SHADE TREES PROVIDED: 42 x 10 P.U. = 420 P.U.  
NUMBER OF EVERGREEN TREES: 88 x 5 P.U. = 440 P.U.  
NUMBER OF ORNAMENTAL TREES: 0 x 5 P.U. = 0 P.U.  
NUMBER OF SHRUBS: 0 x 1 P.U. = 0 P.U.
- TOTAL NUMBER OF PLANT UNITS PROVIDED IN BUFFER STRIP: 860

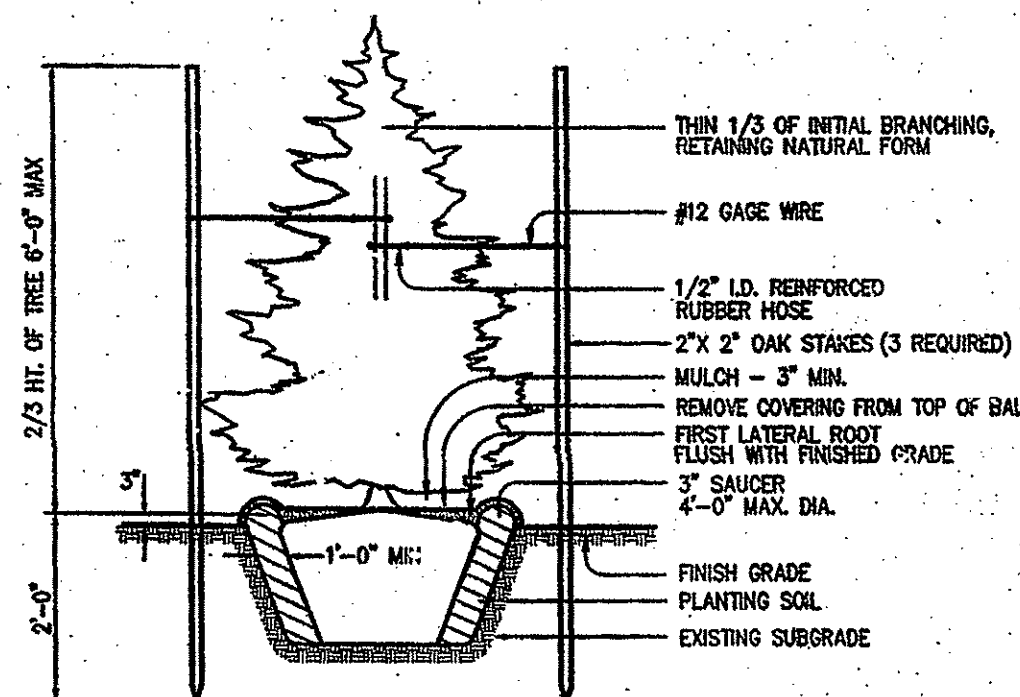
## Historical ('D') Buffer Plant List

KEY	QUAN	BOTANICAL / COMMON NAME	SIZE	SPACING	ROOT	UNITS	TOTAL UNITS
<b>DECIDUOUS TREES</b>							
AR	25	Acer rubrum 'Spartan' / 'Spartan' Red Maple	2-2 1/2" Cal	As Shown	B&B	x 10 P.U. =	250
OP	19	Quercus phellos / Willow Oak	2-2 1/2" Cal	As Shown	B&B	x 10 P.U. =	190
<b>EVERGREENS</b>							
PO	18	Picea canadensis / Northern Spruce	6-8' HT	As Shown	B&B	x 5 P.U. =	90
PP	20	Picea pungens / Colorado Spruce	6-8' HT	As Shown	B&B	x 5 P.U. =	100
PS	8	Prunus serotina / Weeping / Weeping Cherry	6-8' HT	As Shown	B&B	x 5 P.U. =	40
<b>TOTAL PLANT UNITS</b>							<b>488</b>

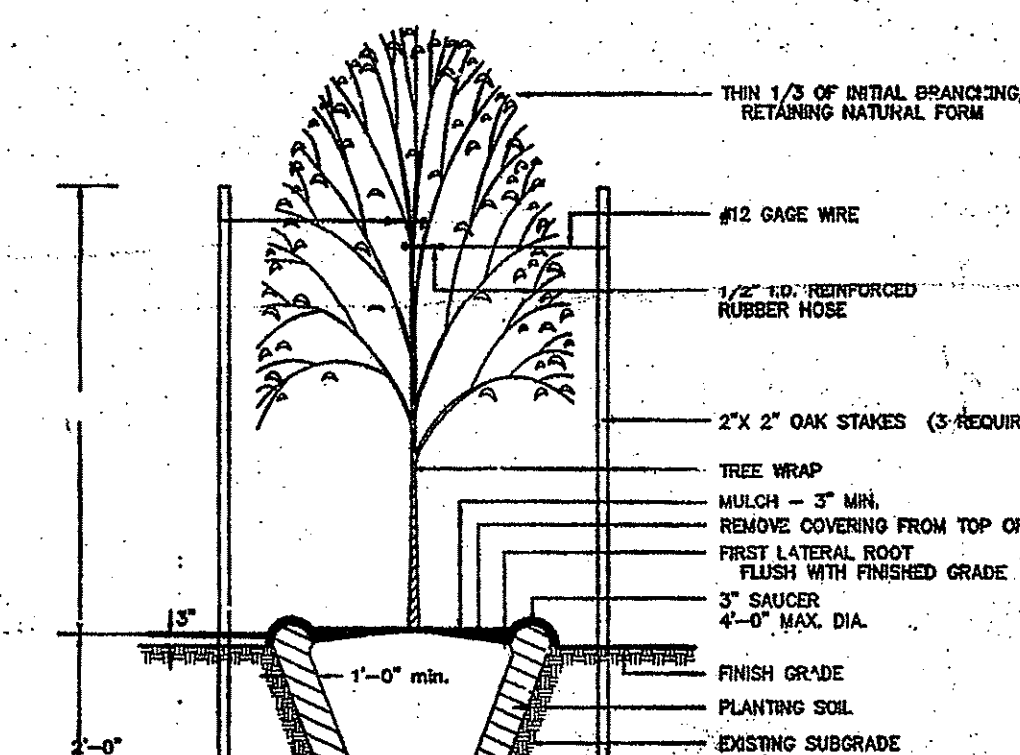
## SUPPLEMENTAL PLANT LIST-WOODYARD ROAD

KEY	QUAN	BOTANICAL / COMMON NAME	SIZE	SPACING	ROOT
<b>DECIDUOUS TREES</b>					
AR	3	Acer rubrum 'Spartan' / 'Spartan' Red Maple	2-2 1/2" Cal	As Shown	B&B
OP	3	Quercus phellos / Willow Oak	2-2 1/2" Cal	As Shown	B&B
<b>EVERGREENS</b>					
PO	9	Picea canadensis / Northern Spruce	4-6'	As Shown	B&B
PP	7	Picea pungens / Colorado Spruce	4-6'	As Shown	B&B
<b>ORNAMENTAL TREES</b>					
CF	3	Cornus florida / Flowering Dogwood	6-8' HT	As Shown	B&B
<b>SHRUBS</b>					
FI	34	Forsythia x intermedia 'Limegold' - 'Limegold' Forsythia	18-24"	As Shown	B&B
<b>TOTAL</b>	<b>25</b>				

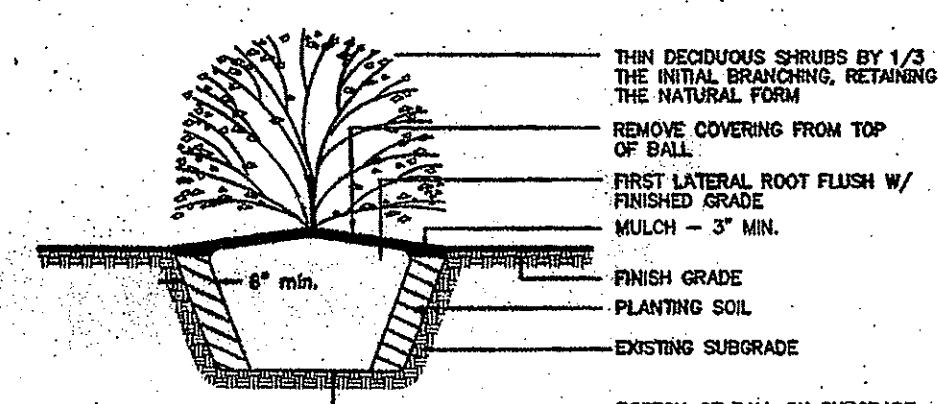
M-NCPPC APPROVALS			
PROJECT NAME: ISABELLE'S ESTATES			
PROJECT NUMBER: DSP-08109			
For Conditions of Approval as per Plan Cover Sheet or Approval Sheet Revisions Listed Below Apply to This Sheet			
Approval or Revision	Approval Date	Reviewer's Initials	Certification Date
4-27-06	6-2-06	4-27-06	



EVERGREEN PLANTING DETAIL



TREE PLANTING DETAIL - LESS THAN 2 1/2" CAL

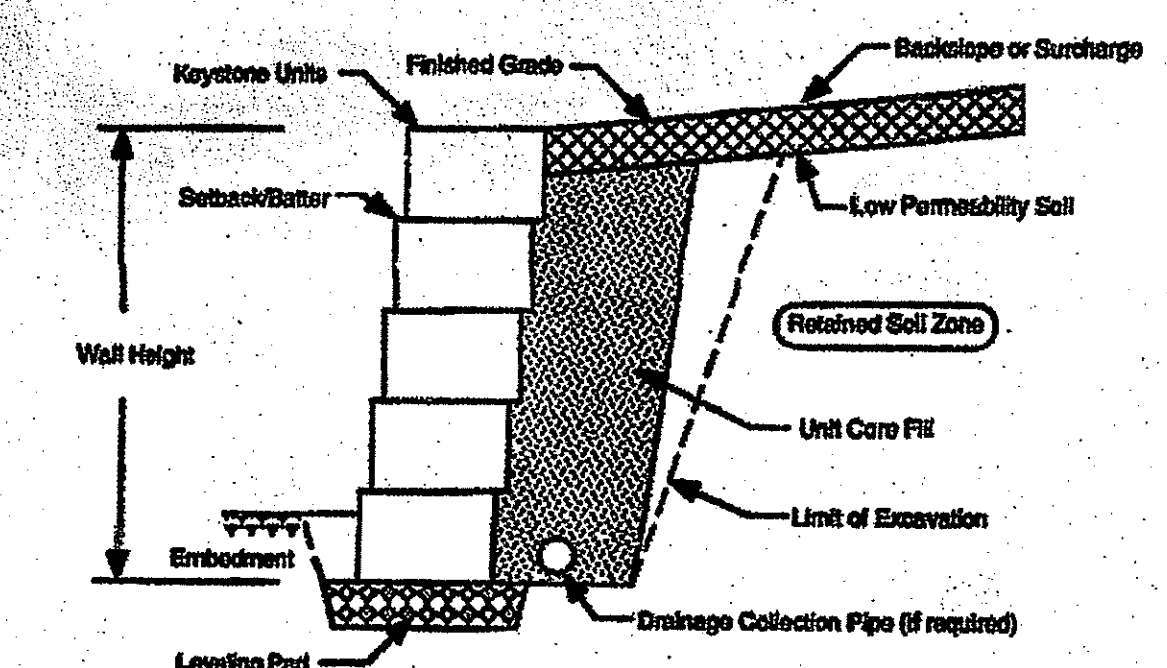


SHRUB PLANTING DETAIL

## BUFFERING RESIDENTIAL DEVELOPMENT FROM STREETS (SECTION 4.6)

- TYPE OF STREET ADJACENT TO REAR YARDS: ARTERIAL
- MINIMUM WIDTH OF REQUIRED BUFFER: 60'
- LINEAR FEET OF STREET FRONTAGE TOWARD WHICH REAR YARDS ARE ORIENTED: 560'
- NUMBER OF PLANTS REQUIRED: SHADE TREES: 34 x 10 P.U. = 340 P.U.  
EVERGREEN TREES: 101 x 5 P.U. = 505 P.U.  
SHRUBS: 224 x 1 P.U. = 224 P.U.  
TOTAL = 1,069 / 2 (see below) = 534 P.U.
- PERCENTAGE OF REQUIRED BUFFER STRIP OCCUPIED BY EXISTING WOODLAND: 0%
- SIX-FOOT FENCE OR WALL OR FIVE FOOT BERM EMPLOYED IN BUFFER STRIP: NO
- NUMBER OF PLANTS PROVIDED: SHADE TREES: 42 x 10 P.U. = 420 P.U.  
EVERGREEN TREES: 88 x 5 P.U. = 440 P.U.  
SHRUBS: N/A  
TOTAL = 860 P.U.

## Keystone Retaining Wall Components



## Keystone Gravity Wall

### NOTES

- Wall Height is the total height from top to bottom.
- Minimum wall embedment is 6" or Height/20.
- Subsurface soils must be capable of supporting wall system.
- Unit core fill is 3/4" clean crushed stone.
- Leveling pad is crushed stone base material.
- All backfill materials are compacted to 95% max. density.
- Finished grade must provide positive drainage.

## CALL "MISS UTILITY"

TELEPHONE: 1-800-257-7777 FOR UTILITY LOCATIONS AT LEAST 48 HOURS BEFORE BEGINNING CONSTRUCTION.

DESIGNED				REVISIONS			
IC	07/05	DATE		DATE	BY	DESCRIPTIONS	
FA	07/05	DATE		04/06	TIG	UPDATED PER M-NCPPC COMMENTS DATED 2-17-06	
KLM	07/05	DATE					
JBK	07/05	DATE					



1111 Benfield Blvd.  
Suite 100  
Millsville, Maryland 21108  
Ph: (410) 987-3450  
Fax: (410) 987-3457



## OWNER/DEVELOPER

WFC ENTERPRISE, LLC  
2200 DEFENSE HIGHWAY  
SUITE 101  
CROFTON MD 21114  
PHONE: (301) 261-6700

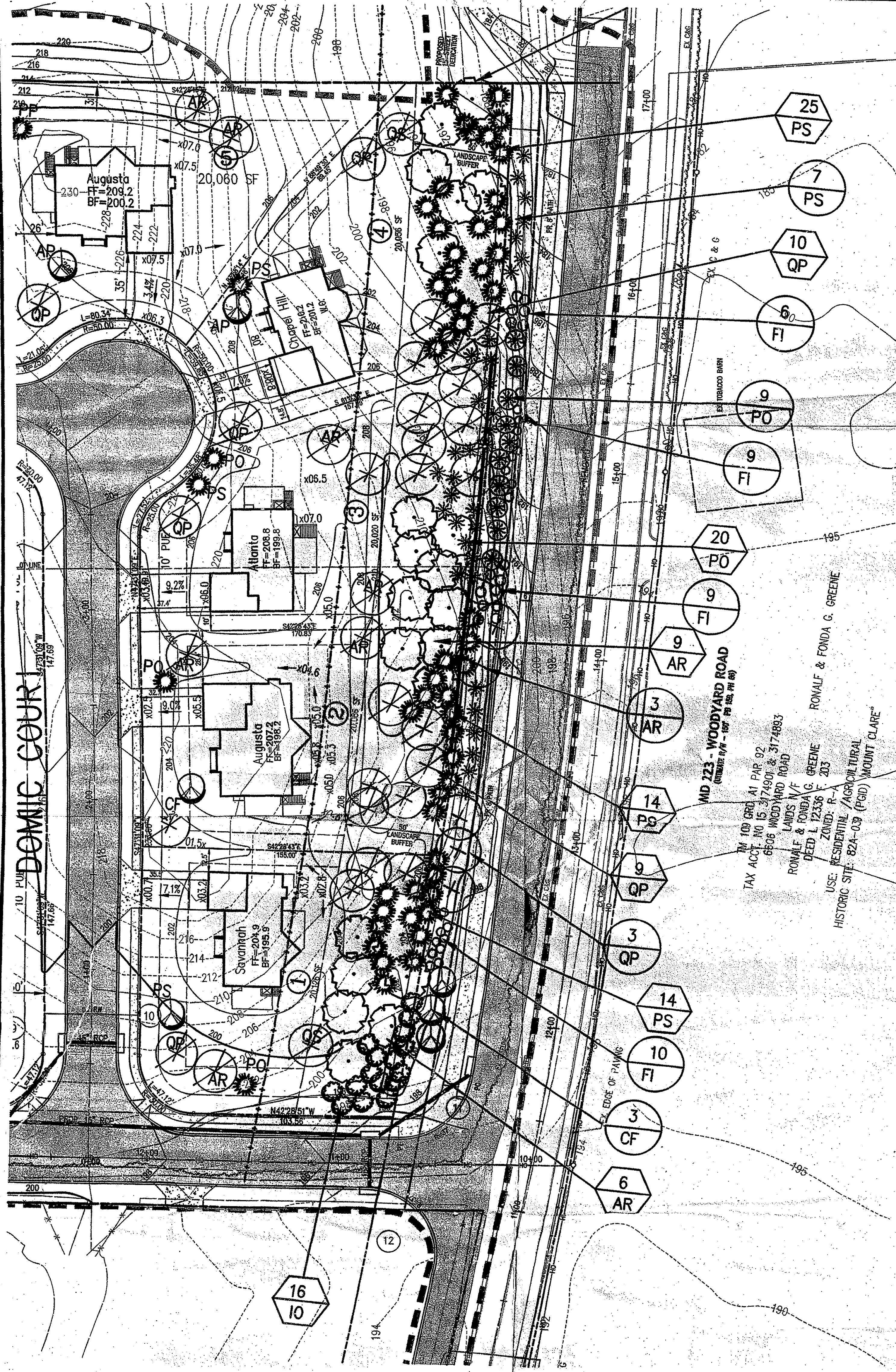
## APPROVED LANDSCAPE DETAILS AND NOTES

## ISABELLE'S ESTATES

PRINCE GEORGE'S COUNTY, MARYLAND

15th MARLBORO DISTRICT  
TAX MAP 100 GRID A-4

SCALE: AS SHOWN DATE: OCTOBER 2005 TIG PROJECT No.: 555021 SHEET 3 OF 4



PLAN VIEW  
SCALE: 1"=30'

**CALL "MISS UTILITY"**  
TELEPHONE: 1-800-257-7777 FOR UTILITY  
LOCATIONS AT LEAST 48 HOURS BEFORE  
BEGINNING CONSTRUCTION.

DESIGNED	IG	07/05
DRAWN	FA	07/05
CHECKED	KLM	07/05
APPROVED	JBK	07/05

REVISIONS		
DATE	BY	DESCRIPTIONS
04/06	TTS	UPDATED PER M-NCPPC COMMENTS DATED 2-17-06

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**THE TECH GROUP, INC.**  
1111 Benfield Blvd.  
Suite 100  
Baltimore, Maryland 21108  
Ph. (410) 967-3450  
Fax (410) 967-3457

## WOODLAND CONSERVATION AREA MANAGEMENT NOTES

**REMOVAL OF HAZARDOUS TREES OR HAZARDOUS LIMBS BY DEVELOPERS OR BUILDERS**  
THE DEVELOPER AND/OR BUILDER IS RESPONSIBLE FOR THE COMPLETE PRESERVATION OF ALL FORESTED AREAS SHOWN ON THE APPROVED PLAN TO REMAIN UNDISTURBED. ONLY TREES OR PLANTS THEREOF DESIGNATED BY THE DEPARTMENT OF ENVIRONMENTAL RESOURCES AS DEAD, DYING, OR HAZARDOUS MAY BE REMOVED.

- A TREE IS CONSIDERED HAZARDOUS IF A CONDITION IS PRESENT WHICH LEADS TO A LICENSED ARBORIST OR A LICENSED TREE EXPERT TO BELIEVE THAT THE TREE OR A PORTION OF THE TREE HAS A POTENTIAL TO FALL AND STRIKE A STRUCTURE, PARKING AREA, OR OTHER HIGH USE AREA AND RESULT IN PERSONAL INJURY OR PROPERTY DAMAGE.
- IF A HAZARDOUS CONDITION MAY BE ALLEVIATED BY CORRECTIVE PRUNING, THE LICENSED ARBORIST OR A LICENSED TREE EXPERT MAY REMOVE WITHOUT FURTHER AUTHORIZATION. THE PRUNING MUST BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE ANSI A-300 PRUNING STANDARDS ("TREE SHRUB AND OTHER WOODY PLANT MAINTENANCE - STANDARD PRACTICES").
- CORRECTIVE MEASURES REQUIRING THE REMOVAL OF THE HAZARDOUS TREE OR PORTIONS THEREOF SHALL REQUIRE AUTHORIZATION BY THE BUILDING OR GRADING INSPECTOR IF THERE IS A VALID GRADING OR BUILDING PERMIT FOR THE SUBJECT LOTS OR PARCELS ON WHICH THE TREES ARE LOCATED. ONLY AFTER APPROVAL OF THE APPROPRIATE INSPECTOR MAY THE TREE BE CUT BY A CHAINSAW TO NEAR THE EXISTING GROUND LEVEL. THE STUMP MAY NOT BE REMOVED OR COVERED WITH SOIL, MULCH OR OTHER MATERIALS THAT WOULD INHIBIT SPROUTING.
- DEBRIS FROM THE TREE REMOVAL OR PRUNING THAT OCCURS WITHIN 35 FEET OF THE WOODLAND EDGE MAY BE REMOVED AND PROPERLY DISPOSED OF BY RECYCLING, CHIPPING OR OTHER ACCEPTABLE METHODS. ALL DEBRIS THAT IS MORE THAN 35 FEET FROM THE WOODLAND EDGE SHALL BE CUT UP TO ALLOW CONTACT WITH THE GROUND, THIS ENCOURAGING DECOMPOSITION. THE SMALLER MATERIALS SHALL BE PLACED INTO BRUSH PILES THAT WILL SERVE AS WILDLIFE HABITAT.

- REMOVAL OF HAZARDOUS TREES, HAZARDOUS LIMBS, NOXIOUS PLANTS, INVASIVE PLANTS, OR NON-NATIVE PLANTS IN THE WOODLAND CONSERVATION AREAS OWNED BY INDIVIDUAL HOMEOWNERS**
- IF THE DEVELOPER OR BUILDER NO LONGER HAS AN INTEREST IN THE PROPERTY THE HOME OWNER SHALL OBTAIN A WRITTEN STATEMENT FROM THE LICENSED ARBORIST OR LICENSED TREE EXPERT IDENTIFYING THE HAZARDOUS CONDITION AND THE PROPOSED CORRECTIVE MEASURES PRIOR TO HAVING THE WORK COMPLETED. THE TREE MAY THEN BE REMOVED BY THE ARBORIST OR TREE EXPERT. THE STUMP SHALL BE CUT AS CLOSE TO THE GROUND AS POSSIBLE AND LEFT IN PLACE. THE REMOVAL OR GRINDING OF THE STUMPS IN THE WOODLAND CONSERVATION AREA IS NOT PERMITTED.
  - THE REMOVAL OF NOXIOUS, INVASIVE, AND NON-NATIVE PLANT SPECIES FROM THE WOODLAND CONSERVATION AREAS MAY BE DONE WITH THE USE OF HAND-HELD EQUIPMENT ONLY SUCH AS PRUNERS OR A CHAIN SAW. TREES MAY BE CUT NEAR THE GROUND AND DISPOSED OF APPROPRIATELY. ALL MATERIAL FROM THESE NOXIOUS, INVASIVE, AND NON-NATIVE PLANTS GREATER THAN TWO (2) INCHES DIAMETER SHALL BE CUT TO ALLOW CONTACT WITH THE GROUND, THIS ENCOURAGING DECOMPOSITION. HERBICIDES TO DISCOURAGE SPROUTING OF INVASIVE, NOXIOUS, OR NON-NATIVE PLANTS IS PERMITTED IF DONE AS AN APPLICATION OF THE CHEMICAL DIRECTLY TO THE CUT STUMP IMMEDIATELY FOLLOWING THE CUTTING OF PLANT TOPS. THE USE OF ANY HERBICIDES SHALL BE DONE IN ACCORDANCE WITH THE LABEL INSTRUCTIONS.

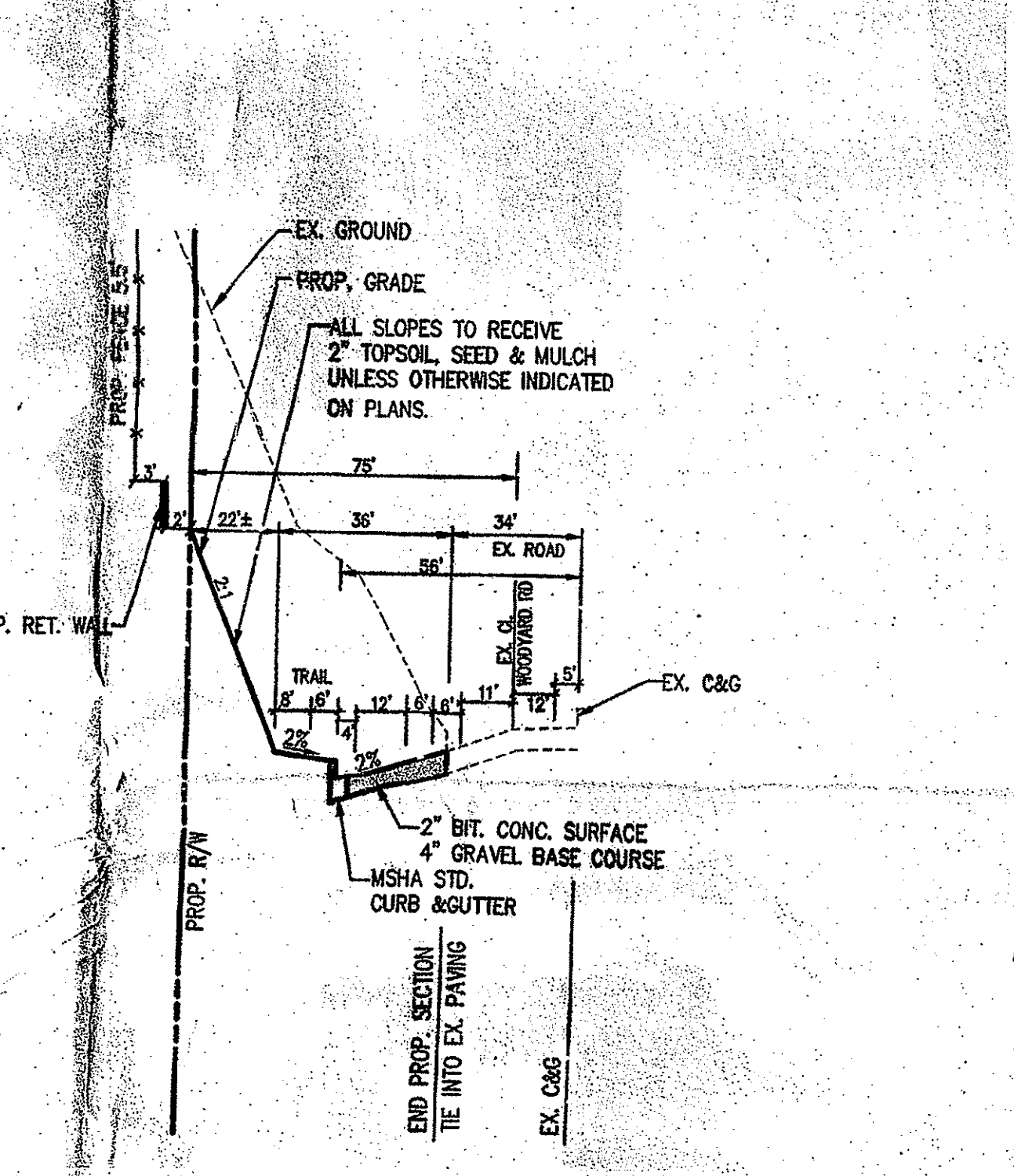
NOTE: THE USE OF CHAINSAWS IS EXTREMELY DANGEROUS AND SHOULD NOT BE CONDUCTED WITH POORLY MAINTAINED EQUIPMENT, WITHOUT SAFETY EQUIPMENT, OR BY INDIVIDUALS NOT TRAINED IN THE USE OF THIS EQUIPMENT FOR THE PRUNING AND/OR CUTTING OF TREES.

- PROTECTION OF REFORESTATION AND AFFORESTATION AREAS BY DEVELOPERS AND BUILDERS**
- REFORESTATION AND AFFORESTATION AREAS SHALL BE PLANTED PRIOR TO THE OCCUPANCY OF THE NEAREST BUILDING OR RESIDENCE. IF PLANTING CANNOT OCCUR DUE TO PLANTING CONDITIONS, THE DEVELOPER OR PROPERTY OWNER SHALL INSTALL THE FENCING AND SIGNAGE IN ACCORDANCE WITH THE APPROVED TYPE II TREE CONSERVATION PLAN. PLANTING SHALL THEN BE ACCOMPLISHED DURING THE NEXT PLANTING SEASON. IF PLANTING IS DELAYED BEYOND THE TRANSFER OF THE PROPERTY TITLE, TO THE HOMEOWNER, THE DEVELOPER SHALL OBTAIN A SIGNED STATEMENT FROM THE PURCHASER INDICATING THAT THEY UNDERSTAND THAT THE REFORESTATION AREA IS LOCATED ON THEIR PROPERTY AND THAT REFORESTATION WILL OCCUR DURING THE NEXT PLANTING SEASON. A COPY OF THAT DOCUMENT SHALL BE PRESENTED TO THE GRADING INSPECTOR AND THE ENVIRONMENTAL PLANNING SECTION.
  - REFORESTATION AREAS SHALL NOT BE MOVED, HOWEVER, THE MANAGEMENT OF COMPETING VEGETATION AROUND INDIVIDUAL TREES IS ACCEPTABLE.

- PROTECTION OF REFORESTATION AND AFFORESTATION AREAS BY INDIVIDUAL HOMEOWNERS**
- REFORESTATION FENCING AND SIGNAGE SHALL REMAIN IN PLACE IN ACCORDANCE WITH THE APPROVED TYPE II TREE CONSERVATION PLAN OR UNTIL THE TREES HAVE GROWN SUFFICIENTLY TO HAVE GROWN CLOSURE.
  - REFORESTATION AREAS SHALL NOT BE MOVED, HOWEVER, THE MANAGEMENT OF COMPETING VEGETATION AROUND INDIVIDUAL TREES IS ACCEPTABLE.

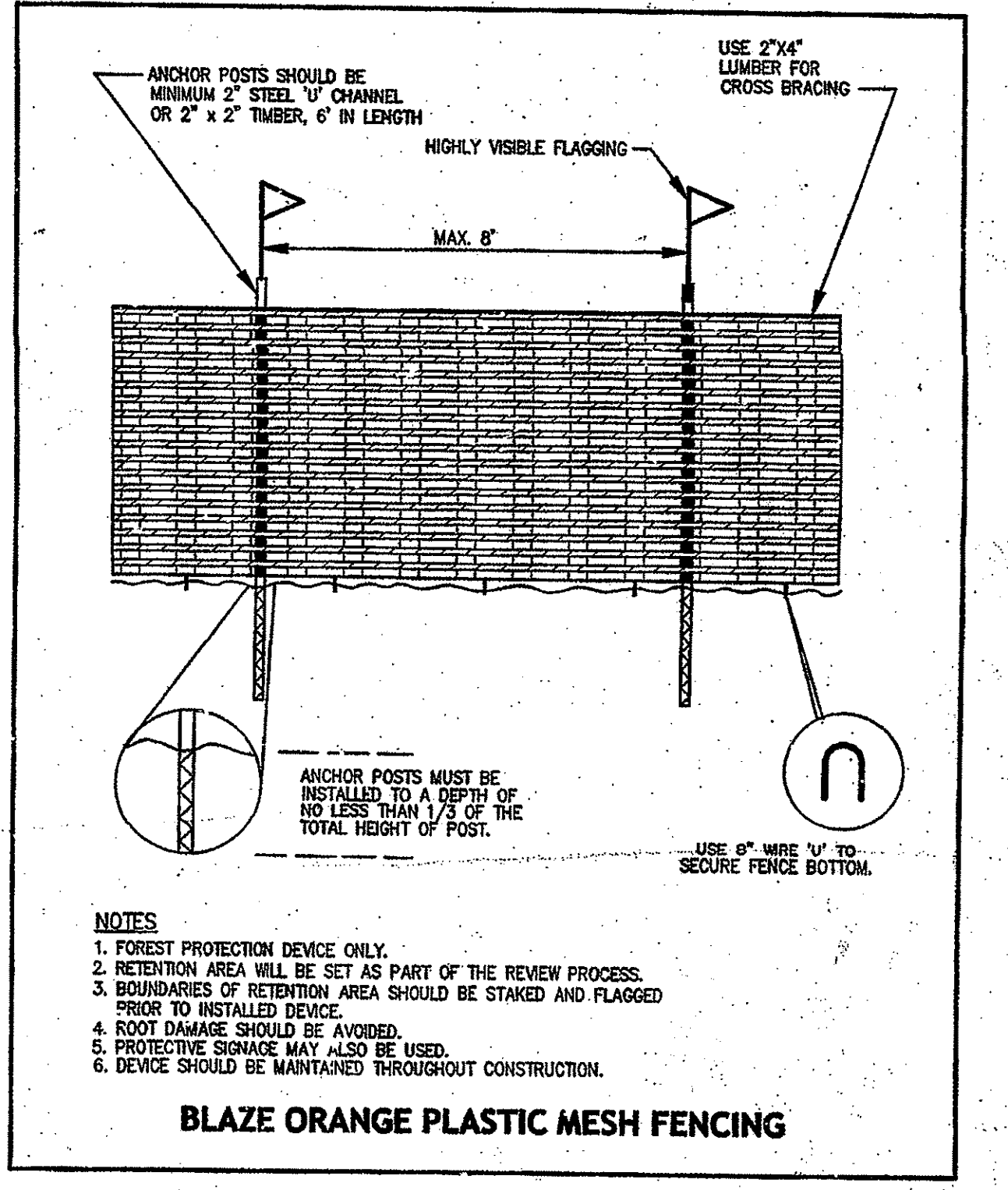
- WOODLAND AREAS NOT COUNTED AS PART OF THE WOODLAND CONSERVATION REQUIREMENTS**
- A REVISION TREE CONSERVATION PLAN IS REQUIRED PRIOR TO CLEARING ANY WOODLAND AREA WHICH IS NOT SPECIFICALLY DESIGNATED TO BE CLEARED ON THE MOST RECENTLY APPROVED TYPE II TREE CONSERVATION PLAN ON FILE IN THE OFFICE OF THE M-NCPPC ENVIRONMENTAL PLANNING SECTION LOCATED ON THE 4TH FLOOR OF THE COUNTY ADMINISTRATION BUILDING AT 14741 GORHAM DRIVE, BELTSVILLE, MARYLAND 20772, PHONE 301-982-3850. ADDITIONAL MITIGATION REQUIREMENTS FOR THE CLEARING OF ALL WOODLANDS BEYOND THAT REFLECTED ON THE APPROVED PLANS, ALTHOUGH CLEARING MAY BE ALLOWED, IT MAY BE SUBJECT TO ADDITIONAL REVIEW BY THE M-NCPPC ENVIRONMENTAL SECTION.
  - HOMEOWNERS OR PROPERTY OWNERS MAY REMOVE TREES LESS THAN TWO (2) INCHES DIAMETER, SHRUBS AND VINES IN WOODLAND AREAS WHICH ARE SAVED BUT NOT PART OF THE WOODLAND CONSERVATION REQUIREMENTS AFTER ALL PERMITS HAVE BEEN OBTAINED FOR THE SUBJECT PROPERTY. THIS AREA MAY NOT BE TILLED OR HAVE OTHER GROUND DISTURBANCES WHICH WOULD RESULT IN DAMAGE TO THE REMAINING TREES, SHRUBS AND VINES. EXCEEDING WITH NATIVE GRASSES, NATIVE FLOWERS, AND NATIVE PLANTS IS NOT ACCEPTABLE.

ANY VIOLATION OF KENTUCKY 31 RESOLVE IS NOT ACCEPTABLE.



MD. 223 WOODYARD ROAD  
STA 12+70 TO STA. 17+00  
NOT TO SCALE

Woodland Conservation Worksheet			
Prince George's County			
Zone:	RES		
Green Tract:	11.46		
Previously Dedicated Land:	0.00		
Net Tract (NTA):	11.46	0.00	0.00
Property Description or Subdivision Name:			
Information Requirement Reduction (NTA) to this one (1) single family lot (6.7)			
Are there any TPO-approved which include a combination of this lot and/or other lots (A, B, C) is this a Mitigation Bank?	N		
Break even Point (generally) =	0.00		
Clearing permitted with no reduction:	0.00		
Woodland Conservation Calculations:			
Existing Woodland	11.46	0.00	0.00
Woodland Conservation Threshold (NTA) =	20.00%	2.29	
Smaller of a or b		2.29	
Woodland above WCT		0.00	
Woodland cleared		10.11	0.00
Smaller of a or b		0.00	
Clearing below WCT (0.25 : 1) replacement requirement		0.00	
Clearing below WCT (2:1 replacement requirement)		1.78	
Woodland Conservation Threshold (WCT) =	15.00%	0.00	
Woodland Conservation Required		0.00	
Woodland Conservation Provided:			
Woodland Preservation		0.00	
Reforestation / Replacement		0.00	
Alleviation		0.00	
Area approved for tree-to-tree		0.00	
Credits for Off-site Mitigation on another property		0.00	
Off-site Mitigation provided on this property		0.00	
Total Woodland Conservation Provided		0.00	
Area of woodland not cleared	0.01	0.00	
Woodland retained not part of requirements:	0.01	0.00	



BLAZE ORANGE PLASTIC MESH FENCING

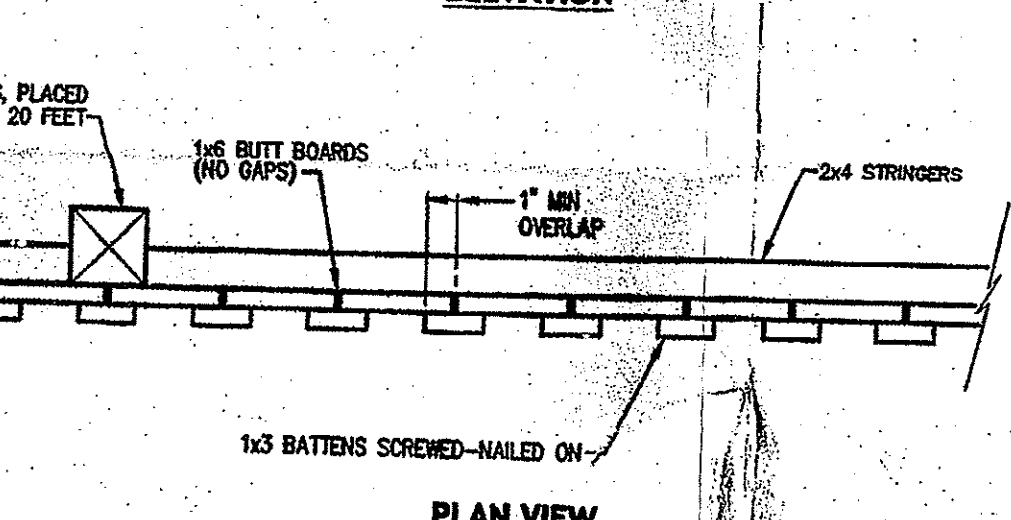
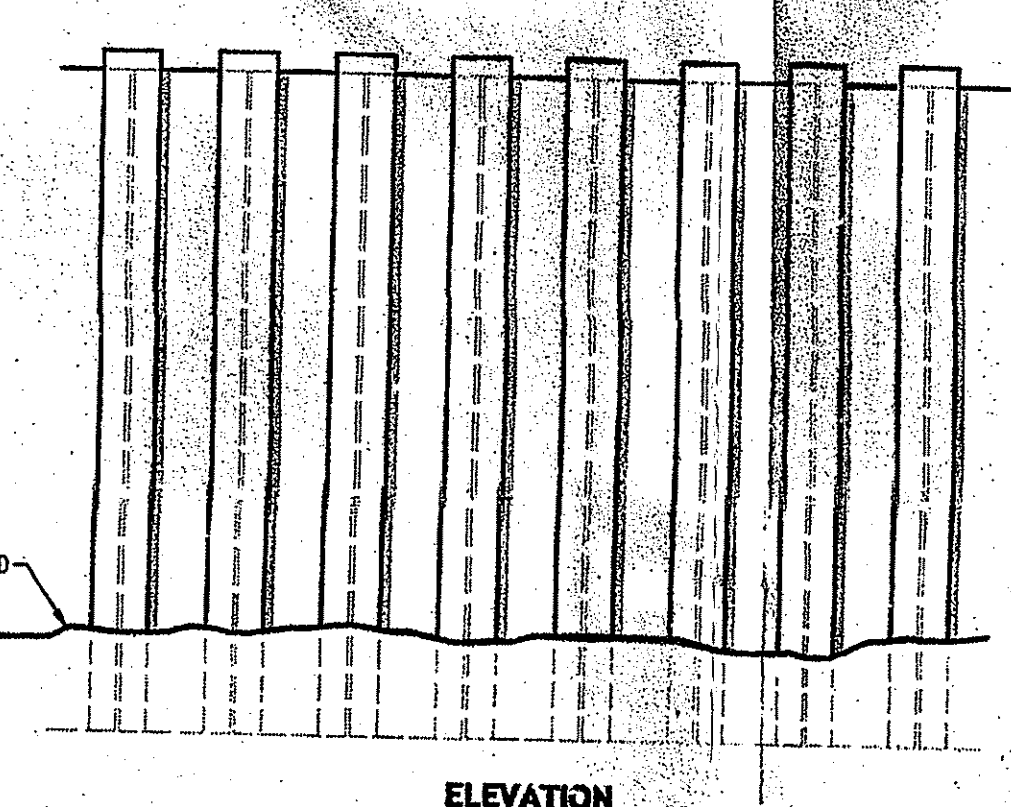
M-NCPPC APPROVALS			
PROJECT NAME: ISABELLE'S ESTATES			
PROJECT NUMBER: DTP-05109			
Per Conditions of Approval see Site Plan, Conditions of Approval Sheet, Restrictions Listed Below Apply to This Sheet			
Approval or Revision #	Approval Date	Reviewer's Initials	Certification Date
1	4-27-06	6-4-1	4-27-06

**SPECIMEN TREE**  
DO NOT REMOVE  
MACHINERY, DUMPING OR STORAGE OF ANY MATERIALS IS PROHIBITED  
VIOLATORS ARE SUBJECT TO FINES AS IMPOSED BY THE MARYLAND FOREST CONSERVATION ACT OF 1991

**FOREST RETENTION AREA**  
MACHINERY, DUMPING OR STORAGE OF ANY MATERIALS IS PROHIBITED  
VIOLATORS ARE SUBJECT TO FINES AS IMPOSED BY THE MARYLAND FOREST CONSERVATION ACT OF 1991

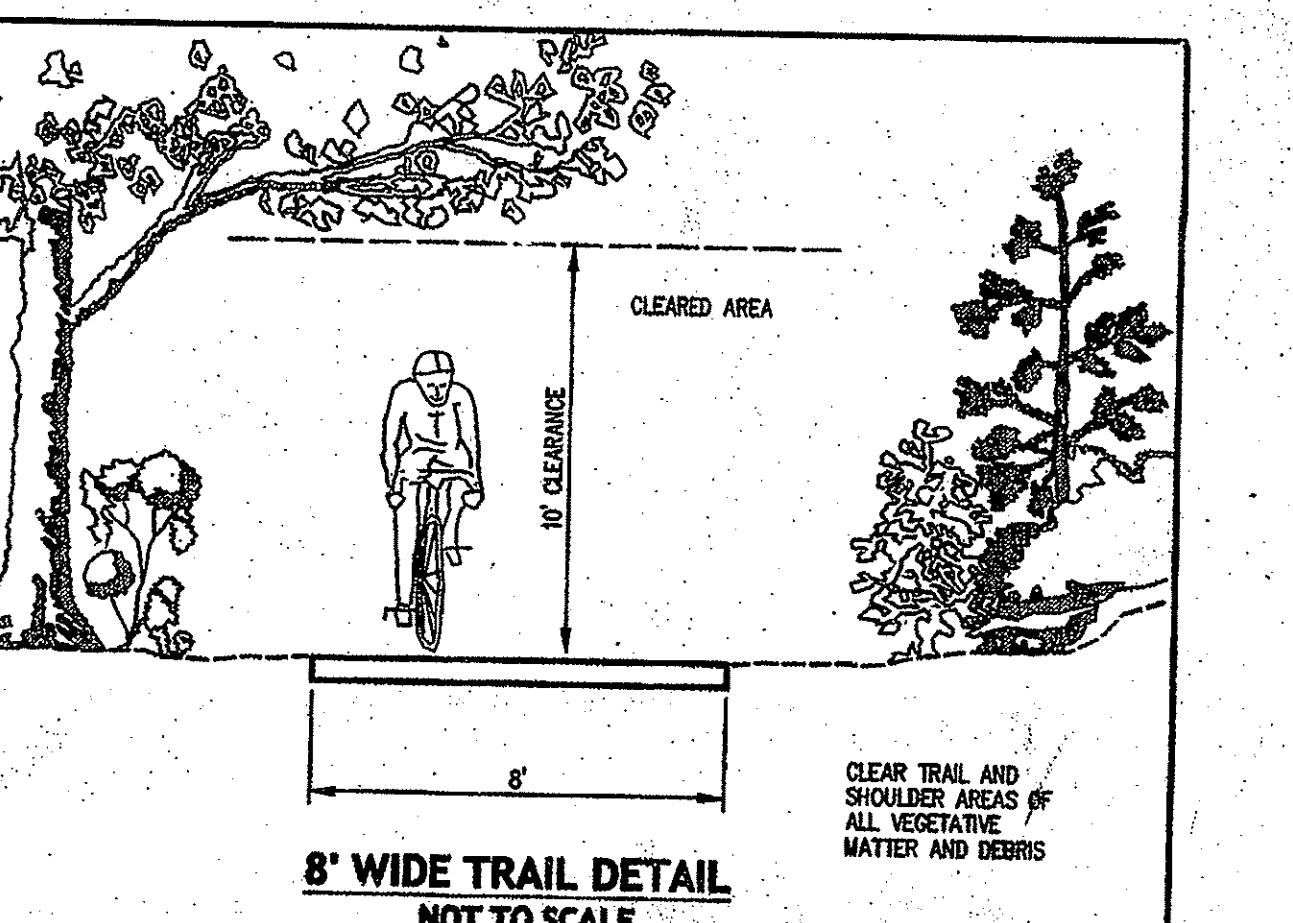
**FOREST CONSERVATION AREA**  
MACHINERY, DUMPING OR STORAGE OF ANY MATERIALS IS PROHIBITED  
VIOLATORS ARE SUBJECT TO FINES AS IMPOSED BY THE MARYLAND FOREST CONSERVATION ACT OF 1991

SIGNAGE DETAIL  
NOT TO SCALE



WOODEN NOISE WALL DETAIL  
NOT TO SCALE

- NOTES:
- DISBURSE THAT THERE IS NO GAP BETWEEN THE BOTTOM OF THE 1x6 BOARDS AND THE GROUND.
  - ACCORDING TO THIS BY: -BURRING THE BOARDS IN EARTH, OR -INSTALLING GRAVEL, OR -LAYING A PRESSURE-TREATED 2x 4x 4x 6x BOARD AT GRADE AND INSTALLED TO THE 1x6 BOARDS. IF A GAP IS USED BETWEEN BOARDS, THIS IS ALLOWABLE PROVIDED THE GAP IS NO MORE THAN 1".
  - FRONT OF WALL TO BE PAINTED WITH WEATHER-RESISTANT BRICK RED PAINT.



8' WIDE TRAIL DETAIL  
NOT TO SCALE

M-NCPPC	
Prince George's County Planning Department Environmental Planning Section	
APPROVAL TREE CONSERVATION PLAN	
TCP II 1/148/91-01	
APPROVED BY	DATE
J. A. L. L.	4/27/06
01	
02	
03	
04	
05	

**ISABELLE'S ESTATES**  
PRINCE GEORGE'S COUNTY, MARYLAND  
15th MARLBORO DISTRICT  
TAX MAP 100 GRID A-4  
SCALE: AS SHOWN DATE: OCTOBER 2005 TTS PROJECT No. 505021 SHEET 4 OF 4

OWNER/DEVELOPER

WFC ENTERPRISE, LLC  
2200 DEFENSE HIGHWAY  
SUITE 101  
CROFTON MD 21114  
PHONE: (301) 261-6700

