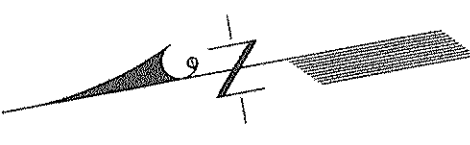


CLEARING SUBJECT TO STATE HIGHWAY AND  
MARYLAND DEPARTMENT OF NATURAL  
RESOURCES REFORESTATION REQUIREMENTS  
(DNR PERMIT NO. 2005S1445).



|  |          |
|--|----------|
| <u>WOODLAND CONSERVATION REQUIREMENT CALCULATIONS:</u> |          |
| EXISTING WOODLAND AND ON NET TRACT (ACRES):            | 28.09    |
| EXISTING WOODLAND IN FLOODPLAIN (ACRES):               | 5.27     |
| <u>WOODLAND CONSERVATION THRESHOLD (NTA):</u>          | = 15.96% |
| <u>SMALLER OF A OR C</u>                               | 18.94    |
| <u>WOODLAND ABOVE MCT</u>                              | 69.60    |

| CLEARING AREAS (CA)<br>PHASE |           | PRESERVATION AREAS (PA) |           |
|------------------------------|-----------|-------------------------|-----------|
| No.                          | AREA (AC) | No.                     | AREA (AC) |
| 1                            | 51.45     | 1                       | 0.56      |
| 2                            | 8.65      | 2                       | 4.13      |
| 3                            | 0.37      | 3                       | 0.51      |
| 4                            | 0.25      | 4                       | 0.05      |
| 5                            | 2.36      | 5                       | 0.01      |
| 6                            | 2.44      | TOTAL                   | 5.26      |
| 7                            | 0.01      |                         |           |
| TOTAL                        | 71.53     |                         |           |

| REFORESTATION AREAS<br>(RA) |           |
|-----------------------------|-----------|
| No.                         | AREA (AC) |
| 1                           | 2.44      |
| 2                           | 2.65      |
| TOTAL                       | 5.09      |

LEGEND

PROPERTY BOUNDARY

EX. CONTOUR

PROP. CONTOUR

EX. TREELINE  
(BEFORE TIMBER HARVEST)

EX. TREELINE  
(AFTER TIMBER HARVEST)

LOD  
(ULTIMATE LIMITS)

PRIMARY MANAGEMENT  
AREA (PMA)

WATERS OF  
THE U.S.

NONTIDAL  
WETLAND

EX. WETLAND  
BUFFER (25')

EX. FLOODPLAIN

CLEARING AREA

PRESERVATION AREA

TREE PROTECTION SIGN

TREE PROTECTION  
FENCE

PROJECT  
PHASE LINE

65 dBA Ldn  
NOISE CONTOUR

EX. ZONE

RI

|    |   |          |
|----|---|----------|
|    | M-NCPPC<br>Prince George's County Planning Department<br>Natural Resources Division |          |
|    | <b>APPROVAL</b>   |          |
|    | TREE CONSERVATION PLAN  |          |
|    | <u>TCP II /203/91-02</u>  |          |
|    | Approved by   | DATE     |
|    | John P. Markovich   | 10/21/91 |
| 01 | Robert E. Metzger   | 10/6/91  |
| 02 | <i>R. Johnson</i>   | 8/31/91  |
| 03 |   |          |
| 04 |   |          |
| 05 |   |          |
| 06 |   |          |

|  |               |                     |                    |
|--|---------------|---------------------|--------------------|
| M-NCPPC APPROVALS  |               |                     |                    |
| PROJECT NAME: RITCHIE HILL, PHASE I  |               |                     |                    |
| PROJECT NUMBER: DSP-04080  |               |                     |                    |
| For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet Revision Listed Below Apply To This Sheet |               |                     |                    |
| Approval or Revision #   | Approval Date | Reviewer's Initials | Certification Date |
|  | 06/02/03      | R.S.                | 12/14/03           |
| 02   | 2-22-07       | RS                  | 9-7-07             |

DSP 04080-02

TREE CONSERVATION PLAN - TYPE II  
FOR  
ROUGH GRADING & INFRASTRUCTURE  
LANDS OF  
RITCHIE HILL, LLC, et al.

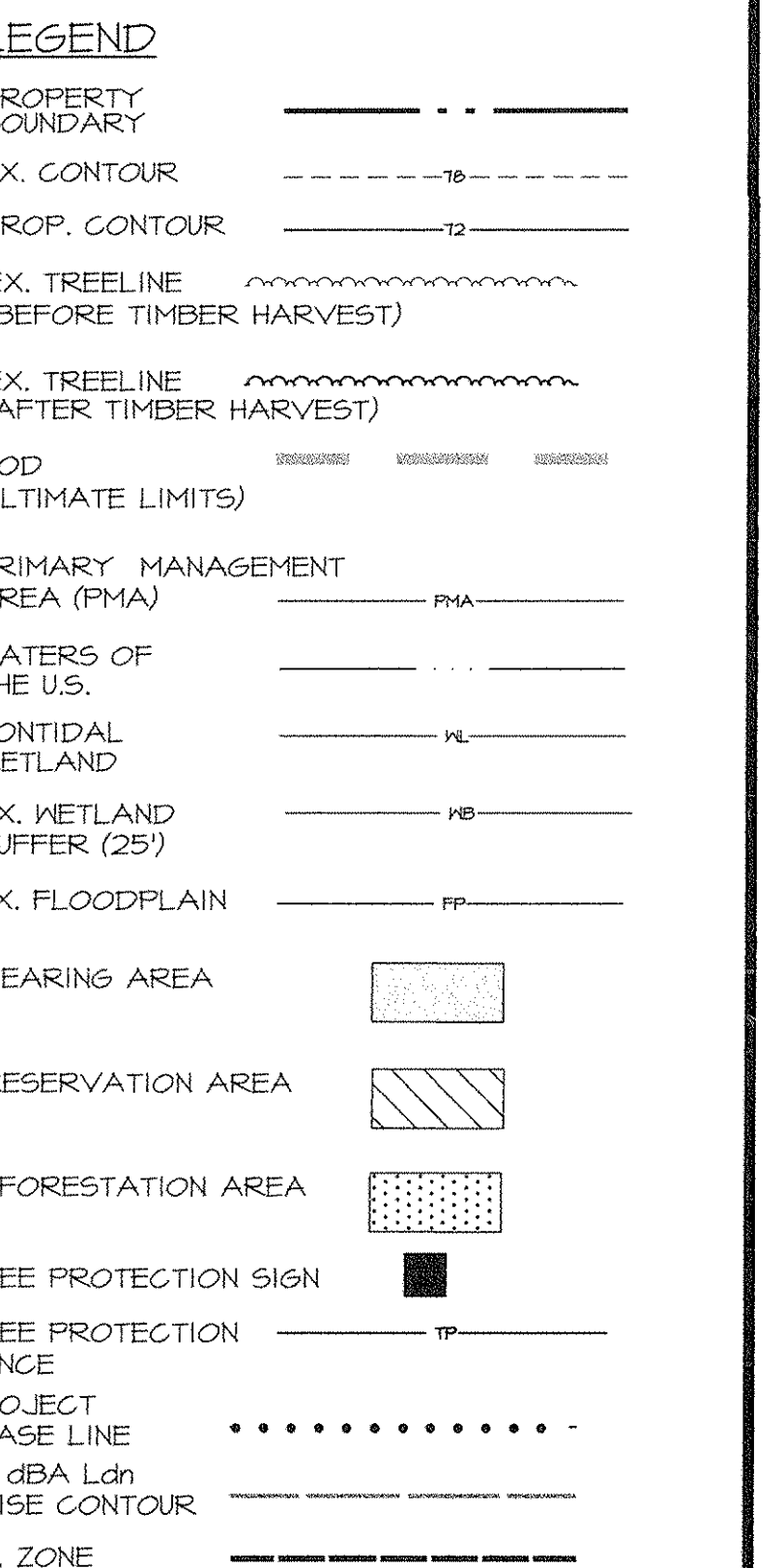
RITCHIE STATION MARKETPLACE  
MELWOOD DISTRICT No. 15  
PRINCE GEORGE'S COUNTY, MARYLAND



OWNER/DEVELOPER  
RITCHIE HILL LLC  
4640 FORBES BOULEVARD  
LANHAM, MARYLAND 20706-4323

|                                 |  |  |  |             |  |         |  |               |  |  |  |
|---------------------------------|--|--|--|-------------|--|---------|--|---------------|--|--|--|
| TCP SHEET 1 OF 5                |  | 0  |  | 200         |  | 400     |  | 600           |  | (2)  |  |
| PSSG 2000 SHEET SERIES 203 SE B |  | ADC MAP ECK LOCATION 19 G-71B and H-71B  |  |             |  |         |  |               |  |  |  |
| 7/9/07                          |  |  |  |             |  |         |  |               |  |  |  |
| DATE                            |  |  |  |             |  |         |  |               |  |  |  |
| 7/4/07                          |  | Revised per PSSCP No. 07-35 resolution for DSR-0400-003  |  | KM          |  |         |  |               |  | 1121 WOODMORR ROAD, SUITE 200<br>MCKINLEY, MARYLAND 20721                                |  |
| 9/26/06                         |  | Revised to include Phase 2 rough grading   |  | MR          |  |         |  |               |  | BEN DYER ASSOCIATES, INC.<br>Engineers / Surveyors / Planners<br>TELEPHONE: 901-488-4400 |  |
| 9/14/05                         |  | Revised to address MNCPPC EUSG concerns  |  | MR          |  |         |  |               |  | COPYRIGHT © 2006 BEN DYER ASSOCIATES, INC.   |  |
| 7/22/05                         |  | REVISED TO ADDRESS MNCPPC EUSG RESOLUTION COMMENTS AND TO REFLECT REVISIONS BASED ON STUDY INFORMATION |  | MR          |  |         |  |               |  | DRAWN BY: DESIGNED BY: CHECKED BY: REVISION NO. 1  |  |
| DATE                            |  | DESCRIPTION  |  | SCALE       |  | 1"=200' |  |               |  | J-91064  |  |
| MEG R. REISER                   |  |  |  |             |  |         |  |               |  |  |  |
| Map of Reiser                   |  |  |  |             |  |         |  |               |  |  |  |
| Qualified Professional          |  |  |  |             |  |         |  |               |  |  |  |
| DATE 05/18/06                   |  |  |  |             |  |         |  |               |  |  |  |
|                                 |  | REVISIONS  |  |             |  |         |  |               |  |  |  |
| 13                              |  | L:\L15-PROJ\97064-105\sheet\TCP-R.dwg, 7/9/2007, 4:54:53 PM, mark ken                                  |  |             |  |         |  |               |  |  |  |
|                                 |  | DATE   |  | DESCRIPTION |  | DATE    |  | DECEMBER 2004 |  | 54.007-Z   |  |





| M-NCPPC APPROVALS  |               |                     |                    |
|--|---------------|---------------------|--------------------|
| PROJECT NAME: RITCHIE HILL, PHASE I  |               |                     |                    |
| PROJECT NUMBER: DSP- 04080   |               |                     |                    |
| For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet Review Listed Below Apply To This Sheet |               |                     |                    |
| Approval or Revision #   | Approval Date | Reviewer's Initials | Certification Date |
|  | 08/02/05      | R.S.                | 12/14/05           |
| 02   | 2-22-07       | RS                  | 9-7-07             |

|      |             |    |       |
|------|-------------|----|-------|
| DATE | DESCRIPTION | BY | SCALE |
|      | REVISIONS   |    | DATE  |

|           |   |         |  |    |                |                   |                  |            |          |
|-----------|---|---------|--|----|----------------|-------------------|------------------|------------|----------|
| WARD      | <u>Megan Reiser</u>   | 1/22/05 | REVISED TO ADDRESS INQUIRY RE: STUDY COMMENTS AND TO REFLECT REVISIONS/EXPLAIN STUDY INFORMATION | MR | DRAWN BY<br>SS | DESIGNED BY<br>MR | CHECKED BY<br>KH | RECORD NO. | J-91064  |
| 0706-4323 | Megan Reiser<br>Qualified Professional<br>COMAR 08.19.06.01 | DATE    | DESCRIPTION  | BY | 1"=50'         |                   |                  | DRAWG. NO. | 54.00B-Z |
|           |   |         | REVISIONS  |    | DATE           | DEC 16 2004       |                  |            |          |

1. Any tree cutting or clearing on this site not in conformance with this plan or without the expressed written consent of the Planning Director or designee, shall be subject to the mitigation fee of \$150 per square foot of woodland damaged or destroyed.
2. The Department of Environmental Resources (DER) Inspectors Office, must be contacted prior to the start of any work on the site to address implementation of Tree Conservation Measures shown on this plan.
3. Property owners shall be notified by the Developer or Contractor, of any Woodland Conservation Areas (Tree Save Areas, Restoration Areas, Afforestation Areas or Selective Clearing Areas) located on their lot or parcel of land and the associated fines for unauthorized disturbances in these areas.
4. All appropriate bonds will be posted with the Building Official prior to the issuance of any permits. These bonds will be retained as surety by the Building Official until all required activities have been satisfied. Three copies of the bonds are submitted with the grading permit application.
5. The location of all Tree Protection Devices (TPDs) shown on this Plan, shall be flagged or staked in the field prior to the pre-construction meeting with the DER Inspectors. Upon approval of the flagged or staked TPD locations by the inspector, installation of the TPD's may begin. TPD installation shall be completed prior to installation of initial sediment controls. No cutting or clearing of trees may begin before final approval of the TPD installation.
6. All Field personnel, including equipment operators and supervisors who might work or direct work in the vicinity of protected trees are to be instructed in techniques for avoiding damage to these trees.
7. The layout of the construction site shall provide for special, marked areas for fueling, oil changing and equipment maintenance, employee parking and for materials storage and stockpiling. These areas shall be located so as to prevent the deposit of silt or the washing or leaching of petroleum products or other harmful substances, into the tree save areas.
8. The following are not allowed within a tree save area:
  - Depositing of refuse, construction debris, spoil, petroleum products and vehicle or equipment waste water.
  - Dumping of limbs, stumps, and other clearing debris.
  - Driving of any vehicle or equipment.
  - Storage or stockpiling of materials and supplies.
  - Lighting of any fire, including cooking or warming fires.
9. Woodland Conservation - Tree Save Areas and/or Afforestation shall posted as shown at the same time as the Tree Protective Device installation and/or start of reforestation activities. These signs shall remain in place for five years after completion of work.

Quantity (see Plant Schedule)

2. Type: (see Plant Schedule)

3. Plant Quality Standards: The seedlings selected shall be healthy and sturdy and representative of their species. Seedlings shall have a minimum root system growth of 18". The diameter of the root collar  $3/16"$  of the root of the joint below ground level) shall be at least  $3/16"$ . The roots shall be well developed and of adequate length. The root system shall be at least 22% of the root system (both primary and auxiliary/branches) shall show evidence of being cut (pinched) away from the plant during the digging process. Substantial auxiliary/branch roots shall be present.

Plants that do not have an abundance of well developed terminal buds on the leaders and branches shall be rejected.

Plants shall be shipped by the nursery immediately after lifting from the field or removal from the greenhouse, and planted immediately upon receipt by the Landscape Contractor.

If the plants cannot be planted immediately after delivery to the restoration site, they shall be stored in the shade with their mosses protected from direct exposure to sun and wind by the use of straw, peat moss, compost, or similar material and shall be maintained through periodic watering, until the time of planting.

4. Plant Handling: The quantity of seedlings taken to the field shall not exceed the quantity that can be planted in a day. Seedlings, once removed from the greenhouse or temporary storage, shall be planted as soon as possible. The field (if the entire area appears uniform, then only one sample is necessary), and

5. Timing of Planting: The best time to plant seedlings is while they are dormant, prior to spring budding. The most suitable months for planting are March and April, when the soil is moist. However, the best time to plant is during the best planting times for this region and cloud and cloudy weather is considered ideal. Planting shall occur within one growing season of the issuance of grading/erosion permits and/or reaching the final grading and stabilization of planting areas.

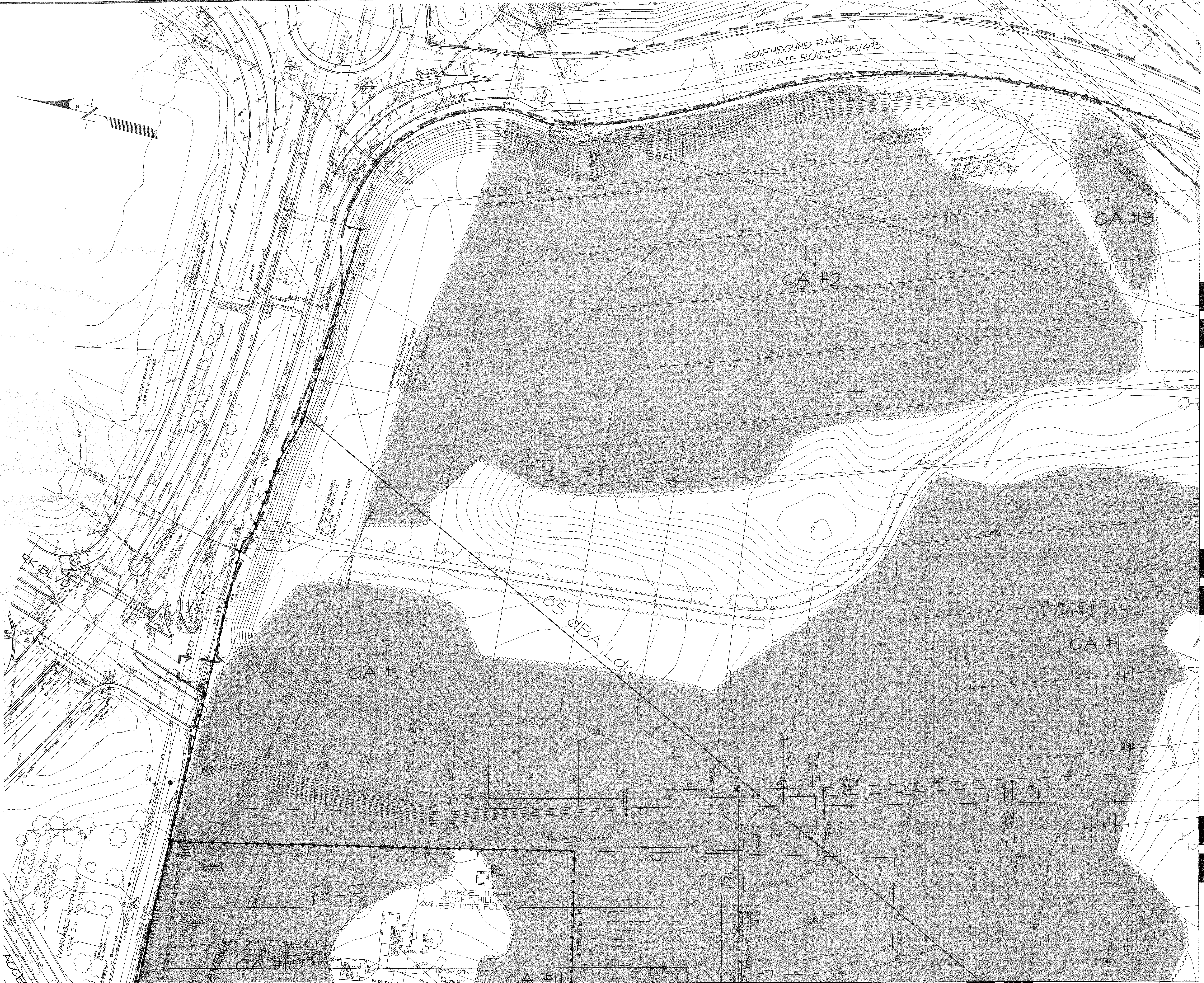
6. Seedling Planting: Three seedlings can be hand planted using a dibble bar or sharp-shooter shovel. It is important that the seedling be placed in the hole so that the roots can spread out naturally, the hole is filled with soil, and the soil is tamped or firmed. Most soil should then be packed firmly around the roots. Seedlings are planted at a depth where the method, the purpose is to place the roots in the surface. Air pockets should not be left after closing the hole which would allow the roots to dry out. See planting details for further explanation. If the contractor wishes to plant a greater number of seedlings, the planting operation must be conducted and give his approval before planting may begin.

7. Spacing: See Plant Schedule and/or Planting Plan for spacing requirements. Also refer to the Planting Layout detail for a description of the general planting techniques.

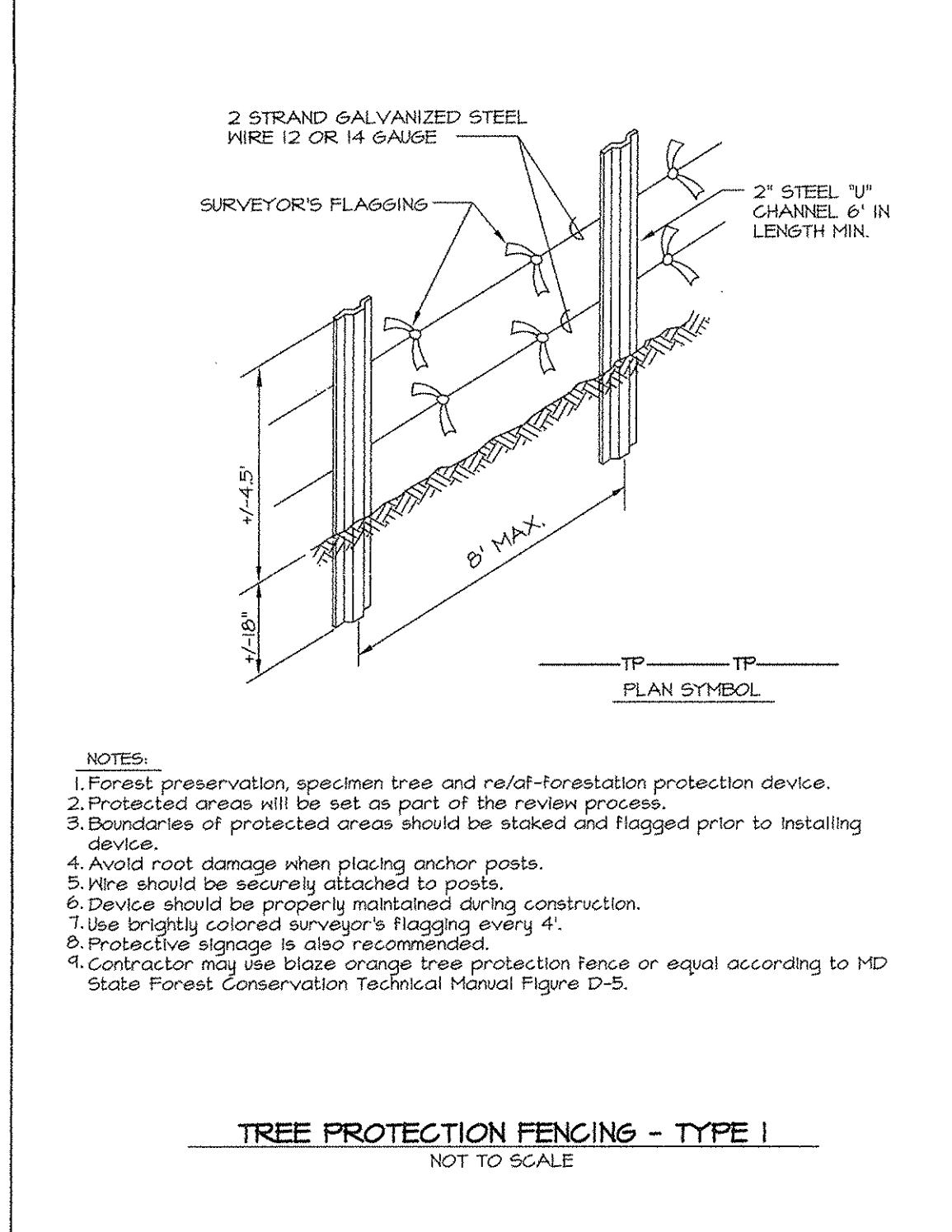
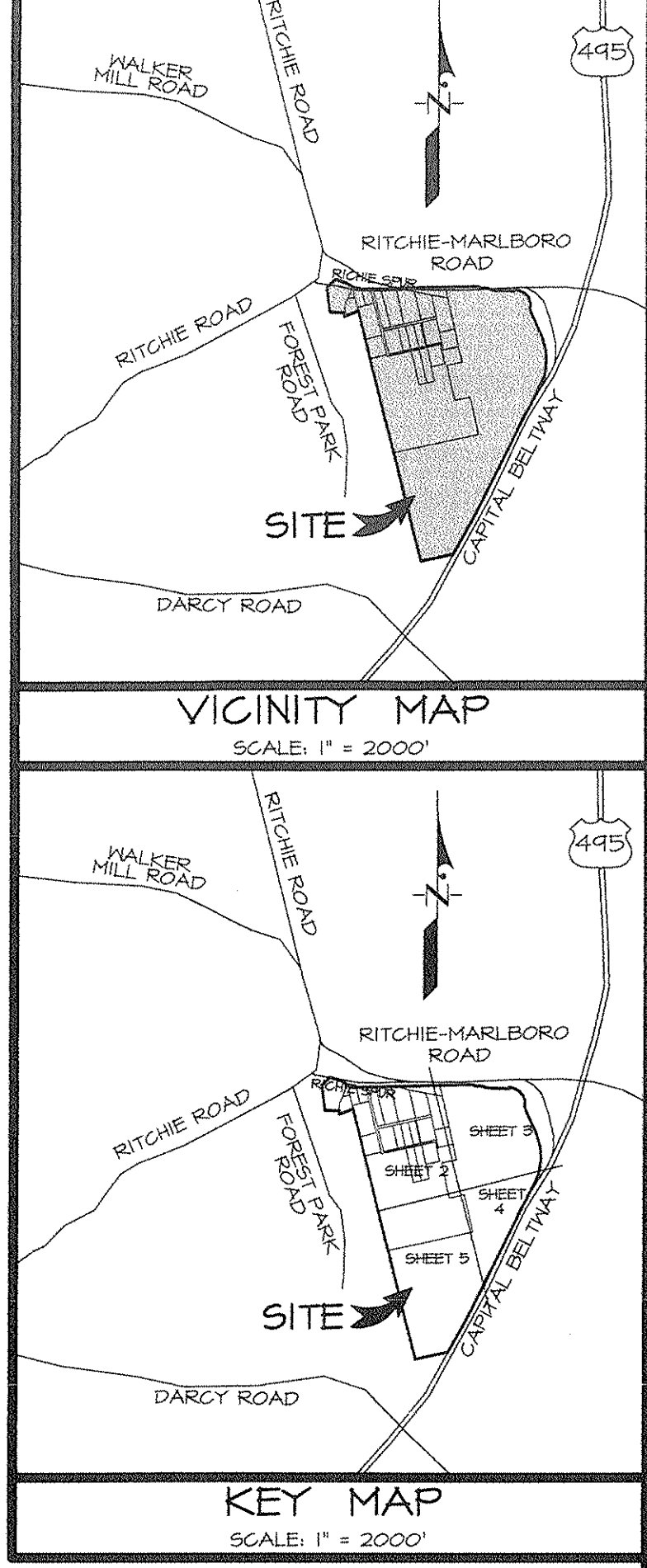
8. Soil: Upon the completion of all grading operations, a soil test shall be conducted to determine what soil preparation and soil amendments, if any, are necessary to create good tree growing conditions. Soil samples shall be taken at a rate that provides a good soil sample for the entire area. The soil sample shall be taken from the field (if the entire area appears uniform, then only one sample is necessary), and

The company of choice shall make recommendations for improving the existing soil. The soil will be tested and recommended for corrections of soil texture, pH, magnesium, phosphorous, potassium, calcium and organic matter.





- LEGEND**
- PROPERTY BOUNDARY
  - EX. CONTOUR
  - PROP. CONTOUR
  - EX. TREELINE (BEFORE TIMBER HARVEST)
  - EX. TREELINE (AFTER TIMBER HARVEST)
  - LOD (ULTIMATE LIMITS)
  - PRIMARY MANAGEMENT AREA (FMA)
  - WATERS OF THE U.S.
  - NONTIDAL WETLAND
  - EX. WETLAND BUFFER (25')
  - EX. FLOODPLAIN
  - CLEARING AREA
  - PRESERVATION AREA
  - REFORESTATION AREA
  - TREE PROTECTION SIGN
  - TREE PROTECTION FENCE
  - PROJECT PHASE LINE
  - 65 dBA Ldn NOISE CONTOUR
  - EX. ZONE



Prince George's County Planning Department  
Natural Resources Division

**APPROVAL**

TCP II / 203/91-02

Approved by: John P. Markovich DATE: 10/21/04

Robert E. Metzger DATE: 10/6/05

10/6/05

10/6/05

10/6/05

10/6/05

**M-NCPPC APPROVALS**

PROJECT NAME: RITCHIE HILL, PHASE I

PROJECT NUMBER: DSP-04080

For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet Revision Listed Below Apply to This Sheet

| Approval or Revision # | Approval Date | Reviewer's Initials | Certification Date |
|------------------------|---------------|---------------------|--------------------|
| 02                     | 2/22/07       | R.B.                | 12/14/05           |

**DSP04080-02**

**TREE CONSERVATION PLAN - TYPE II**  
FOR  
ROUGH GRADING & INFRASTRUCTURE  
LANDS OF  
RITCHIE HILL, LLC, et al.  
**RITCHIE STATION**  
**MARKETPLACE**  
MELWOOD DISTRICT No. 15  
PRINCE GEORGE'S COUNTY, MARYLAND

**APPROVED PLAN**

MATCH LINE "A-A" (SEE SHEET 2 OF 5, BDAI DWS. NO. 54.008-Z)

**OWNER/DEVELOPER**

RITCHIE HILL, LLC  
4640 FORBES BOULEVARD  
LANHAM, MARYLAND 20706-4323

TCP SHEET 3 OF 5  
MSSC 2001 SHEET SERIES 203 SE 0

ADP MAP BK LOCATION 19 G-740 AND H-740

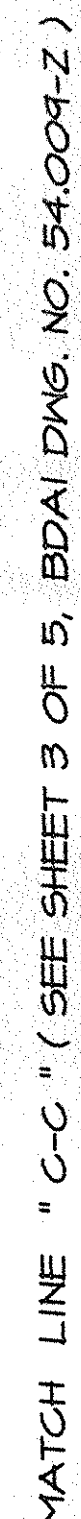
1701 WOODMERE ROAD, SUITE 200  
MITCHELLVILLE, MARYLAND 20721

**BEN DYER ASSOCIATES, INC.**  
Engineers / Surveyors / Planners  
TELEPHONE 301 430-2000  
COPYRIGHT © 2006 BEN DYER ASSOCIATES, INC.

| DATE    | DESCRIPTION   | BY | DATE | REVISIONS |
|---------|---|----|------|-----------|
| 1/9/07  | Revised per PSCPB No. 01-95 resolution for DSP-04080/02   | MR |      |           |
| 4/26/06 | Revised to include Phase 2 rough grading  | MR |      |           |
| 9/14/05 | Revised to address MNCPPC EPS concerns  | MR |      |           |
| 1/22/05 | Revised to address MNCPPC EPS resolution comments and to reflect revised floodplain study information | MR |      |           |

DATE: 11-20-04  
SCALE: 1"=50'  
DRAWN BY: J-17064  
DATE: DECEMBER, 2004  
DRAW. NO.: 54.004-Z





NOTE:  
1 - All tree/shrub species planted within the re/afforestation areas, should be randomly distributed throughout the proposed re/afforestation area, so as to promote a natural woodland structure.  
2 - In the event of species unavailability, a substitution may be made. Any substitution made requires written notification to MNCPPC, Environmental Planning Section.

NOTE:  
1 - All tree/shrub species planted within the re/afforestation areas, should be randomly distributed throughout the proposed re/afforestation area, so as to promote a natural woodland structure.  
2 - In the event of species unavailability, a substitution may be made. Any substitution made requires written notification to MNCPPC, Environmental Planning Section.

|    |   |          |
|----|---|----------|
|    | M-NCPPC<br>Prince George's County Planning Department<br>Natural Resources Division |          |
|    | <b>APPROVAL</b>   |          |
|    | TREE CONSERVATION PLAN  |          |
|    | <u>TCP II / 203/91-02</u>   |          |
|    | Approved by   |          |
|    | John P. Markovich   | 10/21/04 |
| 01 | Robert E. Metzger   | 10/16/05 |
| 02 | <i>R. Blanton</i>   | 8/31/07  |
| 03 |   |          |
| 04 |   |          |
| 05 |   |          |
| 06 |   |          |

TCP SHEET 4 OF 5  
WSSC 200' SHEET SERIES 208 SE 8      ADC MAP BK LOCATION 19 G-788 AND H-788

|         |  |      |  |         |  |  |  |    |   |  |   |  |
|---------|--|------|--|---------|--|--|--|----|---|--|---|--|
| 7/19/07 |  | DATE |  | 7/19/07 |  | Revised per MCRP No. 01-39 resolution for D5P-04/03/02   |  | KM | 11211 WOODMORE ROAD, SUITE 200<br>WYOMING, WY 83094 |  | BEN DYER ASSOCIATES, INC.<br>Engineers / Surveyors / Planners<br>TELEPHONE 307.490.4000 |  |
| 9/26/06 |  | DATE |  | 9/26/06 |  | Revised to include Phase 2 rough grading   |  | MR | COPYRIGHT © 2006 BEN DYER ASSOCIATES, INC.          |  | DRAWN BY: [REDACTED] (BY) [REDACTED]  |  |
| 9/18/05 |  | DATE |  | 9/18/05 |  | Revised to address MCRP/EPF concerns   |  | MR | SCALE: 1"=50'                                       |  | J-47064-2   |  |
| 7/22/05 |  | DATE |  | 7/22/05 |  | REVISED TO ADDRESS MCRP/EPF RESOLUTION COMMENTS AND TO REFLECT REVISIONS FROM AN STUDY INFORMATION |  | MR | DATE: DECEMBER 2004                                 |  | 54.010-2  |  |
| 7/19/07 |  | DATE |  | 7/19/07 |  | REVISIONS  |  | BY | [REDACTED]  |  | [REDACTED]  |  |

DSP 04080-02

TREE CONSERVATION PLAN - TYPE II  
FOR  
ROUGH GRADING & INFRASTRUCTURE  
LANDS OF  
RITCHIE HILL, LLC, et al.  
RITCHIE STATION  
MARKETPLACE  
MELWOOD DISTRICT No. 15  
PRINCE GEORGE'S COUNTY, MARYLAND

APPROVED  
PLAN

