CLEARING SUBJECT TO STATE HIGHWAY AND MARYLAND DEPARTMENT OF NATURAL RESOURCES REFORESTATION REQUIREMENTS (DNR PERMIT NO. 200551445).
PHASE-I
PHASE II
R-R
I-1
I-3
C-S-C
CA 40
CA 41
CA 42
CA 43
CA 44
CA 45
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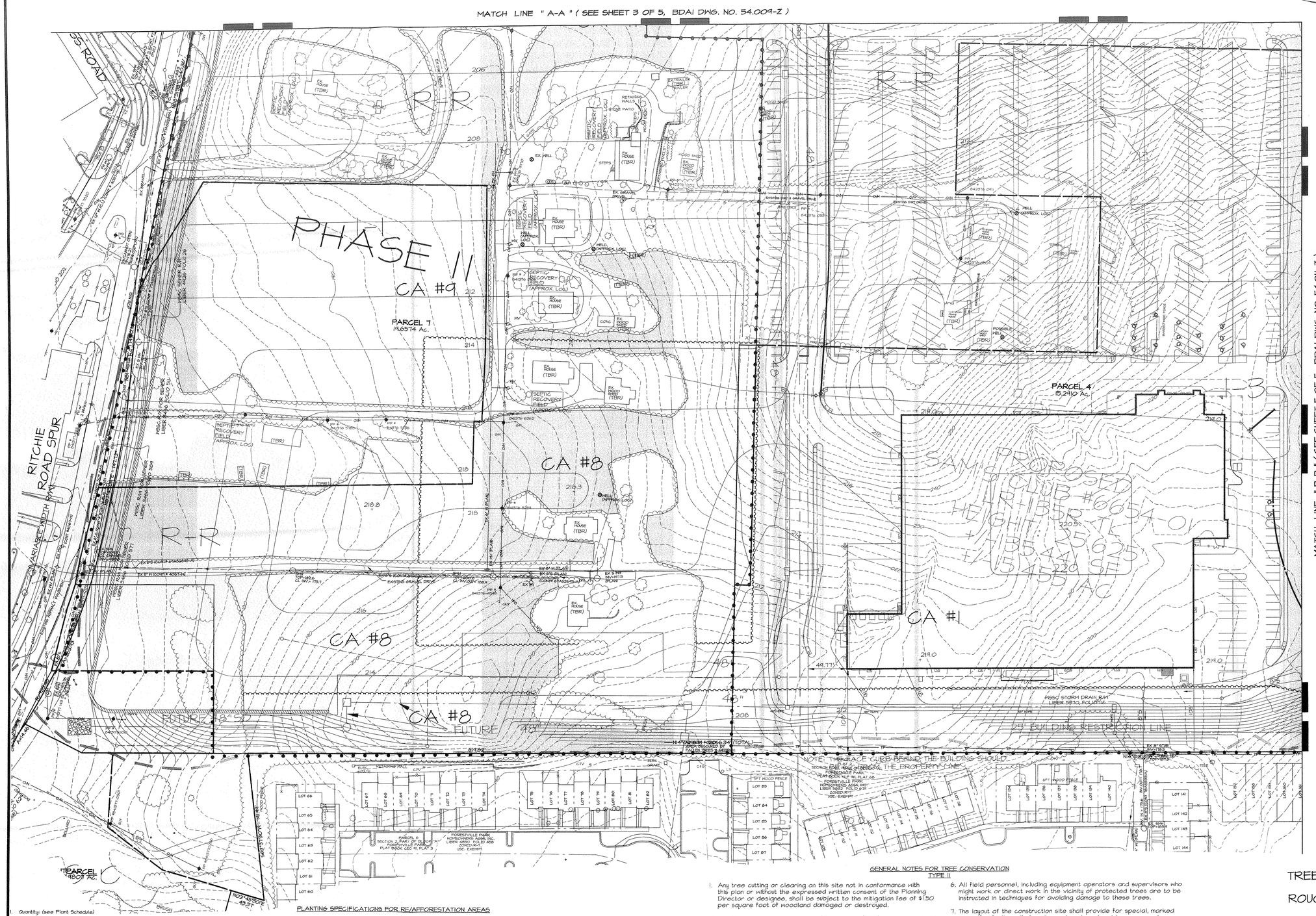
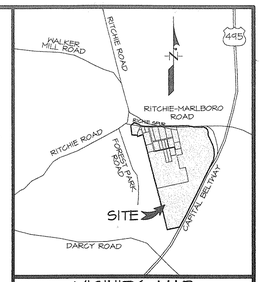
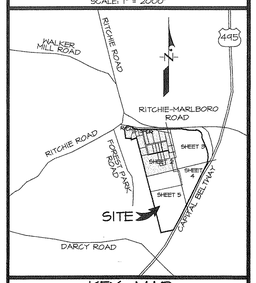
CA 59
CA





VICINITY MAP
SCALE: 1" = 2000'



KEY MAP
SCALE: 1" = 2000'

LEGEND

- PROPERTY BOUNDARY
- EX. CONTOUR
- PROP. CONTOUR
- EX. TREELINE (BEFORE TIMBER HARVEST)
- EX. TREELINE (AFTER TIMBER HARVEST)
- LOD (ULTIMATE LIMITS)
- PRIMARY MANAGEMENT AREA (PMA)
- WATERS OF THE U.S.
- NONTIDAL WETLAND
- EX. WETLAND BUFFER (25')
- EX. FLOODPLAIN
- CLEARING AREA
- PRESERVATION AREA
- REFORESTATION AREA
- TREE PROTECTION SIGN
- TREE PROTECTION FENCE
- PROJECT PHASE LINE
- 65 dBA Ldn NOISE CONTOUR
- EX. ZONE

M-NCPPC
Prince George's County Planning Department
Natural Resources Division
APPROVAL
TREE CONSERVATION PLAN
TCP II /203/91

	Approved by	DATE
	John P. Markovich	10/21/04
01	Robert E. Metzger	10/6/05 *
02	Katina Shoulars	8/31/07 **
03	K. M. [illegible]	12/21/07 ***
04		
05		
06		

* Reviewed with DSP-04080
** Reviewed with DSP-04080/01
*** Reviewed with DSP-04080/02

DSP04080-01

M-NCPPC APPROVALS			
PROJECT NAME: RITCHIE HILL, PHASE I			
PROJECT NUMBER: DSP- 04080			
For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet Revision Listed Below Apply to This Sheet.			
Approval or Revision #	Approval Date	Reviewer's Initials	Certification Date
	06/02/05	R.G.	12/14/05
.02	02/22/07	R.G.	04/07/07
01	10·30·06	RG	1·7·08

TREE CONSERVATION PLAN - TYPE II
FOR
ROUGH GRADING & INFRASTRUCTURE
LANDS OF
RITCHIE HILL, LLC, et al.
RITCHIE STATION MARKETPLACE
MELWOOD DISTRICT No. 15
PRINCE GEORGE'S COUNTY, MARYLAND

APPROVED PLAN

GRAPHIC SCALE 1" = 50'
0 50 100 150

(14 of 82)

TCP SHEET 2 OF 5
WSSC 200' SHEET SERIES 203 SE 8 ADC MAP BK LOCATION P1 G-7 & 8 AND H-7 & 8

PLANTING SPECIFICATIONS FOR RE/AFFORESTATION AREAS

1. Quantity: (see Plant Schedule)
2. Type: (see Plant Schedule)
3. Plant Quality Standards: The plants selected shall be healthy and sturdy representatives of their species. Seedlings shall have a minimum top growth of 18". The diameter of the root collar (the part of the root just below ground level) shall be at least 3/8". The roots shall be well developed and at least 8" long. No more than twenty-five percent (25%) of the root system (both primary and auxiliary/fibrous) shall show evidence of being cut (pruned) or striped from the plant during the digging process. Substantial auxiliary/fibrous roots shall be present.

   Plants that do not have an abundance of well developed terminal buds on the leaders and branches shall be rejected.

   Plants shall be shipped by the nursery immediately after lifting from the field or removal from the greenhouse, and planted immediately upon receipt by the landscape contractor.

   If the plants cannot be planted immediately after delivery to the reforestation site, they shall be stored in the shade with their root masses protected from direct exposure to sun and wind by the use of straw, peat moss, compost, or other suitable material and shall be maintained through periodic watering, until the time of planting.
4. Plant Handling: The quantity of seedlings taken to the field shall not exceed the quantity that can be planted in a day. Seedlings, once removed from the nursery or temporary storage area shall be planted immediately.
5. Timing of Planting: The best time to plant seedlings is while they are dormant, prior to spring budding. The most suitable months for planting are March and April, when the soil is moist. November and early December are also acceptable planting times for this region on cool and cloudy weather is considered ideal. Planting shall occur within one growing season of the issuance of grading/building permits and/or reaching the final grades and stabilization of planting areas.
6. Seedling Planting: Tree seedlings can be hand planted using a dibble bar or sharp-shooter shovel. It is important that the seedling be placed in the hole so that the roots can spread out naturally; they should not be twisted, pulled up, or bent. Moist soil should then be packed firmly around the roots. Seedlings should be planted at a depth where their roots collars lie just below the ground surface. Air pockets should not be left after closing the hole which would allow the roots to dry out. See planting details for further explanation. If the contractor wishes to plant by another method, the preparer of this tree conservation plan must be contacted and give his approval before planting may begin.
7. Spacing: See Plant Schedule and/or Planting Plan for spacing requirements. Also refer to the Planting Layout detail for a description of the general planting theory.
8. Soil: Upon the completion of all grading operations, a soil test shall be conducted to determine what soil preparation and soil amendments, if any, are necessary to create good tree growing conditions. Soil samples shall be taken at a rate that provides one soil sample for each area that appears to have a different soil type (if the entire area appears uniform, then only one sample is necessary), and submitted for testing to a private company.

   The company of choice shall make recommendations for improving the existing soil. The soil will be tested and recommended for corrections of soil texture, pH, magnesium, phosphorous, potassium, calcium and organic matter.
9. Soil Improvement Measures: The soil shall then be improved according to the recommendations made by the testing company.
10. Fencing & Signage: Final protective fencing shall be placed on the visible and/or development side of planting areas. The protective fence shall be installed upon completion of planting operations. Signs shall be posted per the signage detail on this sheet.
11. Planting Method: Consult the Planting Detail(s) shown on this plan.
12. Mulching: Apply 2" thick layer of woodchip or shredded hardwood mulch (as noted) to each planting site (see detail shown on this plan).
13. Groundcover Establishment: The remaining disturbed area between seedling planting sites shall be seeded and stabilized with white clover seed at the rate of 5lbs/acre.
14. Mowing: No mowing shall be allowed in any planting area.
15. Survival Check for Bond Release: The seedling planting is to be checked at the end of each year for two years to assure that no less than 75% of the original planted quantity survives.
16. Source of Seedlings: Md. Forest, Park and Wildlife Service in Bowie, Md.; Phone (301) 464-3065. Ruppert Nurseries, Inc., Laytonsville, Maryland, Phone: (301)-482-0300.

GENERAL NOTES FOR TREE CONSERVATION TYPE II

1. Any tree cutting or clearing on this site not in conformance with this plan or without the expressed written consent of the Planning Director or designee, shall be subject to the mitigation fee of $1.50 per square foot of woodland damaged or destroyed.
2. The Department of Environmental Resources (DER) Inspectors Office, must be contacted prior to the start of any work on the site to address implementation of Tree Conservation Measures shown on this plan.
3. Property owners shall be notified by the Developer or Contractor, of any Woodland Conservation Areas (Tree Save Areas, Reforestation Areas, Afforestation Areas or Selective Clearing Areas) located on their lot or parcel of land and the associated fines for unauthorized disturbances in these areas.
4. All appropriate bonds will be posted with the Building Official prior to the issuance of any permits. These bonds will be retained as surety by the Building Official until all required activities have been satisfied. Three copies of the bonds are submitted with the grading permit application.
5. The location of all Tree Protection Devices (TPD's) shown on this Plan, shall be flagged or staked in the field prior to the pre-construction meeting with the DER inspectors. Upon approval of the flagged or staked TPD locations by the inspector, installation of the TPD's may begin. TPD installation shall be completed prior to installation of initial sediment controls. No cutting or clearing of trees may begin before final approval of the TPD installation.
6. All field personnel, including equipment operators and supervisors who might work or direct work in the vicinity of protected trees are to be instructed in techniques for avoiding damage to these trees.
7. The layout of the construction site shall provide for special, marked areas for fueling, oil changing and equipment maintenance, employee parking and for materials storage and stockpiling. These areas shall be located as to prevent the deposit of silt or the washing or leaching of petroleum products or other harmful substances, into the tree save areas.
8. The following are not allowed within a tree save area:
   - Depositing of refuse, construction debris, spoil, petroleum products and vehicle or equipment waste water.
   - Dumping of limbs, stumps, and other clearing debris.
   - Driving of any vehicle or equipment.
   - Storage or stockpiling of materials and supplies.
   - Lighting of any fire, including cooking or warming fires.
9. Woodland Conservation - Tree Save Areas and/or Reforestation shall be posted as shown at the same time as the Tree Protective Device Installation and/or start of reforestation activities. These signs shall remain in place for five years after completion of work.

OWNER/DEVELOPER

RITCHIE HILL LLC
4640 FORBES BOULEVARD
LANHAM, MARYLAND 20706-4323

Megan Reiser
Megan Reiser
Qualified Professional
COMAR 08.19.06.01

DATE	DESCRIPTION	BY
12/13/07	Revised for Lot 4 layout/ DSP-04080/01	MR
7/9/07	Revised per PGCPB No. 07-85 resolution for DSP-04080/02	KM
9/26/05	Revised to include Phase 2 rough grading.	MR
9/14/05	Revised to address MNCPPC EPS Concerns	MR
7/22/05	REVISED TO ADDRESS MNCPPC EPS RESOLUTION COMMENTS AND TO REFLECT REVISED FLOODPLAIN STUDY INFORMATION	MR

REVISIONS

11721 WOODMORE ROAD, SUITE 200
MITCHELLVILLE, MARYLAND 20721
BEN DYER ASSOCIATES, INC.
Engineers / Surveyors / Planners
TELEPHONE (301) 430-2000

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DRAWN BY: MRC | DESIGNED BY: KH | RECORD NO.
SCALE: 1"=50' | DATE: DECEMBER 2004 | DWG. NO.: 54.008-Z
J-97064

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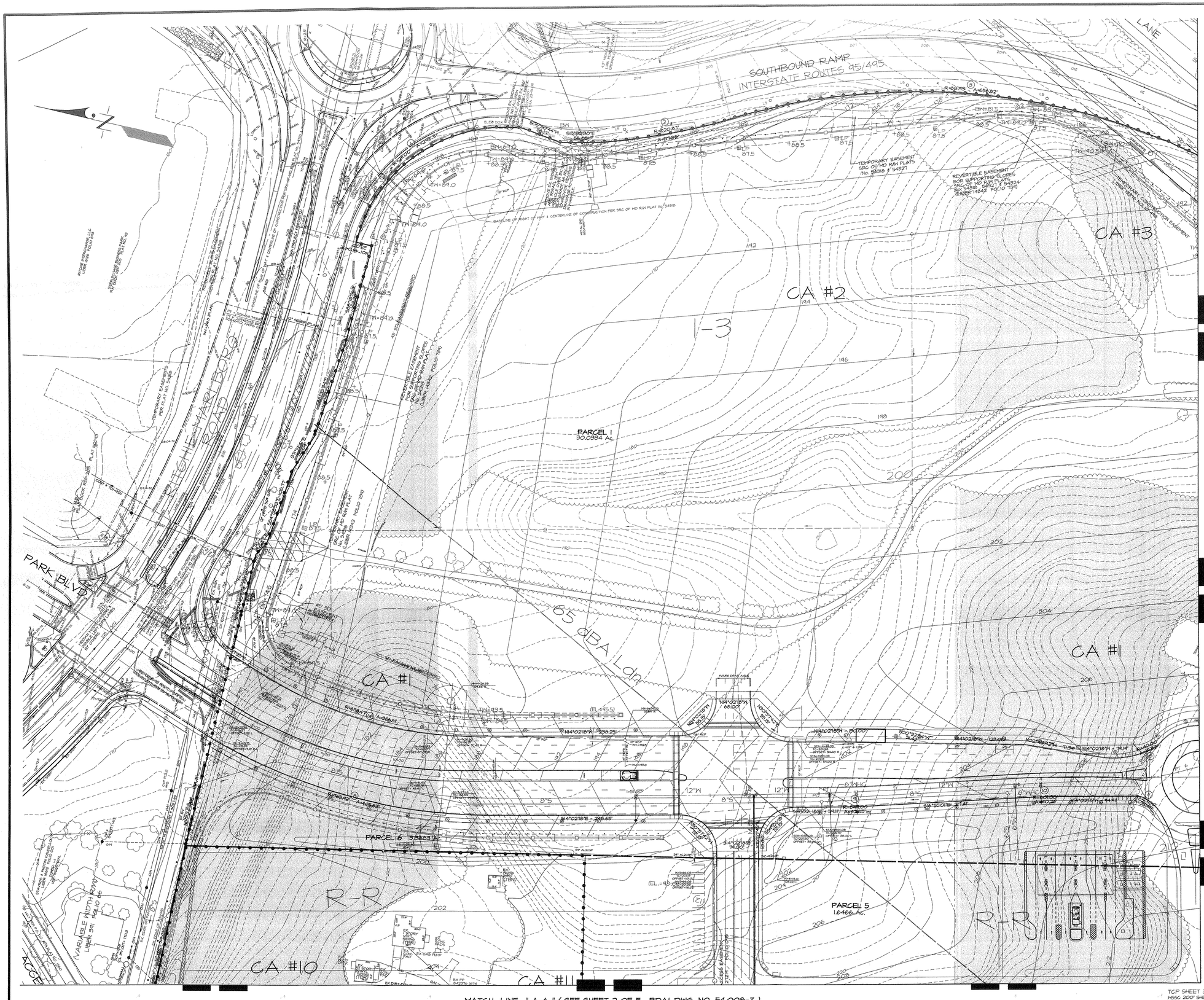

LEGEND

- PROPERTY BOUNDARY
- EX. CONTOUR
- PROP. CONTOUR
- EX. TREELINE (BEFORE TIMBER HARVEST)
- EX. TREELINE (AFTER TIMBER HARVEST)
- LOD (ULTIMATE LIMITS)
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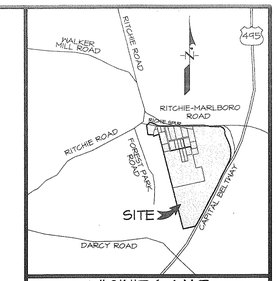
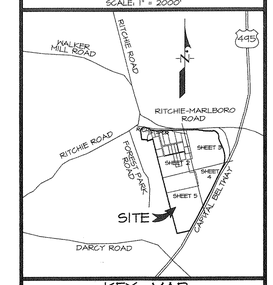
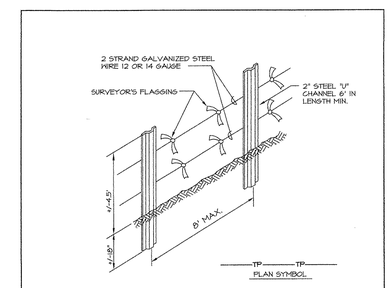


VICINITY MAP
SCALE: 1" = 2000'



KEY MAP
SCALE: 1" = 2000'



NOTES:
1. Forest preservation, specimen tree and re/af-forestation protection device.
2. Protected areas will be set as part of the review process.
3. Boundaries of protected areas should be staked and flagged prior to installing device.
4. Avoid root damage when placing anchor posts.
5. Wire should be securely attached to posts.
6. Device should be properly maintained during construction.
7. Use brightly colored surveyor's flagging every 4'.
8. Protective signage is also recommended.
9. Contractor may use blaze orange tree protection fence or equal according to MD State Forest Conservation Technical Manual Figure D-3.

TREE PROTECTION FENCING - TYPE I
NOT TO SCALE

DSP04080-01

M-NCPPC
Prince George's County Planning Department
Natural Resources Division
APPROVAL
TREE CONSERVATION PLAN
TCP II /203/91

	Approved by	DATE	
	John P. Markovich	10/21/04	
01	Robert E. Metzger	10/6/05	*
02	Kathy Shaulars	8/21/07	***
03	[illegible]	12/28/07	**
04			
05			
06			

* Reviewed with DSP-04080
** Reviewed with DSP-04080/01
*** Reviewed with DSP-04080/02

M-NCPPC APPROVALS			
PROJECT NAME: RITCHIE HILL, PHASE I			
PROJECT NUMBER: DSP- 04080			
For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet Revision Listed Below Apply to This Sheet			
Approval or Revision #	Approval Date	Reviewer's Initials	Certification Date
	06/02/05	RG	12/14/05
02	02/22/07	RG	04/07/07
01	10.30.06	RG	1.7.08

TREE CONSERVATION PLAN - TYPE II
FOR
ROUGH GRADING & INFRASTRUCTURE
LANDS OF APPROVED PLAN
RITCHIE HILL, LLC, et al.

RITCHIE STATION MARKETPLACE

MELWOOD DISTRICT No. 15
PRINCE GEORGE'S COUNTY, MARYLAND

GRAPHIC SCALE 1" = 50'
0 50 100 150

TCP SHEET 3 OF 5
WSSC 200' SHEET SERIES 203 SE 8 ADC MAP BK LOCATION H 6-7&8 AND H-7&8

74
62

OWNER/DEVELOPER
RITCHIE HILL LLC
4640 FORBES BOULEVARD
LANHAM, MARYLAND 20706-4323

12/13/07
DATE

Megan Reiser
Megan Reiser
Qualified Professional
COMAR 08.19.06.01

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REVISIONS

DRAWN BY: SS | DESIGNED BY: MR | CHECKED BY: KH | RECORD NO. J-97064
SCALE 1"=50' | DATE DECEMBER 2004 | DRWG. NO. 54.009-Z

11721 WOODMORE ROAD, SUITE 200
MITCHELLVILLE, MARYLAND 20721
BEN DYER ASSOCIATES, INC.
Engineers / Surveyors / Planners
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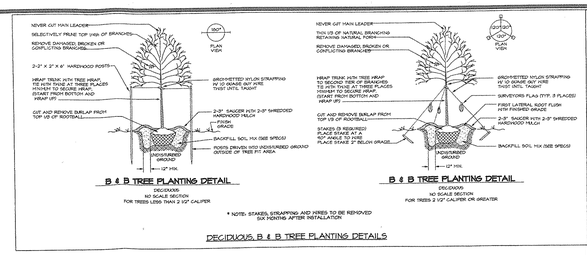


B & B TREE PLANTING DETAIL
DECIDUOUS
NO SCALE SECTION
FOR TREES LESS THAN 2 1/2" CALIPER

B & B TREE PLANTING DETAIL
DECIDUOUS
NO SCALE SECTION
FOR TREES 2 1/2" CALIPER OR GREATER

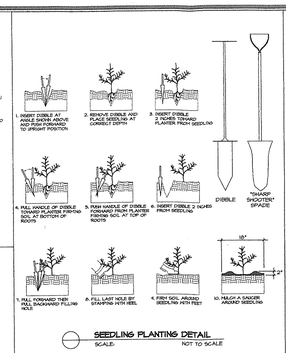
* NOTE: STAKES, STRAPPING AND WIRES TO BE REMOVED SIX MONTHS AFTER INSTALLATION

DECIDUOUS, B & B TREE PLANTING DETAILS

STOCK SPECIFICATION:
1000 SEEDLINGS PER ACRE
TOTAL RE/AFFORESTATION REQUIRED: 5.09 ACRES
TOTAL RE/AFFORESTATION PROVIDED: 5.09 ACRES

Reforestation Area	Acreage	Seedling Selection					Total No. of Seedlings
		Tulip Poplar	Sweet Gum	Red Maple	Red Oak	American Beech	
1	2.44	488	488	488	488	488	2,440
2	2.65	530	530	530	530	530	2,650
TOTAL	5.09	1,018	1,018	1,018	1,018	1,018	5,090

NOTE:
1 - All tree/shrub species planted within the re/afforestation areas, should be randomly distributed throughout the proposed re/afforestation area, so as to promote a natural woodland structure.
2 - In the event of species unavailability, a substitution may be made. Any substitution made requires written notification to MNCPPC, Environmental Planning Section.



SEEDLINGS PLANTING DETAIL
SCALE:- NOT TO SCALE

Forest Conservation Manual
Chapter 3: Forest Conservation Plan
Section 3.6: Reforestation and Afforestation Procedures

Figure 3.6.6 Handling Seedlings in the Field

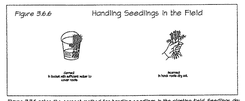
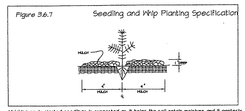


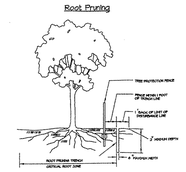
Figure 3.3.6 notes the correct method for handling seedlings in the planting field. Seedlings dry out very quickly and, once dry, often are not usable even after rehydrating.

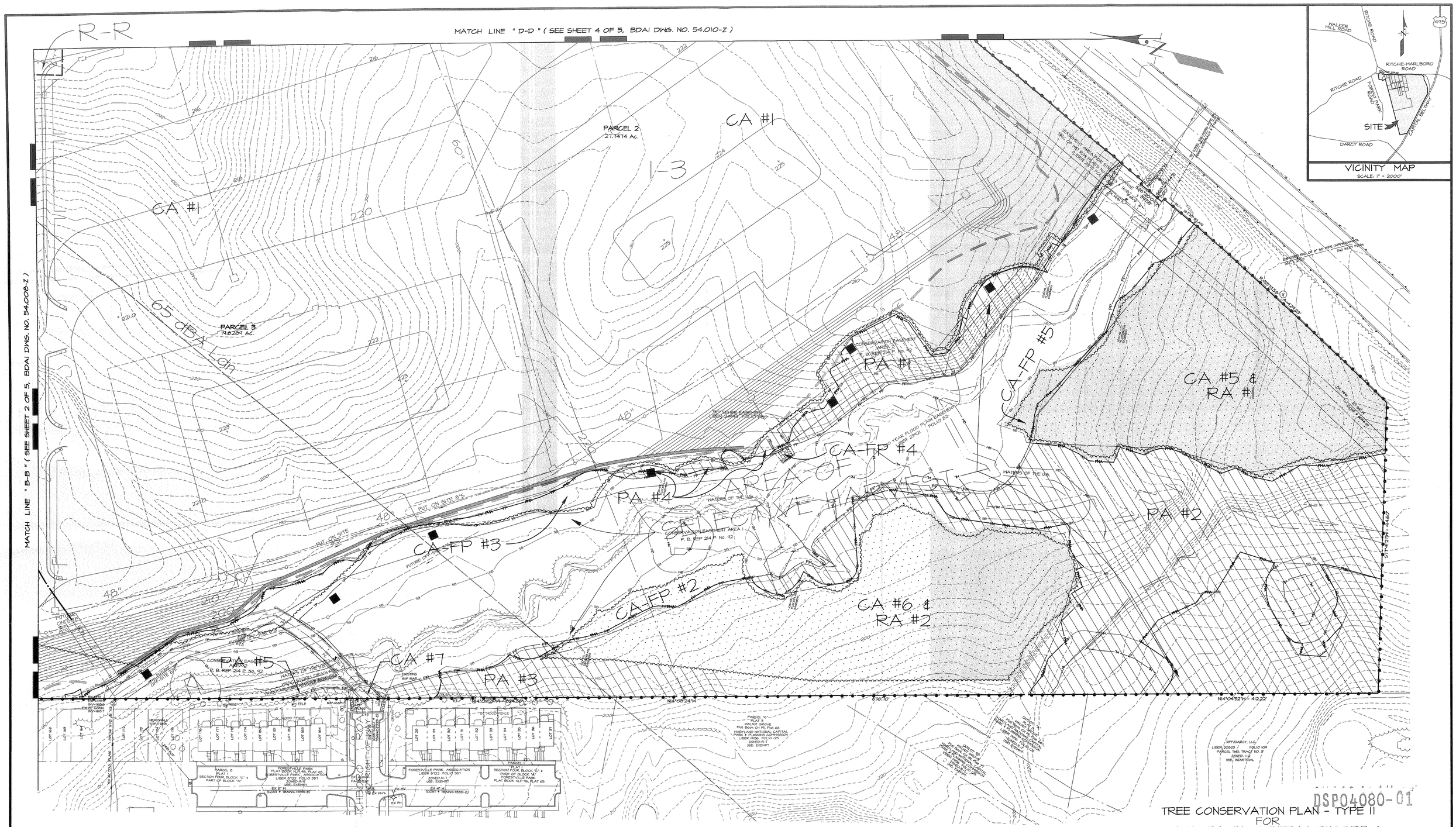
Figure 3.6.7 Seedling and Whip Planting Specification



Mulching newly planted seedlings is suggested as it helps the soil retain moisture and it protects the seedling from compaction and stem injury.

Root Pruning


TREE PROTECTION FENCE
TREE WITH 1 FOOT OF TRUNK FLARE
TRUNK OF LAST OF REMAINING LIVE ROOTS
2" MINIMUM DEPTH
ROOT PRUNING TRENCH (VERTICAL ROOT ZONE)
Z
Z
Z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MATCH LINE " B-B " (SEE SHEET 2 OF 5, BDAI DWG. NO. 54.008-Z)
R-R
PARCEL 2
21.7414 Ac.
PARCEL 3
14.6284 Ac.
CA #1
I-3
65 dBA Ldn
CA-FP #5
CA #5 &
RA #1
CA-FP #4
PA #1
PA #4
PA #2
CA-FP #3
CA-FP #2
CA #6 &
RA #2
CA #5
CA #7
PA #3
CONSERVATION EASEMENT AREA 1
P. B. REP 214 P. No. 42
CONSERVATION EASEMENT AREA 3
P. B. REP 214 P. No. 42
WATERS OF THE U.S.
FUT. ON SITE B-5
FUTURE OFF SITE
EXISTING ROW BASELINE
N14°08'24"W - 824.50'
N14°08'24"W
N14°04'52"W - 412.22'
PARCEL "C"
FLAT 3
WALNUT GROVE
Plat Book CH 116, Plat 66
MARYLAND NATIONAL CAPITAL
PARK & PLANNING COMMISSION
LIBER 14198 FOLIO 425
ZONED: R-T
USE: EXEMPT
RPF/DARGY, LLC
LIBER 20825 / FOLIO 109
PARCEL TWO, TRACT NO. 3
ZONED: I-3
USE: INDUSTRIAL
PARCEL B
FLAT 1
SECTION FOUR BLOCK "C" 1
PART OF BLOCK "A"
FORESTVILLE PARK
PLAT BOOK NLP 90, PLAT 65
FORESTVILLE PARK ASSOCIATION
LIBER 8122 FOLIO 381
ZONED: R-T
USE: EXEMPT
PARCEL A
FLAT 2
SECTION FOUR BLOCK "C" 1
PART OF BLOCK "A"
FORESTVILLE PARK
PLAT BOOK NLP 90, PLAT 65
EX. R/W
(CONT # 18AHCT333-E)
EX. PAVEMENT
EX. INV.
EX. PM
EX. TELE
WOOD FENCE
HEADWALL
EX. CONC. INV.
EX. CONC. DRAINAGE DITCH
EX. PIPE
EX. CONC. FLUME
EX. CONC. DRAINAGE DITCH
EX. CONC. FLUME
EXISTING ROW BASELINE
EX. CONC. DRAINAGE DITCH
EX. CONC. FLUME