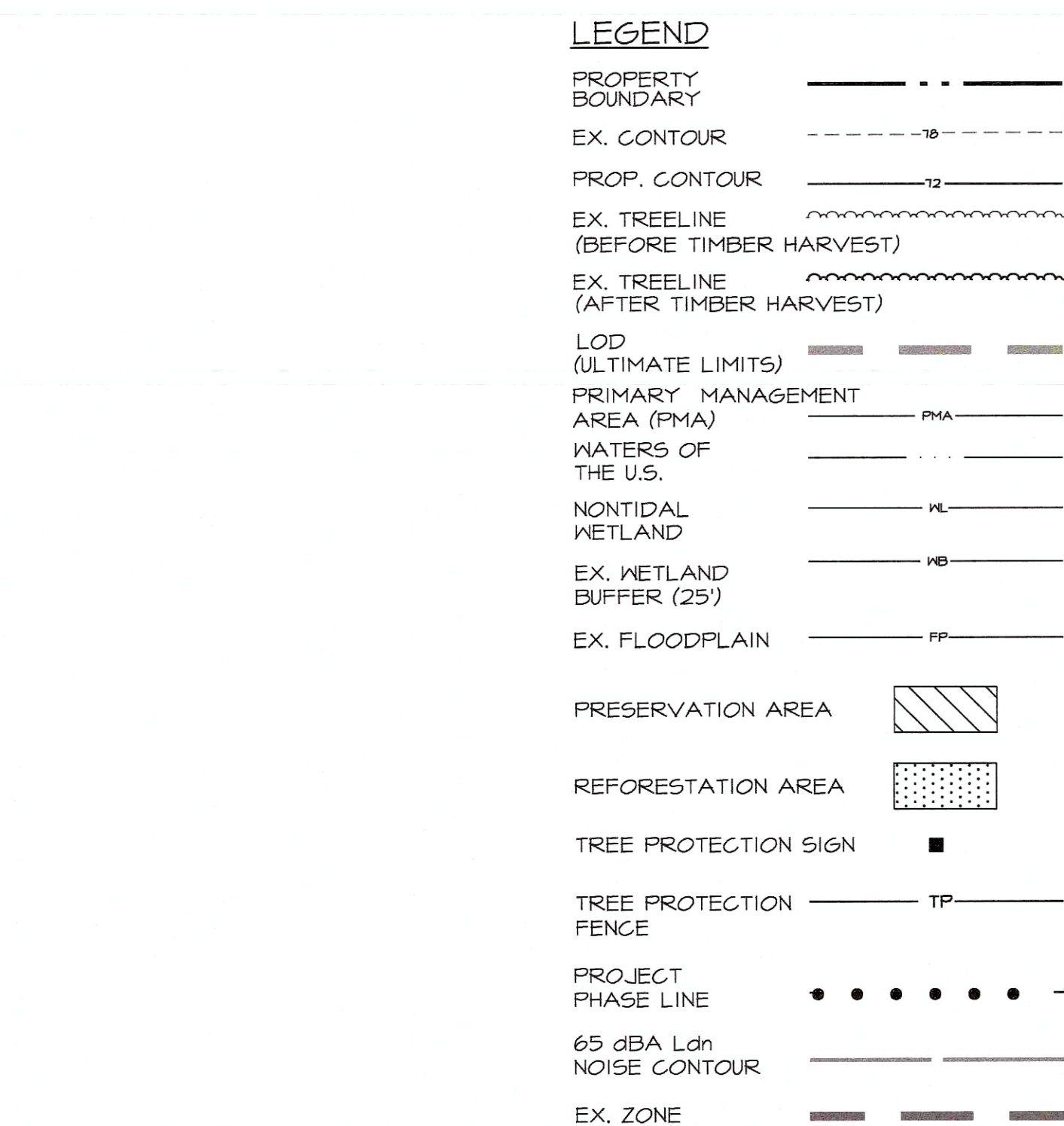




<u>BREAK-EVEN POINT (PRESERVATION ACRES):</u>	<u>31.50</u>
<u>ACRES OF NET TRACT CLEARING</u>	
<u>PERMITTED W/O REFORESTATION:</u>	<u>56.52</u>

PHASE I	PHASE II	TOTAL	
GROSS TRACT AREA	101.83	121.66	
FLOODPLAIN AREA IN THE APPLICATION:	5.81	0.00	5.81
NET TRACT AREA IN THE APPLICATION:	45.86	14.83	15.74
WOODLAND ON THE NET TRACT FOR THE PHASE:	80.23	7.14	96.02
WOODLAND IN THE FLOODPLAIN FOR THE PHASE:	5.81	0.00	5.81
WOODLAND CLEARED ON NET TRACT FOR THE PHASE:	71.53	7.14	74.32
WOODLAND CLEARED IN FLOODPLAIN FOR THE PHASE:	0.15	0.00	0.15
OFF-SITE WOODLAND CLEARINGS (1.1):	0.00	0.00	0.00
OFF-SITE MITIGATION PROVIDED ON THIS PROPERTY:	0.00	0.00	0.00
CUMULATIVE ACRES OF NET TRACT WOODLAND CLEARED:	71.53	74.32	
CUMULATIVE ACRES OF FLOODPLAIN WOODLAND CLEARED:	0.15	0.15	
SMALLER OF D OR E:	70.65	70.65	
WOODLAND CLEARING BELOW PCT:	0.88	8.61	
REPLACEMENT FOR CLEARING ABOVE THE PCT (0.25/1):	17.66	17.66	
REPLACEMENT FOR CLEARING BELOW THE PCT (2.11):	1.16	17.35	
AFFORESTATION THRESHOLD (AFT) = 12.84%			
CUMULATIVE WOODLAND CONSERVATION REQUIRED:	36.66	44.45	
LATEST PHASE INDICATES QUALIFYING THRESHOLD THAT PHASE OF WORK			
WOODLAND CONSERVATION PROVIDED:			TOTAL
PRESERVATION	5.26	0.00	5.26
REFORESTATION	0.01	0.00	0.01
AFFORESTATION	0.00	0.00	0.00
AREA APPROVED FOR FEE-IN-LIEU	0.00	0.00	0.00
CREDIT FOR OFF-SITE MITIGATION ON ANOTHER PROPERTY	24.00	7.86	36.86
OFF-SITE MITIGATION PROVIDED ON THIS PROPERTY	0.00	0.00	0.00
TOTAL WOODLAND CONSERVATION PROVIDED	29.26	41.21	41.21

PRESERVATION AREAS (PA)	
No.	AREA (AC)
1	0.56
2	4.13
3	0.51
4	0.05
5	0.01
TOTAL	5.26

REFORESTATION AREAS (RA)	
No.	AREA (AC)
1	2.44
2	2.65
TOTAL	5.09

RITCHIE HILL PRE AND POST HARVESTING SUMMARY			
	PHASE I	PHASE II (REMAINDER)	ENTIRE SITE
GROSS TRACT	101.83	14.83	121.66
EX. FLOODPLAIN	5.81	0	5.81
NET TRACT	95.96	14.83	115.74
EX. WOODLAND - NET TRACT (PRIOR TO TIMBER HARVEST)	80.23	1.71	86.02
EXISTING WOODLAND - NET TRACT (AFTER TIMBER HARVEST)	6.85	2.15	4.00
WOODED FLOODPLAIN (PRIOR TO TIMBER HARVEST)	5.81	0	5.81
WOODED FLOODPLAIN (AFTER TIMBER HARVEST)	5.30	0	5.30

10/28/19	Revised to add Parcel 28 Auto Spa	F
DATE	REVISIONS DESCRIPTION	

TREE CONSERVATION PLAN - TYPE II
FOR
ROUGH GRADING & INFRASTRUCTURE
LANDS OF
RITCHIE HILL, LLC, et al.

RITCHIE STATION MARKETPLACE

MELWOOD DISTRICT No. 15
PRINCE GEORGE'S COUNTY, MARYLAND

GRAPHIC SCALE 1" = 200'

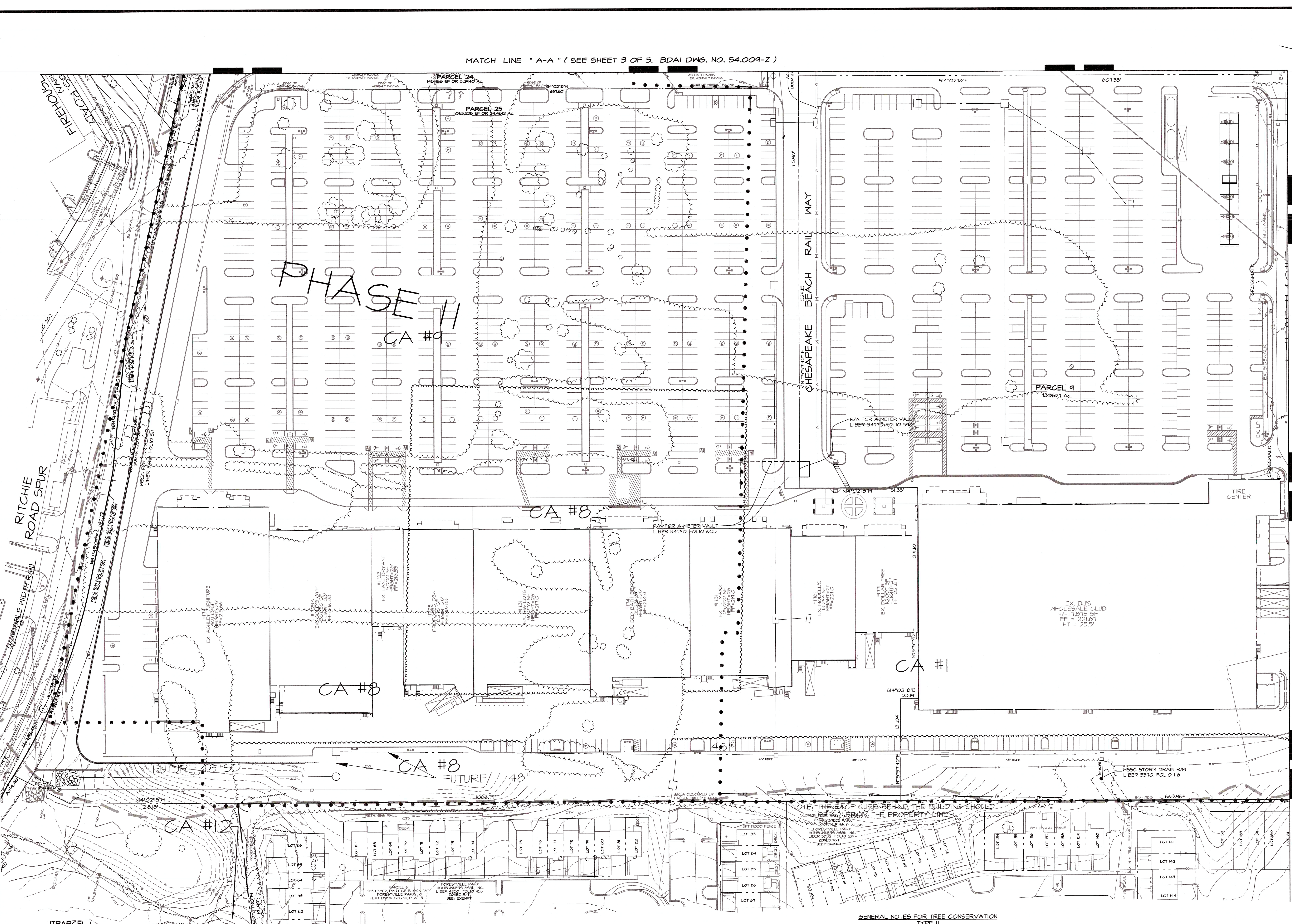
TGP SHEET 1 OF 5
MSSC 200' SHEET SERIES 203 SE-8 ADG MAP BK LOCATION (N 6-718 AND N-718)

DATE	REVISION	PC/N	DESCRIPTION
10/23/2016	Revised for DSP-040801/S and to update the current layout and parcels	PC/N	17571 WOODMOON ROAD, STATE 500
12/13/2017	Revised for Lot 4 layout/DSP-040801/OI	N/R	MITCHELLVILLE, MARYLAND 20721
7/19/2017	Revised per PCHS/B no. 07-35 resolution for DSP-040801/O2	K/M	BEN DYER ASSOCIATES, INC. Engineers / Surveyors / Planners TELEPHONE (301) 430-2000
9/26/2016	Revised to include Phase 2 rough grading	K/M	COPYRIGHT © 2006 BEN DYER ASSOCIATES, INC.
9/19/05	Revised to address MCMPP, EIS concerns	N/R	SHOWN BY REVISION # FOR DESIGN REVISION RECORD NO. 0057
12/21/05	REVISED TO ADDRESS MCMPP, EIS RESOLUTION COMMENTS AND TO REFLECT REVISED FLOODPLAIN STUDY INFORMATION	N/R	"1"=200' J-97064
DATE	DATE	BY	DWG. NO. 54.001-Z
JUN167-BROVA-DWGS-107 sheets	PHI-SAMS-dwgs, III(2/28/2013)-336-50, PH. mcmpp	DATE	DECEMBER 2004

Mike Petrakis
Qualified Professional
COMAR 08.15.06.01

PC/N

RY



MATCH LINE "A-A" (SEE SHEET 3 OF 5, BDAI DWG. NO. 54.009-Z)

MATCH LINE "B-B" (SEE SHEET 5 OF 5, BDAI DWG. NO. 54.011-Z)

VICINITY MAP
SCALE: 1" = 2000'

KEY MAP
SCALE: 1" = 2000'

LEGEND

- PROPERTY BOUNDARY
- EX. CONTOUR
- PROP. CONTOUR
- EX. TREELINE (BEFORE TIMBER HARVEST)
- EX. TREELINE (AFTER TIMBER HARVEST)
- LOD (ULTIMATE LIMITS)
- PRIMARY MANAGEMENT AREA (PMA)
- WATERS OF THE U.S.
- NONTIDAL WETLAND
- EX. WETLAND BUFFER (25')
- EX. FLOODPLAIN
- PRESERVATION AREA
- REFORESTATION AREA
- TREE PROTECTION SIGN
- TREE PROTECTION FENCE
- PROJECT PHASE LINE
- 65 dBA Ldn NOISE CONTOUR
- EX. ZONE

OWNER/DEVELOPER
RITCHIE HILL LLC
4640 FORBES BOULEVARD
LANHAM, MARYLAND 20706-4323

THE MARYLAND NATIONAL CAPITAL PARK AND PLANNING SECTION
APPLICATION NAME: RITCHIE STATION MARKETPLACE (AUTO SPA EXPRESS)
APPLICATION NO.: DSP-04080-22
TOP NO.: TOP-2003-01-05
SIGNATURE APPROVAL OF THIS PLAN IS IN ACCORDANCE WITH PLANNING DIRECTOR APPROVAL DATED NOVEMBER 21, 2019.
SIGNATURE APPROVAL DATE: 11/19/2019
Jill Kosack
Authorized Signature

PLANTING SPECIFICATIONS FOR RE/AFFORESTATION AREAS

- Quantity: (See Plant Schedule)
- Type: (See Plant Schedule)
- Plant Quality Standards: The plants selected shall be healthy and sturdy representatives of their species. Seedlings shall have a minimum top growth of 18". The diameter of the root collar (the part of the root just below ground level) shall be at least 3/8". The roots shall be well developed and at least 8" long. No more than twenty-five percent (25%) of the root system (both primary and auxiliary/tertiary) shall show evidence of being cut (pruned) or stripped from the plant during the digging process. Substantial auxiliary/tertiary roots shall be present.
- Plants that do not have an abundance of well developed terminal buds on the leaders and branches shall be rejected.
- Plants shall be shipped by the nursery immediately after lifting from the field or removal from the greenhouse, and planted immediately upon receipt by the landscape contractor.
- If the plants cannot be planted immediately after delivery to the reforestation site, they shall be stored in the shade with their root masses protected from direct exposure to sun and wind by the use of straw, peat moss, compost, or other suitable material and shall be maintained through periodic watering, until the time of planting.
- Plant Handling: The quantity of seedlings taken to the field shall not exceed the quantity that can be planted in a day. Seedlings, once removed from the nursery or temporary storage area shall be planted immediately.
- Timing of Planting: The best time to plant seedlings is while they are dormant, prior to spring budburst. The most suitable months for planting are March and April, when the soil is moist. November and early December are also acceptable planting times for this region as cool and cloudy weather is considered ideal. Planting shall occur within one growing season of the issuance of grading/building permits and/or reaching the final grades and stabilization of planting areas.
- Seeding Planting: Tree seedlings can be hand planted using a dibble bar or sharp-shooter shovel. It is important that the seedling be placed in the hole so that the roots can spread out naturally; they should not be inhibited, rolled up, or bent. Moist soil should then be packed firmly around the roots. Seedlings should be planted at a depth where their roots collars lie just below the ground surface. Air pockets should not be left after closing the hole which would allow the roots to dry out. See planting details for further explanation. If the contractor wishes to plant by another method the preparer of the tree conservation plan must be contacted and give his approval before planting may begin.
- Spacing: See Plant Schedule and/or Planting Plan for spacing requirements. Also refer to the Planting Layout detail for a description of the general planting theory.
- Soil: Upon the completion of all grading operations, a soil test shall be conducted to determine what soil preparation and soil amendments, if any, are necessary to create good tree growing conditions. Soil samples shall be taken at a rate that provides one soil sample for each area that appears to have a different soil type (if the entire area appears uniform, then only one sample is necessary), and submitted for testing to a private company.
- The company of choice shall make recommendations for improving the existing soil. The soil will be tested and recommended for corrections of soil textures, pH, magnesium, phosphorus, potassium, calcium and organic matter.
- Soil Improvement Measures: The soil shall then be improved according to the recommendations made by the testing company.
- Fencing & Signage: Final protective fencing shall be placed on the visible and/or development side of planting areas. The protective fence shall be installed upon completion of planting operations. Signs shall be posted per the signage detail on this sheet.
- Planting Method: Consult the Planting Detail(s) shown on this plan.
- Mulching: Apply 2" thick layer of woodchip or shredded hardwood mulch (as noted) to each planting site (see detail shown on this plan).
- Groundcover Establishment: The remaining disturbed area between seeding planting sites shall be seeded and stabilized with white clover seed at the rate of 5 lbs./acre.
- Mowing: No mowing shall be allowed in any planting area.
- Survival Check for Bond Release: The seedling planting is to be checked at the end of each year for two years to assure that no less than 75% of the original planted quantity survives.
- Source of Seedlings: Md. Forest, Park and Wildlife Service in Bowie, Md.; Phone (301) 464-3065; Ruppert Nurseries, Inc., Laytonville, Maryland; Phone: (301)-482-0300.
- Any tree cutting or clearing on this site not in conformance with this plan or without the expressed written consent of the Planning Director or designee, shall be subject to the mitigation fee of \$150 per square foot of woodland damaged or destroyed.
- The Department of Environmental Resources (DER) Inspectors Office, must be contacted prior to the start of any work on the site to address implementation of Tree Conservation Measures shown on this plan.
- Property owners shall be notified by the Developer or Contractor, of any Woodland Conservation Areas (Tree Save Areas, Reforestation Areas, Afforestation Areas or Selective Clearing Areas) located on their lot or parcel of land and the associated fines for unauthorized disturbances in these areas.
- All appropriate bonds will be posted with the Building Official prior to the issuance of any permits. These bonds will be retained as surety by the Building Official until all required activities have been satisfied. Three copies of the bonds are submitted with the grading permit application.
- The location of all Tree Protection Devices (TPD's) shown on this Plan, shall be flagged or staked in the field prior to the pre-construction meeting with the DER Inspectors. Upon approval of the flagged or staked TPD locations by the Inspector, installation of the TPD's may begin. TPD installation shall be completed prior to installation of initial sediment controls. No cutting or clearing of trees may begin before final approval of the TPD installation.
- All field personnel, including equipment operators and supervisors who might work or direct work in the vicinity of protected trees are to be instructed in techniques for avoiding damage to these trees.
- The layout of the construction site shall provide for special, marked areas for fueling, oil changing and equipment maintenance, employee parking and for materials storage and stockpiling. These areas shall be located as to prevent the deposit of silt or the washing or leaching of petroleum products or other harmful substances, into the tree save areas.
- The following are not allowed within a tree save area:
 - Depositing of refuse, construction debris, spoil, petroleum products and vehicle or equipment waste water.
 - Dumping of limbs, stumps, and other clearing debris.
 - Driving of any vehicle or equipment.
 - Storage or stockpiling of materials and supplies.
 - Lighting of any fire, including cooking or warming fires.
- Woodland Conservation - Tree Save Areas and/or Reforestation shall be posted as shown at the same time as the Tree Protective Device Installation and/or start of reforestation activities. These signs shall remain in place for five years after completion of work.

GENERAL NOTES FOR TREE CONSERVATION TYPE II

Prince George's County Planning Department, M-NCPPC
Environmental Planning Section
TREE CONSERVATION PLAN APPROVAL
TCP 2 - 203 - 91

Approved by	Date	DRD #	Reason for Revision
00 John P. Markovich	10-21-04		Timber harvest
01 Robert E. Metzger	10-06-05	DSP-04080	Whole site infrastructure
02 Katrina Shoulers	8-31-07	DSP-04080/01	Same club, retaining wall & welcome center
03 Katrina Shoulers	12-28-07	DSP-04080/02	Minor Revisions
04 Megan K. Balser	12-28-16	DSP-04080/18	Develop Parcel 20 and Parcel 22
05 Bill Schuler	11/19/2019	DSP-04080/22	Develop Parcel 28 Auto Spa
06			

TREE CONSERVATION PLAN - TYPE II
FOR
ROUGH GRADING & INFRASTRUCTURE
LANDS OF
RITCHIE HILL, LLC, et al.
RITCHIE STATION MARKETPLACE
MELWOOD DISTRICT No. 15
PRINCE GEORGE'S COUNTY, MARYLAND

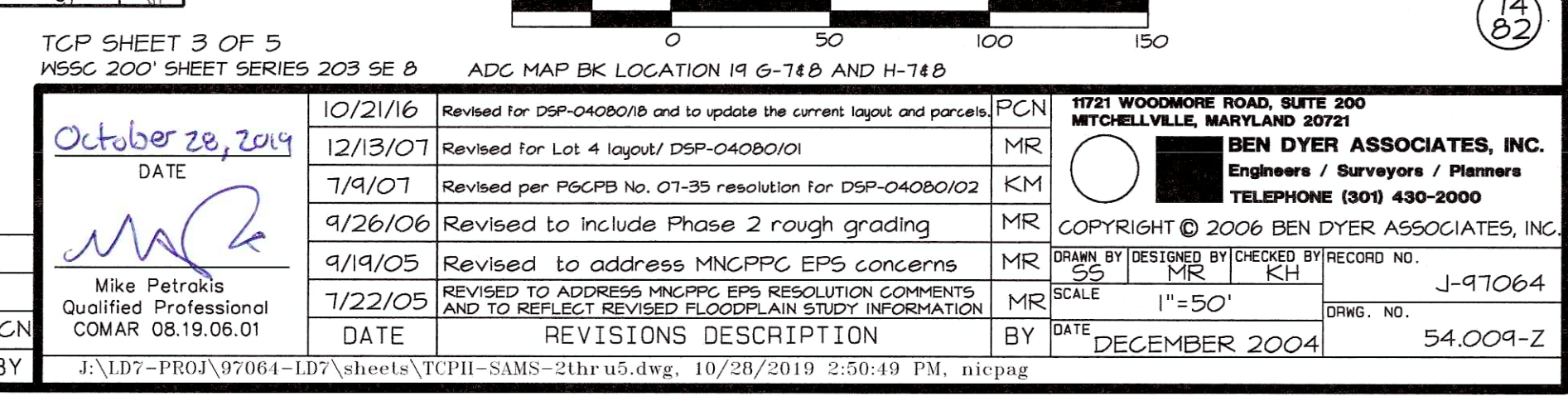
GRAPHIC SCALE 1" = 50'

TCP SHEET 2 OF 5
10/28/2019
October 28, 2019
Mike Petrakis
Qualified Professional
COMAR 08.19.06.01

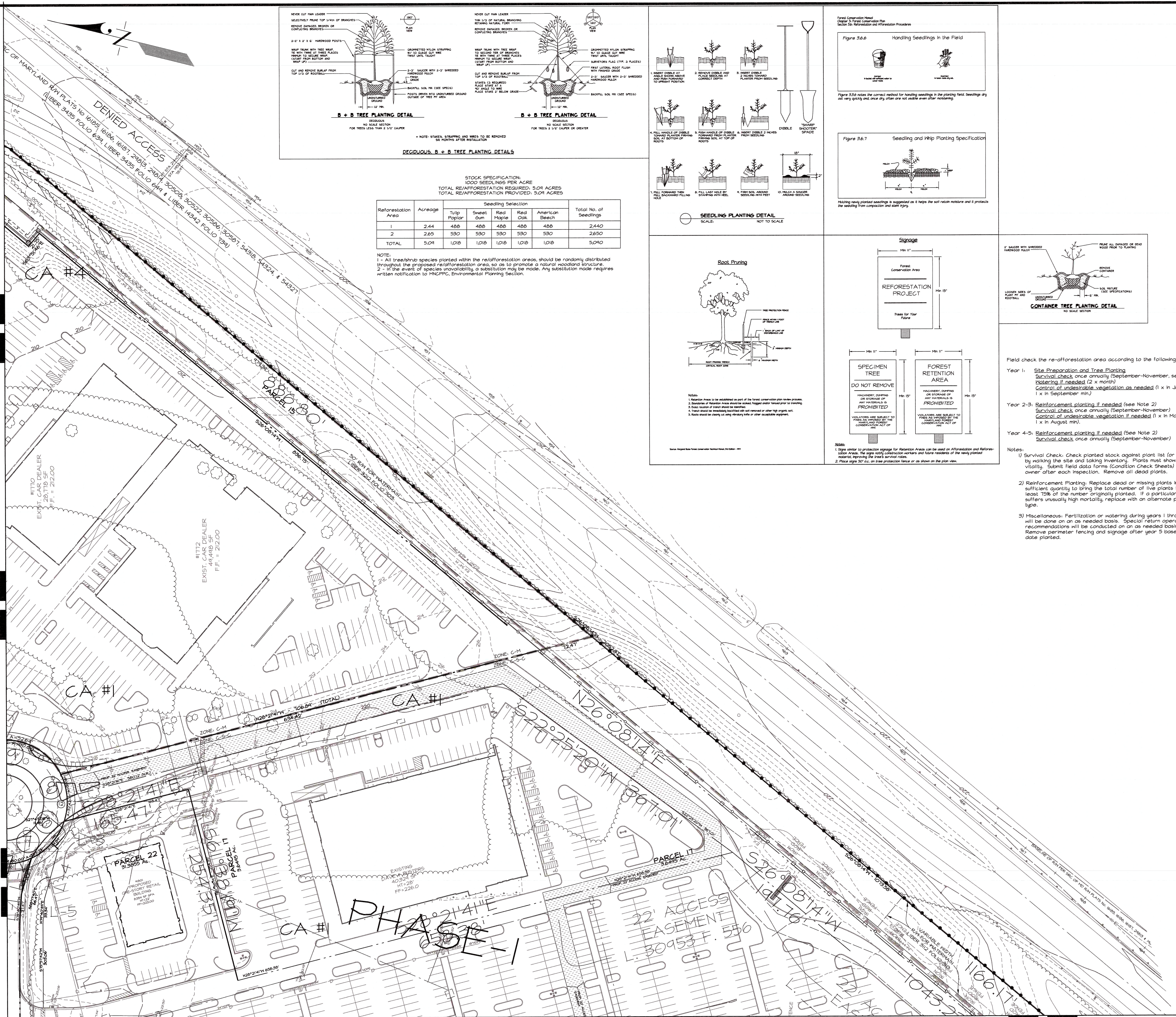
DATE	REVISIONS DESCRIPTION	PCN	BY
10/28/19	Revised to add Parcel 28 Auto Spa		

ADG MAP BK LOCATION 19 G-74B AND H-74B

1721 WOODMOORE ROAD, SUITE 200
MITCHELLVILLE, MARYLAND 20701
BEN DYER
Engineers / Surveyors / Planners
TELEPHONE (301) 450-2000
COPYRIGHT © 2006 BEN DYER ASSOCIATES, INC.
DRAWN BY: JEFFREY D. WYCKOFF TO: J-91064
SCALE: 1"=50'
DATE: DECEMBER 2004
DWG. NO.: 54.008-Z



10/28/19	Revised to add Parcel 28 Auto Spa	P
DATE	REVISIONS DESCRIPTION	E



MATCH LINE "D-D" (SEE SHEET 5 OF 5, BDAI DWG. NO. 54.011-Z)

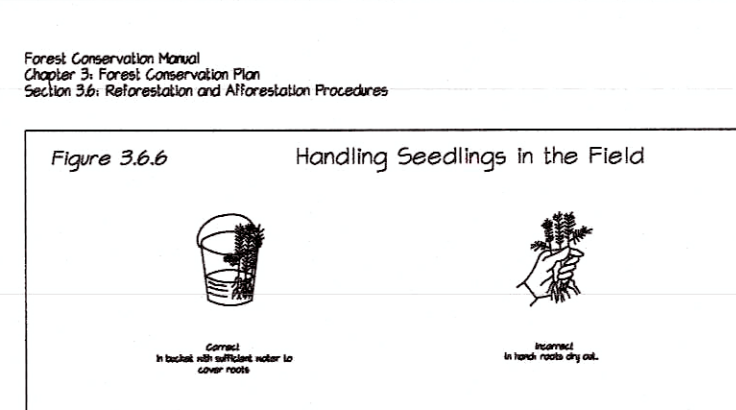
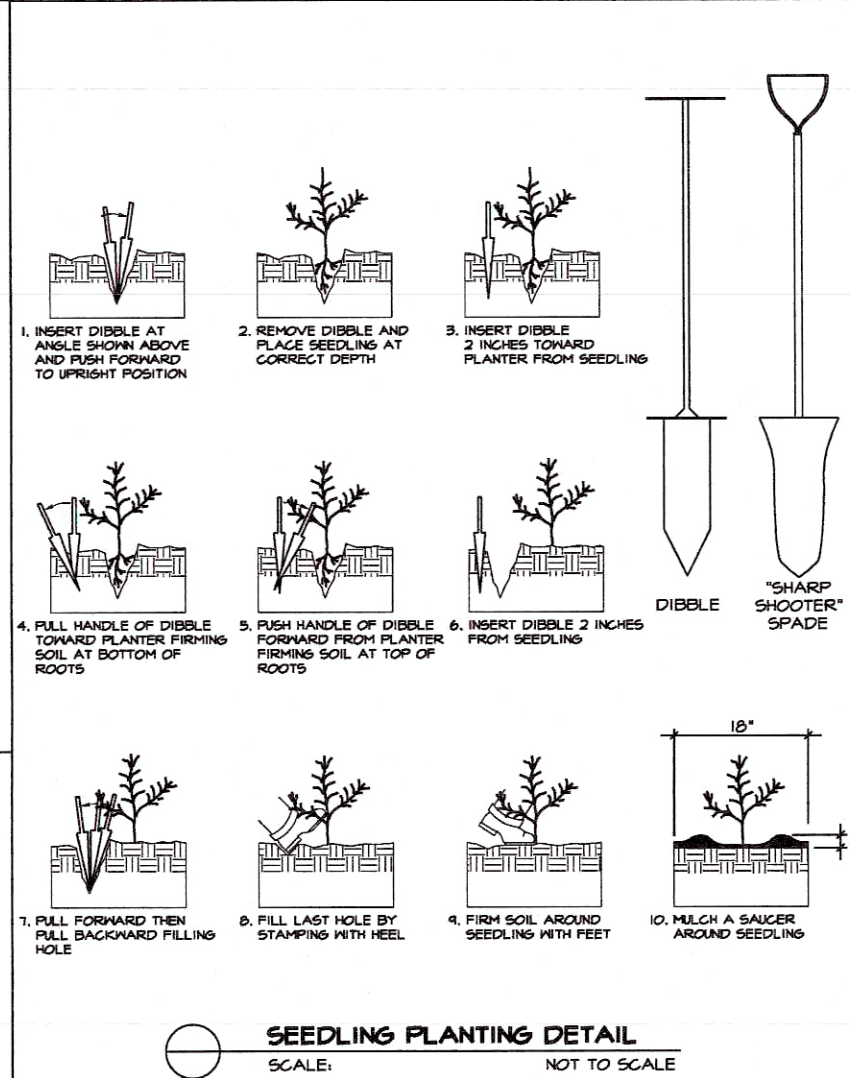
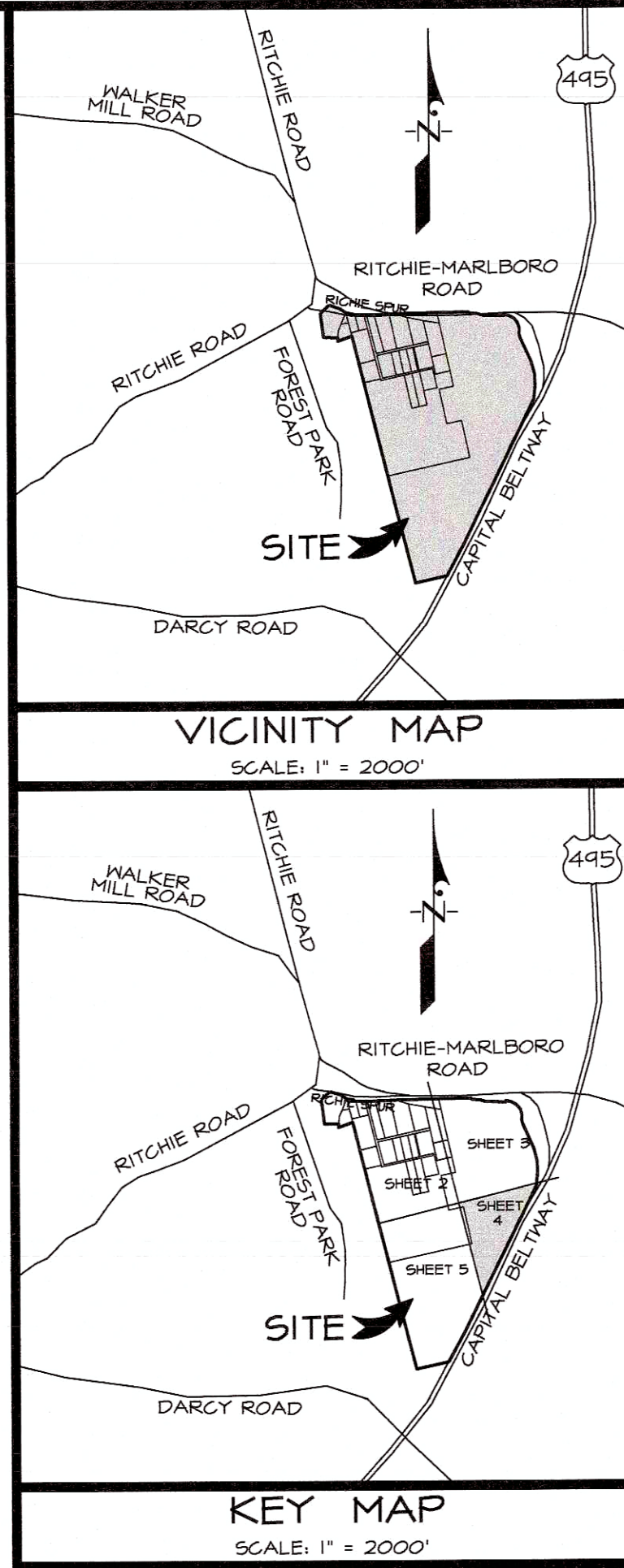
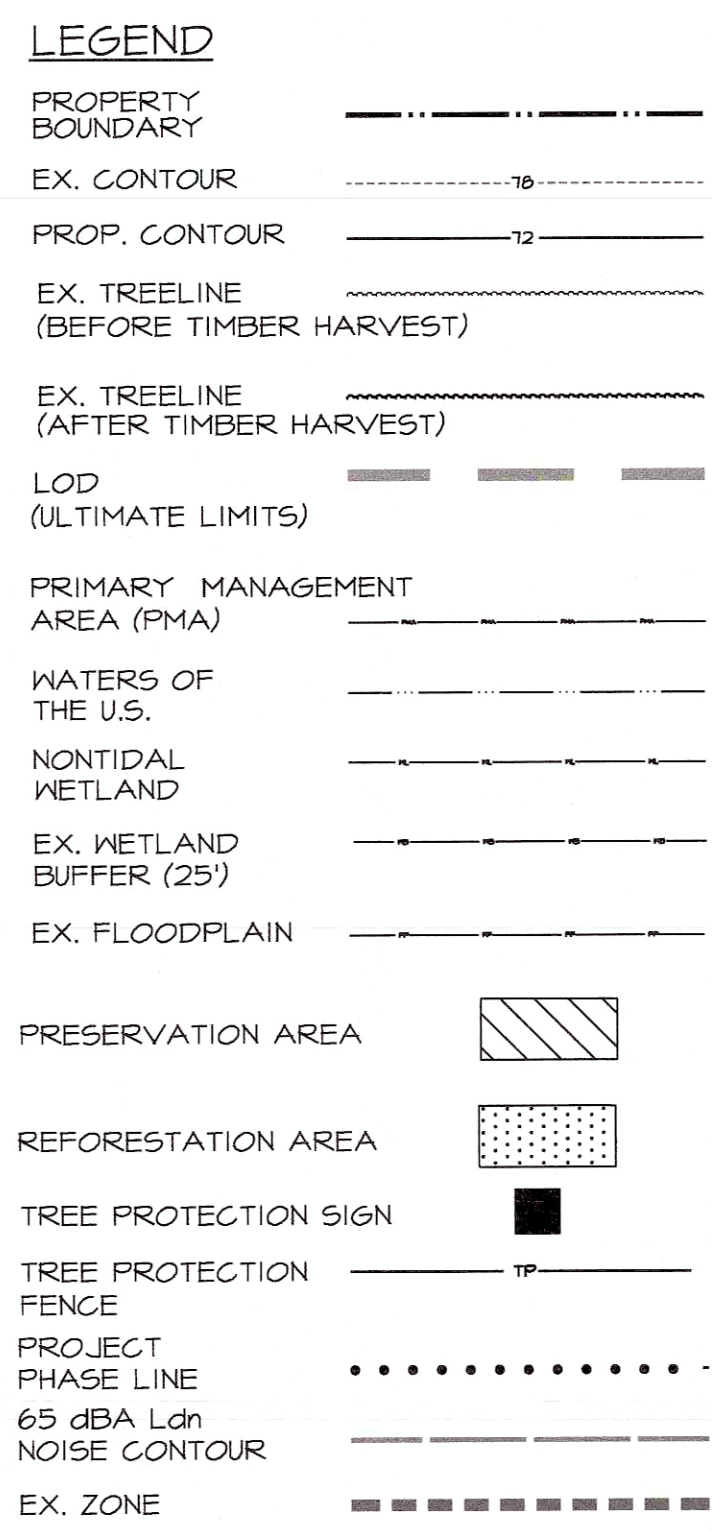


Figure 3.6.6 Handling Seedlings in the Field

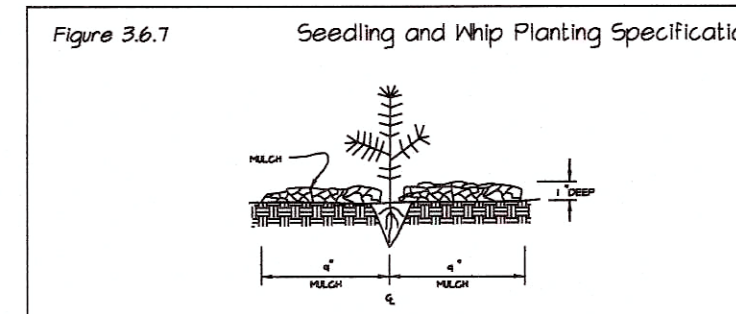
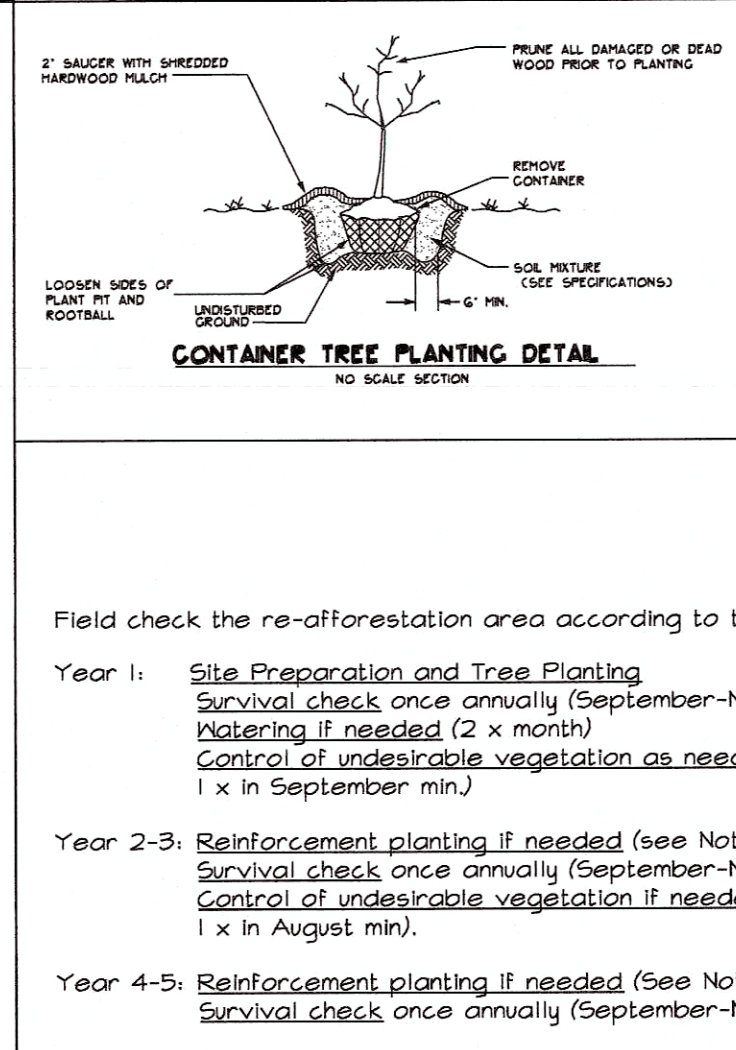
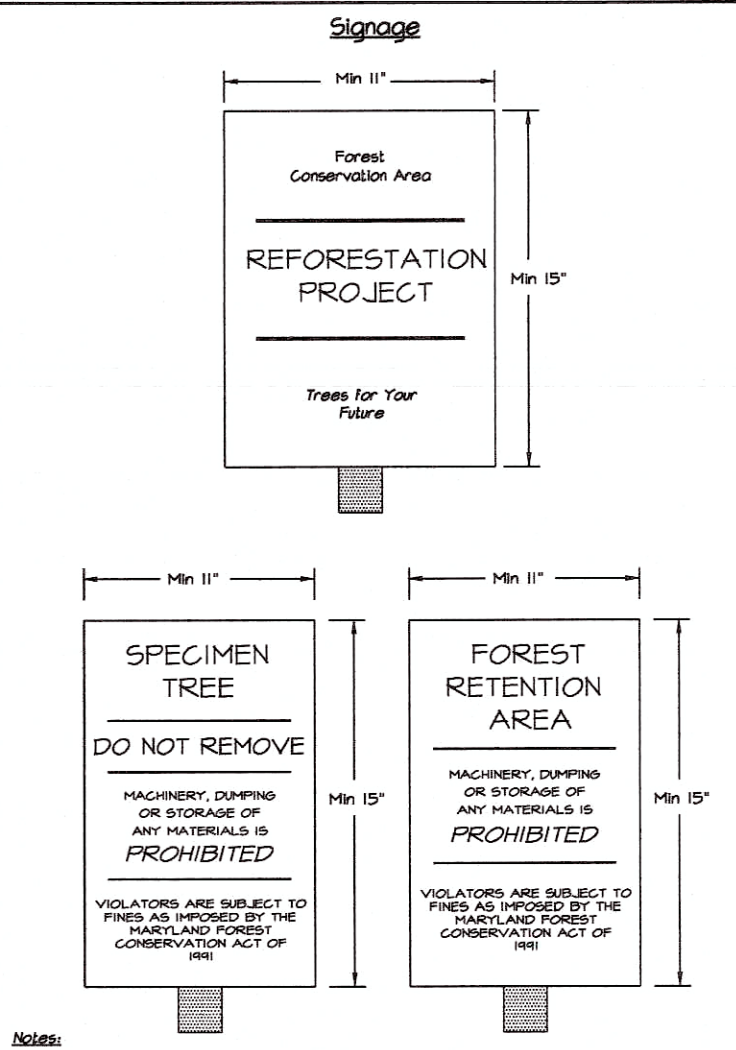
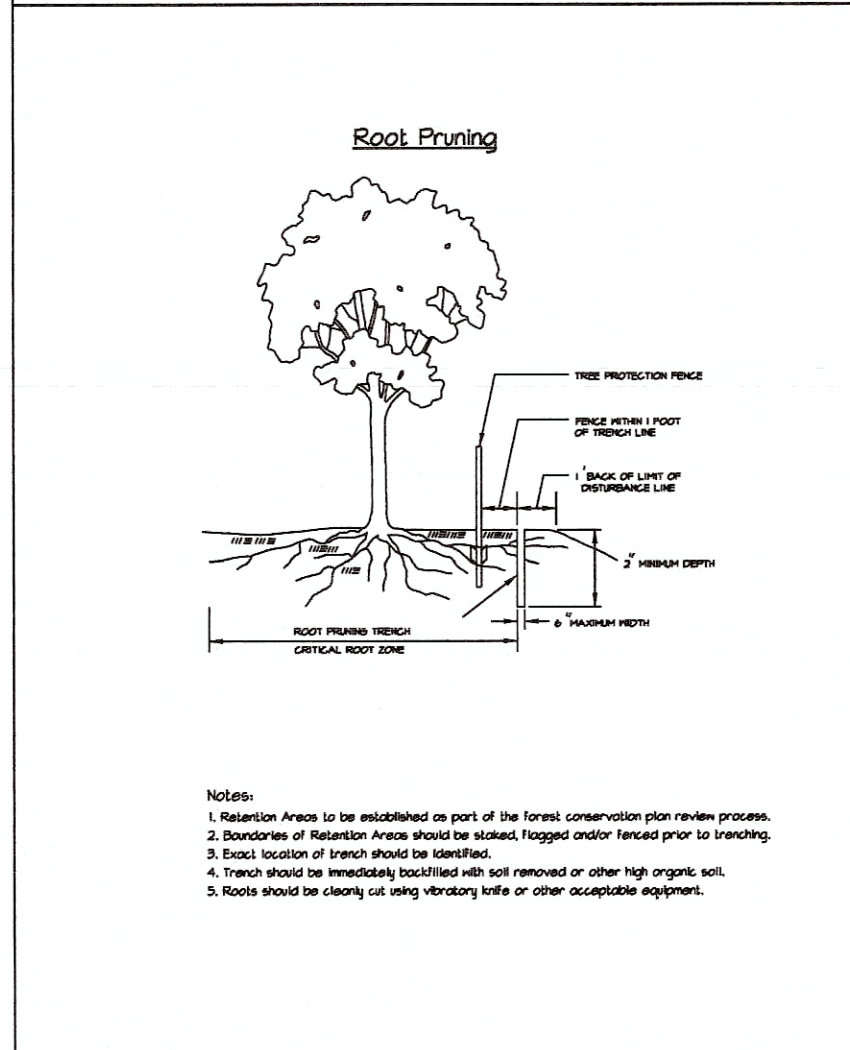
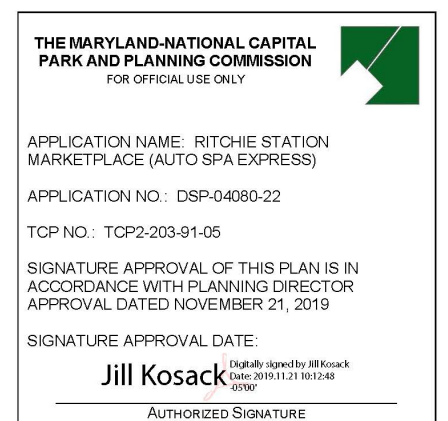


Figure 3.6.7 Seeding and Whip Planting Specification



Field check the re-afforestation area according to the following schedule:

- Year 1: **Site Preparation and Tree Planting**
Survival check once annually (September-November, see Note 1)
Watering if needed (2 x month)
Control of undesirable vegetation as needed (1 x in June & 1 x in September min)
- Year 2-3: **Reinforcement planting if needed** (see Note 2)
Survival check once annually (September-November)
Control of undesirable vegetation if needed (1 x in May & 1 x in August min)
- Year 4-5: **Reinforcement planting if needed** (see Note 2)
Survival check once annually (September-November)
- Notes:
- Survival Check: Check planted stock against plant list (or as-built) by walking the site and taking inventory. Plants must show vitality. Submit field data forms (Condition Check Sheets) to owner after each inspection. Remove all dead plants.
 - Reinforcement Planting: Replace dead or missing plants in sufficient quantity to bring the total number of live plants to at least 75% of the number originally planted. If a particular species suffers unusually high mortality, replace with an alternate plant type.
 - Miscellaneous: Fertilization or watering during years 1 through 3 will be done on an as-needed basis. Special return operations or recommendations will be conducted on an as-needed basis. Remove perimeter fencing and signage after year 5 based on the date planted.



Prince George's County Planning Department, M-NCPPC Environmental Planning Section TREE CONSERVATION PLAN APPROVAL			
Approved by	Date	DRD #	Reason for Revision
00 John P. Markovich	10-21-04		Timber harvest
01 Robert E. Metzger	10-06-05	DSP-04080	Whole site infrastructure
02 Kalina Shoulars	8-31-07	DSP-04080/01	Some dms, retaining wall & welcome center
03 Kalina Shoulars	12-28-07	DSP-04080/02	Minor Revisions
04 Megan K. Reiser	12-28-16	DSP-04080/18	Develop Parcel 20 and Parcel 22
05 <i>Blue Shoulars</i>	11/17/2019	DSP-04080/22	Develop Parcel 28 Auto Spa
06			

TREE CONSERVATION PLAN - TYPE II
FOR
ROUGH GRADING & INFRASTRUCTURE
LANDS OF
RITCHIE HILL, LLC, et al.
**RITCHIE STATION
MARKETPLACE**
MELWOOD DISTRICT No. 15
PRINCE GEORGE'S COUNTY, MARYLAND

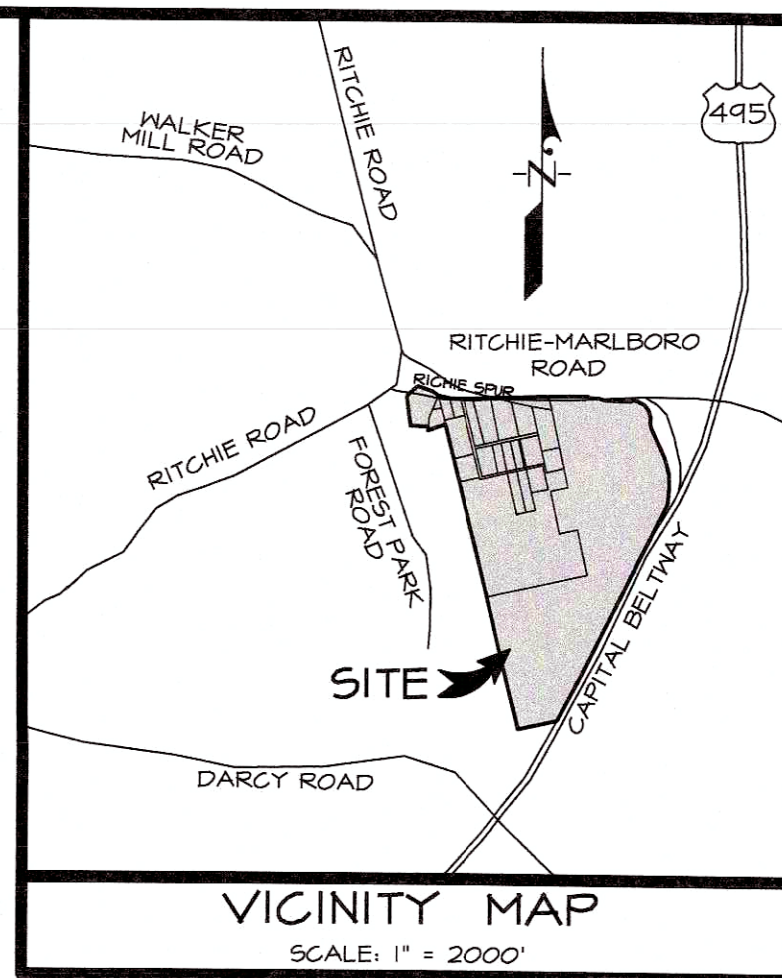
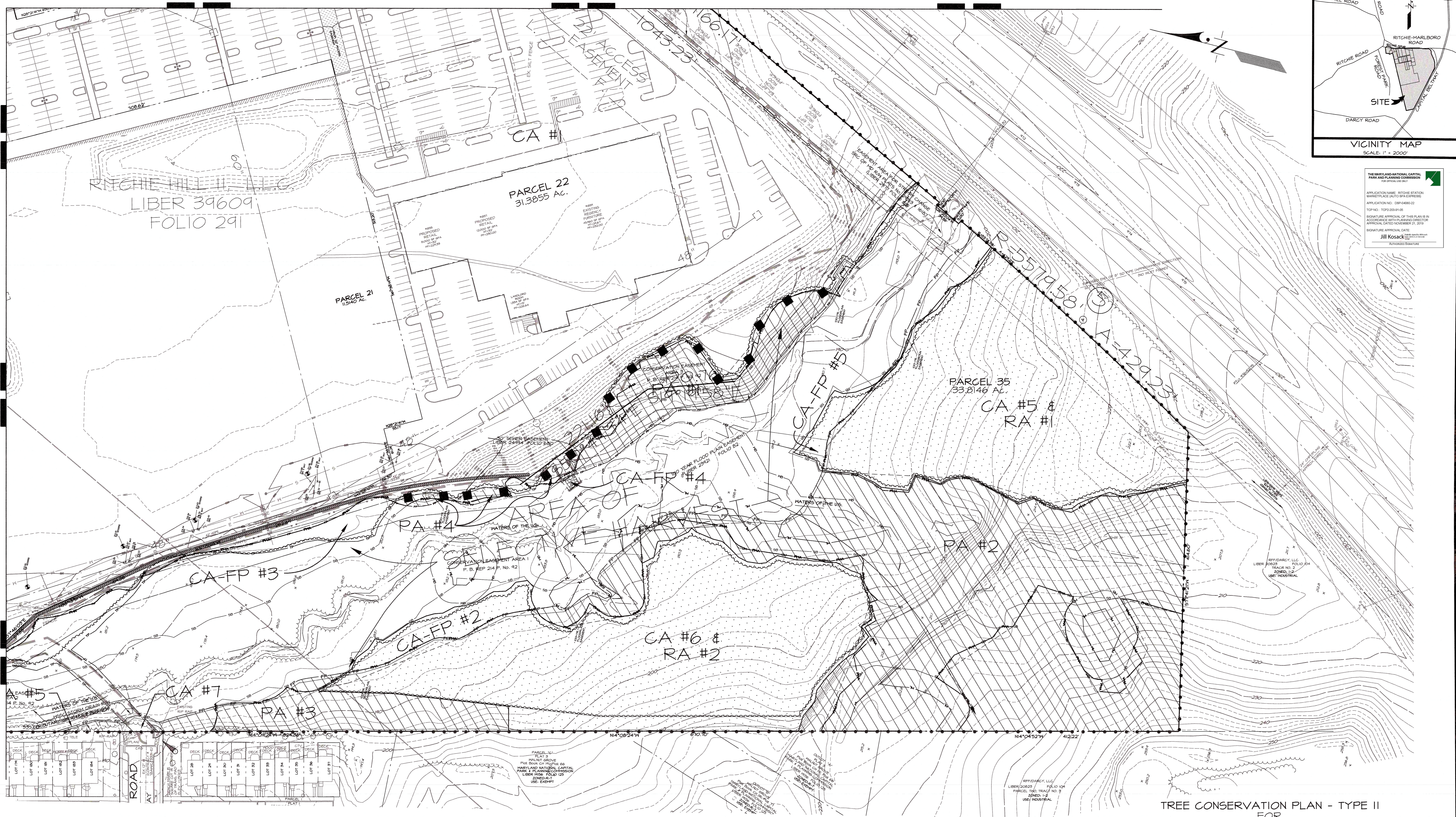
GRAPHIC SCALE 1" = 50'



OWNER/DEVELOPER
RITCHIE HILL LLC
4640 FORBES BOULEVARD
LANHAM, MARYLAND 20706-4323

DATE	REVISIONS DESCRIPTION	BY
10/28/19	Revised to add Parcel 28 Auto Spa	PCN

DATE	REVISIONS DESCRIPTION	BY
10/28/19	Revised to add Parcel 28 Auto Spa	PCN
12/13/07	Revised for DSP-04080/01 and to update the current layout and parcels	PCN
7/4/07	Revised for Lot 4 layout DSP-04080/01	MR
9/26/06	Revised to include Phase 2 rough grading	MR
9/19/05	Revised to address MNCPPC EFS concerns	MR
1/22/05	Revised to address MNCPPC EFS resolution comments and to reflect revised floodplain study information	MR
10/28/19	Revised to add Parcel 28 Auto Spa	PCN



THE MARYLAND NATIONAL CAPITAL PARK AND PLANNING COMMISSION
FOR OFFICIAL USE ONLY

APPLICATION NAME: RITCHIE STATION MARKETPLACE (A/D/3) (BDAI DWG. NO. 54.010-Z)
APPLICATION NO.: DSP-04080-02
TOP NO.: TOP-020-01-05
SIGNATURE APPROVAL OF THIS PLAN IS IN ACCORDANCE WITH THE MARYLAND COMAR 21.01.01, 2019
SIGNATURE APPROVAL DATE:
Jill Kosack
Authorized Signature

MATCH LINE "B-B" (SEE SHEET 2 OF 5, BDAI DWG. NO. 54.008-Z)

LEGEND

PROPERTY BOUNDARY	---	EX. WETLAND BUFFER (25')	WB
EX. CONTOUR	---	EX. FLOODPLAIN	FP
PROP. CONTOUR	---	PRESERVATION AREA	PA
EX. TREELINE (BEFORE TIMBER HARVEST)	---	REFORESTATION AREA	RA
EX. TREELINE (AFTER TIMBER HARVEST)	---	TREE PROTECTION SIGN	TP
LOD (ULTIMATE LIMITS)	---	TREE PROTECTION FENCE	TF
PRIMARY MANAGEMENT AREA (PMA)	PMA	PROJECT PHASE LINE	PL
WATERS OF THE U.S.	WU	65 dBA Ldn NOISE CONTOUR	NC
NONTIDAL WETLAND	NW	EX. ZONE	---

PRE-CONSTRUCTION ACTIVITIES

- Prior to any disturbance of the site, the tree save lines shall be field located by surveying techniques and the appropriate tree protective device (see detail) shall be erected along these designated lines. Only after the tree protective devices have been installed shall any tree cutting or other clearing, grubbing or grading operations begin. All protection devices shall remain in place until all construction has ceased in the immediate vicinity. Devices shall be maintained throughout construction. Attachment of signs, or any other objects, to trees is prohibited. No equipment, machinery, vehicles, materials or excessive pedestrian traffic shall be allowed within protected areas.
- After the boundaries of the retention area have been staked and flagged and before any disturbance has taken place on site, a pre-construction meeting at the construction site shall take place. The developer, contractor or project manager, and appropriate local inspectors shall attend.
- Reforestation planting shall be done after the final grading is established, stabilized and approved by SCD. Reforestation techniques and methods must comply with the details and specifications provided herein.

OWNER/DEVELOPER

RITCHIE HILL, LLC
4640 FORBES BOULEVARD
LANHAM, MARYLAND 20706-4323

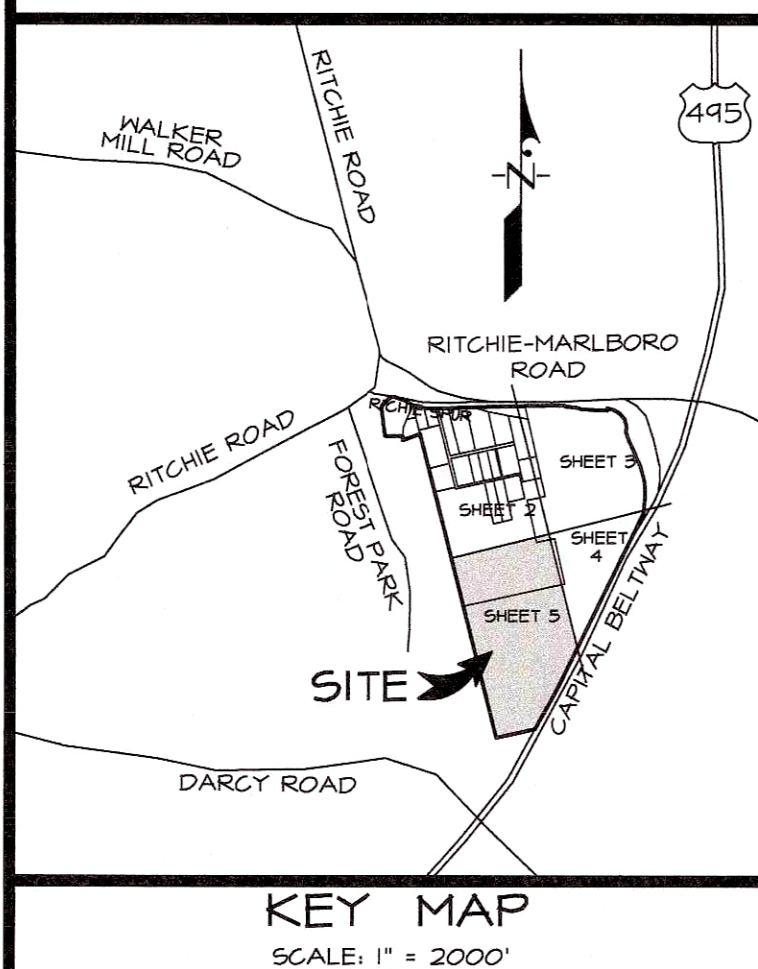
TREE CONSERVATION PLAN - TYPE II
FOR
ROUGH GRADING & INFRASTRUCTURE 4
LANDS OF
RITCHIE HILL, LLC, et al.
RITCHIE STATION MARKETPLACE
MELWOOD DISTRICT No. 15
PRINCE GEORGE'S COUNTY, MARYLAND

GRAPHIC SCALE 1" = 50'
0 50 100 150

Prince George's County Planning Department, M-NCPPC Environmental Planning Section TREE CONSERVATION PLAN APPROVAL TCP 2 - 203 - 91			
Approved by	Date	DRD #	Reason for Revision
00 John P. Markovich	10-21-04		Timber harvest
01 Robert E. Metzger	10-06-05	DSP-04080	Whole site infrastructure
02 Katrina Shauls	8-31-07	DSP-04080/01	Sans club, retaining wall & welcome center
03 Katrina Shauls	12-28-07	DSP-04080/02	Minor Revisions
04 Megan K. Reiser	12-28-16	DSP-04080/18	Develop Parcel 20 and Parcel 22
05		DSP-04080/22	Develop Parcel 28 Auto Spa
06			

DATE	REVISIONS DESCRIPTION	BY
10/28/19	Revised to add Parcel 28 Auto Spa	FCN

TCP SHEET 5 OF 5 MNSC 2007 SHEET SERIES 203 SE B		ADG MAP BK LOCATION 19 G-74B AND H-74B	
DATE	REVISIONS DESCRIPTION	DATE	REVISIONS DESCRIPTION
10/21/16	Revised for DSP-04080/18 and to update the current layout and parcels	10/21/16	Revised for DSP-04080/18 and to update the current layout and parcels
12/13/01	Revised for Loc 4 layout DSP-04080/01	12/13/01	Revised for Loc 4 layout DSP-04080/01
7/19/01	Revised per PSCPB No. 01-95 resolution for DSP-04080/02	7/19/01	Revised per PSCPB No. 01-95 resolution for DSP-04080/02
9/26/06	Revised to include Phase 2 rough grading	9/26/06	Revised to include Phase 2 rough grading
9/19/05	Revised to address MNCPPC EPPS concerns	9/19/05	Revised to address MNCPPC EPPS concerns
7/22/05	Revised to address MNCPPC EPPS resolution comments and to reflect revised floodplain study information	7/22/05	Revised to address MNCPPC EPPS resolution comments and to reflect revised floodplain study information
10/28/19	Revised to add Parcel 28 Auto Spa	10/28/19	Revised to add Parcel 28 Auto Spa

74
82

1721 WOODMERE ROAD, SUITE 200
MITCHELLVILLE, MARYLAND 20701
BEN DYER ASSOCIATES, INC.
Engineers / Surveyors / Planners
TELEPHONE (301) 430-2000
COPYRIGHT © 2006 BEN DYER ASSOCIATES, INC.
THIS IS A PRELIMINARY DRAWING
SCALE 1" = 50' DRAWING NO. J-97064
DATE 12/28/2019