

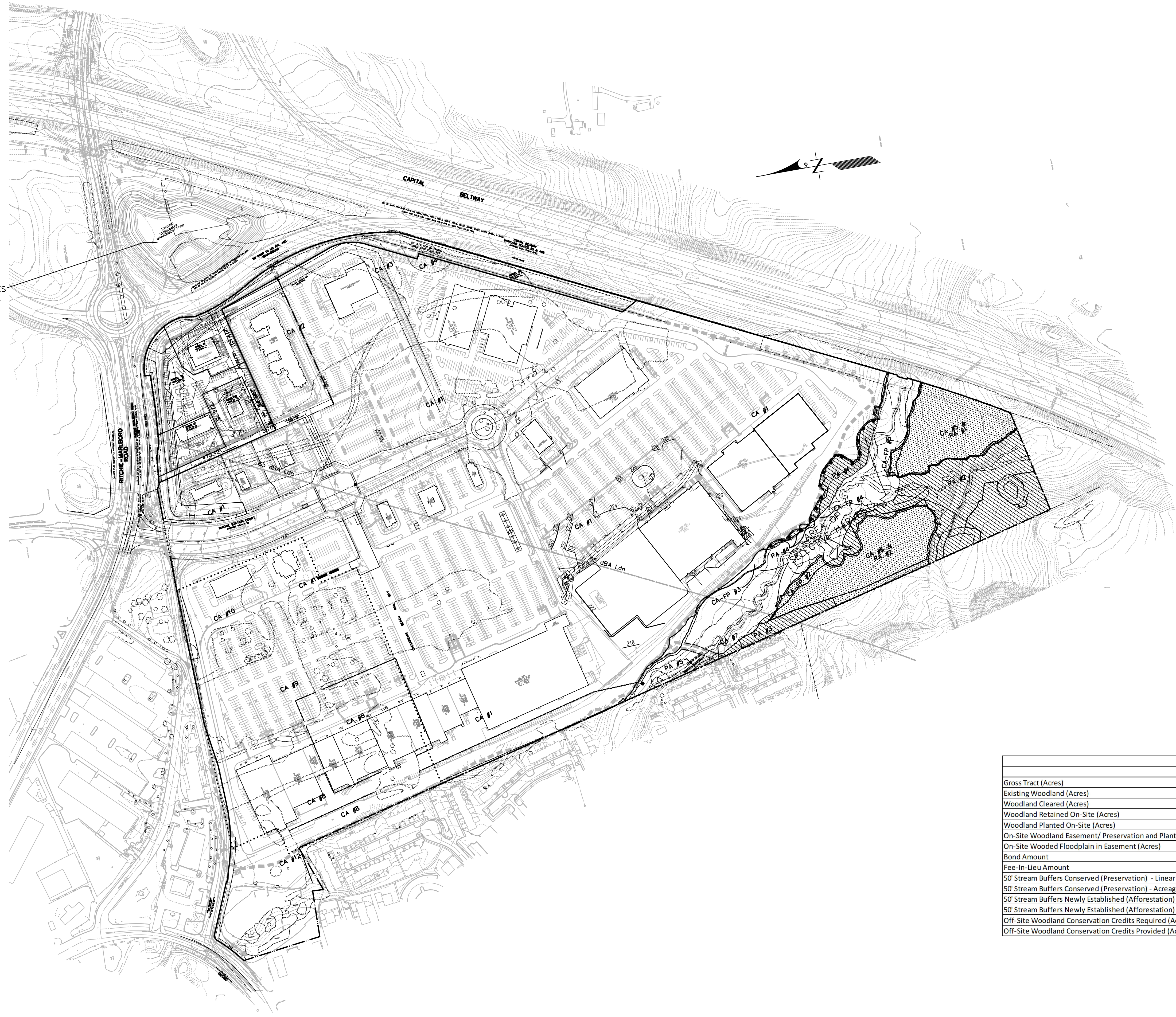
WOODLAND CONSERVATION WORKSHEET FOR PRINCE GEORGE'S COUNTY, MARYLAND
ZONE: C-S-C C-M
GROSS TRACT: 105.34 16.32
FLOODPLAIN: 5.87 0.00
PREVIOUSLY DEDICATED LAND:
NET TRACT (NTA): 99.47 16.32

PROPERTY DESCRIPTION OR SUBDIVISION NAME: Ritchie Station Marketplace
BREAK-EVEN POINT (PRESERVATION ACRES): 31.50
ACRES OF NET TRACT CLEARING PERMITTED W/O REFORESTATION: 56.52

WOODLAND CONSERVATION REQUIREMENT CALCULATIONS:
EXISTING WOODLAND ON NET TRACT (ACRES): 88.02
EXISTING WOODLAND IN FLOODPLAIN (ACRES): 5.87
WOODLAND CONSERVATION THRESHOLD (NTA) = 15.00% 17.37
SMALLER OF A OR C 17.37
WOODLAND ABOVE WCT 20.65

PHASE:	PHASE I	PHASE II	TOTAL
GROSS TRACT AREA	101.83	19.83	121.66
FLOODPLAIN AREA IN THE APPLICATION:	5.87	0.00	5.87
NET TRACT AREA IN THE APPLICATION:	95.96	19.83	115.79
WOODLAND ON THE NET TRACT FOR THE PHASE:	80.23	7.79	88.02
WOODLAND IN THE FLOODPLAIN FOR THE PHASE:	5.87	0.00	5.87
WOODLAND CLEARED ON NET TRACT FOR THE PHASE:	71.53	7.79	79.32
WOODLAND CLEARED IN FLOODPLAIN FOR THE PHASE:	0.75	0.00	0.75
OFF-SITE WOODLAND CLEARING (1:1):	0.00	0.00	0.00
OFF-SITE MITIGATION PROVIDED ON THIS PROPERTY:	0.00	0.00	0.00
CUMULATIVE ACRES OF NET TRACT WOODLAND CLEARED:	71.53	79.32	
CUMULATIVE ACRES OF FLOODPLAIN WOODLAND CLEARED:	0.75	0.75	
SMALLER OF D OR E:	70.65	70.65	
WOODLAND CLEARING BELOW WCT:	0.88	8.67	
REPLACEMENT FOR CLEARING ABOVE THE WCT (0.25:1):	17.66	17.66	
REPLACEMENT FOR CLEARING BELOW THE WCT (2:1):	1.76	17.35	
AFFORESTATION THRESHOLD (AFT)	= 12.89%	0.00	0.00
CUMULATIVE WOODLAND CONSERVATION REQUIRED:	36.66	44.45	
LATEST PHASE INDICATES CUMULATIVE REQUIREMENT THROUGH THAT PHASE OF WORK			
WOODLAND CONSERVATION PROVIDED:			TOTAL
PRESERVATION	5.26	0.00	5.26
REFORESTATION	5.09	0.00	5.09
AFFORESTATION	0.00	0.00	0.00
AREA APPROVED FOR FEE-IN-LIEU	0.00	0.00	0.00
CREDIT FOR OFF-SITE MITIGATION ON ANOTHER PROPERTY	29.00	7.86	36.86
OFF-SITE MITIGATION PROVIDED ON THIS PROPERTY	0.00	0.00	0.00
TOTAL WOODLAND CONSERVATION PROVIDED	39.35	47.21	47.21

Off-site woodland conservation credits have been met as follows:
—14.98 acres of credit met at the Windsor Property Woodland Conservation Bank and recorded in the land records at L. 28428 F. 541
—14.77 acres of credit met at the Hommett Property Woodland Conservation Bank and recorded in the land records at L. 28473 F. 174
—11.11 acres of credit met at the Dorville Estates Woodland Conservation Bank and recorded in the land records at L. 28428 F. 539



Forest Conservation Act Reporting Information (Change Table)			
	Original Approval	Revision Number (-36)	Revision Number (-07)
Gross Tract (Acres)	121.66	121.66	121.66
Existing Woodland (Acres)	93.89	93.89	14.57
Woodland Cleared (Acres)	0	79.32	0
Woodland Retained On-Site (Acres)	93.89	14.57	14.57
Woodland Planted On-Site (Acres)	0	5.09	5.09
On-Site Woodland Easement/ Preservation and Planting (Acres)	0	0	0
On-Site Wooded Floodplain in Easement (Acres)	5.87	5.87	5.87
Bond Amount	n/a	n/a	n/a
Fee-In-Lieu Amount	n/a	n/a	n/a
50 Stream Buffers Conserved (Preservation) - Linear Length	5,388 LF	5,388 LF	5,388 LF
50 Stream Buffers Conserved (Preservation) - Acreage	7.8 AC	7.8 AC	7.8 AC
50 Stream Buffers Newly Established (Afforestation) - Linear Length	n/a	n/a	n/a
50 Stream Buffers Newly Established (Afforestation) - Acreage	n/a	n/a	n/a
Off-Site Woodland Conservation Credits Required (Acres)	0	36.86	36.86
Off-Site Woodland Conservation Credits Provided (Acres)	0	0	0

FLOODPLAIN CLEARING AREAS (CA-FP)		CLEARING AREAS (CA) PHASE II		REFORESTATION AREAS (RA)	
No.	AREA (AC)	No.	AREA (AC)	No.	AREA (AC)
1	0.29	8	4.12	1	2.44
2	0.21	9	2.03	2	2.65
3	0.16	10	1.05	TOTAL	5.09
4	0.01	11	0.59		
5	0.08	TOTAL	7.79		
TOTAL	0.75				

RITCHIE HILL PRE AND POST HARVESTING SUMMARY			
	PHASE I	PHASE II (REMAINDER)	ENTIRE SITE
GROSS TRACT	101.83	19.83	121.66
EX. FLOODPLAIN	5.87	0	5.87
NET TRACT	95.96	19.83	115.79
EX. WOODLAND - NET TRACT (PRIOR TO TIMBER HARVEST)	80.23	7.79	88.02
EXISTING WOODLAND - NET TRACT (AFTER TIMBER HARVEST)	6.85	2.15	9.00
WOODED FLOODPLAIN (PRIOR TO TIMBER HARVEST)	5.87	0	5.87
WOODED FLOODPLAIN (AFTER TIMBER HARVEST)	5.30	0	5.30

OWNER/DEVELOPER
RITCHIE HILL LLC
4640 FORBES BOULEVARD
LANHAM, MARYLAND 20706-4323

02-27-23	Revised to Update Parcels 35-38	SAC
07/23/21	Revised to Update Parcels 21, 22 & 29	PBW
01/15/20	Revised to update Parcels 21, 22 & 23	PCN
10/28/19	Revised to add Parcel 28 Auto Spa	PCN
10/20/16	Revised for DSP-04080/18 and to update the current layout and parcels	PCN
DATE	REVISIONS DESCRIPTION	BY

TOP SHEET 1 OF 5
WSSC 200' SHEET SERIES 203 SE 8
ADC MAP BK LOCATION 19 G-748 AND H-748

12/13/07	Revised for Lot 4 layout/ DSP-04080/01	MR
7/9/07	Revised per PGCPB No. 07-35 resolution for DSP-04080/02	MR
9/26/06	Revised to include Phase 2 rough grading	MR
9/19/05	Revised to address MNCPPC EPS concerns	MR
7/22/05	REMOVED TO ADDRESS MNCPPC EPS RESOLUTION COMMENTS AND TO REFLECT REVISED FLOODPLAIN STUDY INFORMATION	MR
DATE	DESCRIPTION	BY
10/20/16	Revised for DSP-04080/18 and to update the current layout and parcels	PCN
DATE	REVISIONS DESCRIPTION	BY

Prince George's County Planning Department, M-NCCPC Environmental Planning Section TREE CONSERVATION PLAN APPROVAL TCP II - 203 - 91			
Approved by	Date	DRP #	Reason for Revision
00 John P. Markovich	10-21-04	N/A	Timber Harvest
01 Robert E. Metzger	10-06-05	DSP-04080	Whole site understructure
02 Katina Shoulars	8-31-07	DSP-04080/01	Sans club, retaining wall & welcome center
03 Katina Shoulars	12-28-07	DSP-04080/02	Minor Revisions
04 Megan K. Reiser	12-28-15	DSP-04080/18	Develop Parcel 20 and Parcel 22
05 Chuck Schneider	11-19-19	DSP-04080/22	Develop Parcel 28 Auto Spa
06 Chuck Schneider	09-11-20	DSP-04080/23	Update Parcels 21, 22 & 23
07 Alexander Vashchenko	11-20-23	DSP-04080/28	Develop Parcel 35-38

TREE CONSERVATION - TYPE II
FOR
RITCHIE STATION
MARKETPLACE
MELWOOD DISTRICT No.15
PRINCE GEORGE'S COUNTY, MARYLAND

GRAPHIC SCALE 1"=200'
0 200' 400' 600'

ATWELL
666-850-0000 www.atwellinc.com
18751 WOODHIRE RD., SUITE 200
MITCHELLVILLE, MD 20717
301-430-2000
DESIGNED BY: DEAN B. BYRNE
SCALE: 1"=200'
DATE: OCTOBER 2023
J-97064
54.007-Z

MATCH LINE " A-A " (SEE SHEET 3 OF 5, BDAI DWG. NO. 54.009-Z)

MATCH LINE " B-B " (SEE SHEET 5 OF 5, BDAI DWG. NO. 54.011-Z)

VICINITY MAP

SCALE: 1" = 2000'

KEY MAP

SCALE: 1" = 2000'

LEGEND

PROPERTY BOUNDARY	---
EX. CONTOUR	---
PROP. CONTOUR	---
EX. TREELINE (BEFORE TIMBER HARVEST)	---
EX. TREELINE (AFTER TIMBER HARVEST)	---
LOD (ULTIMATE LIMITS)	---
PRIMARY MANAGEMENT AREA (PMA)	---
WATERS OF THE U.S.	---
NONTIDAL WETLAND	---
EX. WETLAND BUFFER (25')	---
EX. FLOODPLAIN	---
PRESERVATION AREA	---
REFORESTATION AREA	---
TREE PROTECTION SIGN	---
TREE PROTECTION FENCE	---
PROJECT PHASE LINE	---
65 dBA Ldn NOISE CONTOUR	---
EX. ZONE	---

OWNER/DEVELOPER

ITCHIE HILL LLC
4640 FORBES BOULEVARD
LANHAM, MARYLAND 20706-4323

Prince George's County Planning Department, M-NCPPC Environmental Planning Section TREE CONSERVATION PLAN APPROVAL TCP II - 203 - 91

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07 Chuck Schneider	09-11-20	DSP-04080/21	Update Parcels 21, 22 & 23
08 Alexander Kunkley	11-28-2023	DSP-04080/26	Develop Parcel 35-38

TREE CONSERVATION - TYPE II FOR RITCHIE STATION MARKETPLACE

MELWOOD DISTRICT No.15
PRINCE GEORGE'S COUNTY, MARYLAND

GRAPHIC SCALE 1"=50'

0 50' 100' 150'

TCP SHEET 2 OF 5
WDC 200' SHEET SERIES 203 SE 8 ADC MAP BK LOCATION 19 G-7&8 AND H-7&8

DATE	DESCRIPTION	BY	DATE	DESCRIPTION	BY
02-27-23	Revised to Update Parcels 35-38	SAC	12/13/07	Revised for Lot 4 layout / DSP-04080/01	MR
07/23/21	Revised to Update Parcels 21, 22 & 29	FBW	7/9/07	Revised per PGCPB No. 07-35 resolution for DSP-04080/02	KM
01/15/20	Revised to Update Parcels 21, 22 & 23	PCN	9/26/06	Revised to include Phase 2 rough grading	MR
10/28/19	Revised to add Parcel 28 Auto Spa	PCN	9/19/05	Revised to address MNCPPC EPS concerns	MR
10/20/16	Revised for DSP-04080/18 and to update the current layout and parcels.	PCN	7/22/05	Revised to address MNCPPC EPS RESOLUTION COMMENTS AND TO REFLECT REVISED FLOORPLAN STUDY INFORMATION.	MR
DATE	REVISIONS DESCRIPTION	BY	DATE	DESCRIPTION	BY

ATWELL
866.850.4200
11721 WOODBURN RD, SUITE 200
RITCHIE HILL, MD 20706

J-97064

DATE: OCTOBER 2023

54.008-Z

GENERAL NOTES FOR TREE CONSERVATION TYPE II

- Any tree cutting or clearing on this site not in conformance with this plan or without the expressed written consent of the Planning Director or designee, shall be subject to the mitigation fee of \$1.50 per square foot of woodland damaged or destroyed.
- The Department of Environmental Resources (DER) Inspectors Office, must be contacted prior to the start of any work on the site to address implementation of Tree Conservation Measures shown on this plan.
- Property owners shall be notified by the Developer or Contractor, of any Woodland Conservation Areas (Tree Save Areas, Reforestation Areas, Afforestation Areas or Selective Clearing Areas) located on their lot or parcel of land and the associated fines for unauthorized disturbances in these areas.
- All appropriate bonds will be posted with the Building Official prior to the issuance of any permits. These bonds will be retained as surety by the Building Official until all required activities have been satisfied. Three copies of the bonds are submitted with the grading permit application.
- The location of all Tree Protection Devices (TPD's) shown on this Plan, shall be flagged or staked in the field prior to the pre-construction meeting with the DER Inspectors. Upon approval of the flagged or staked TPD locations by the Inspector, installation of the TPD's may begin. TPD installation shall be completed prior to installation of initial sediment controls. No cutting or clearing of trees may begin before final approval of the TPD installation.
- All field personnel, including equipment operators and supervisors who might work or direct work in the vicinity of protected trees are to be instructed in techniques for avoiding damage to these trees.
- The layout of the construction site shall provide for special, marked areas for fueling, oil changing and equipment maintenance, employee parking and for materials storage and stockpiling. These areas shall be located as to prevent the deposit of silt or the washing or leaching of petroleum products or other harmful substances, into the tree save areas.
- The following are not allowed within a tree save area:
 - Depositing of refuse, construction debris, spoil, petroleum products and vehicle or equipment waste water.
 - Dumping of limbs, stumps, and other clearing debris.
 - Driving of any vehicle or equipment.
 - Storage or stockpiling of materials and supplies.
 - Lighting of any fire, including cooking or warming fires.
- Woodland Conservation - Tree Save Areas and/or Reforestation shall be posted as shown at the same time as the Tree Protective Device installation and/or start of reforestation activities. These signs shall remain in place for five years after completion of work.

PLANTING SPECIFICATIONS FOR RE/AFFORESTATION AREAS

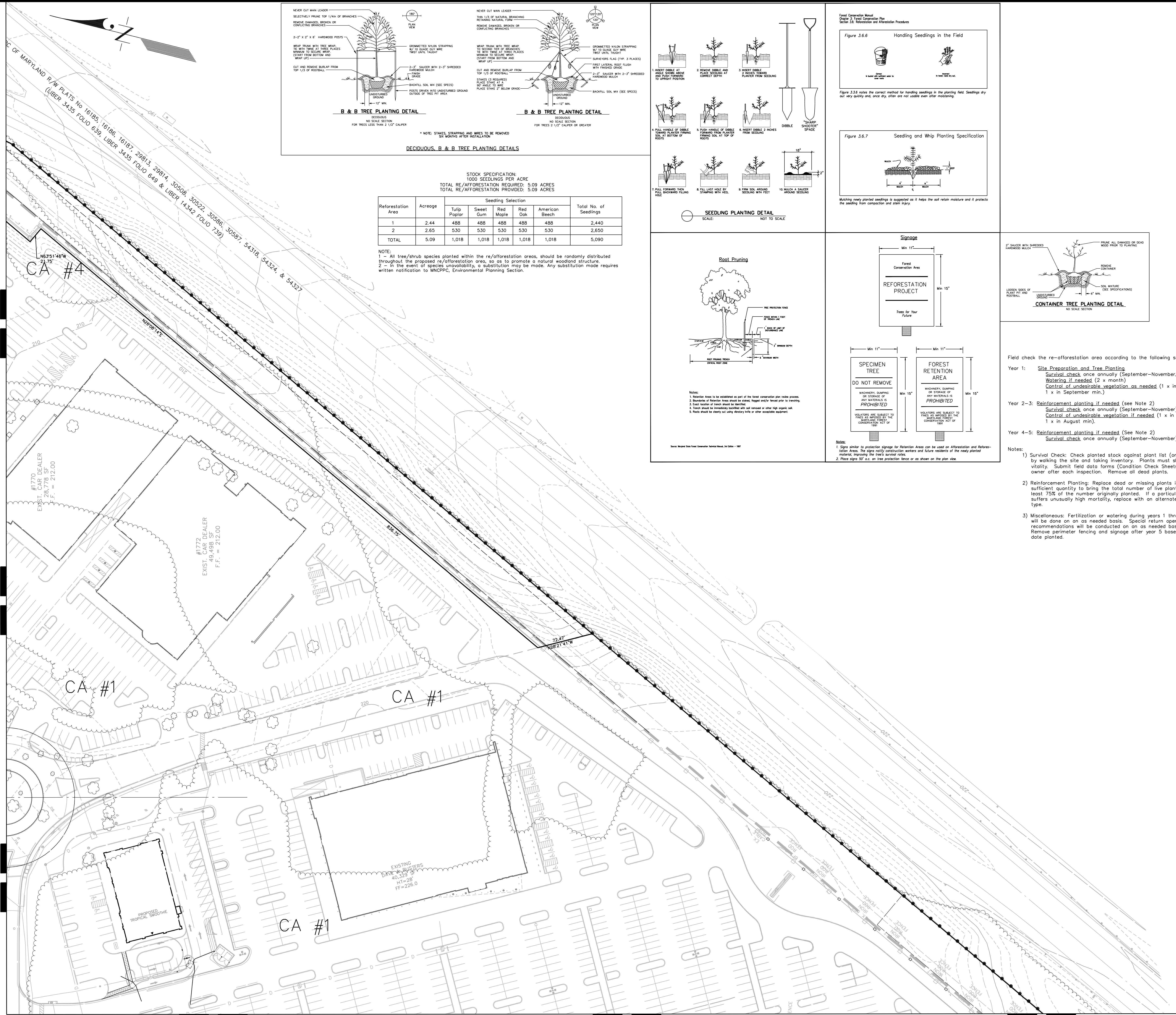
- Quantity: (see Plant Schedule)
- Type: (see Plant Schedule)
- Plant Quality Standards: The plants selected shall be healthy and sturdy representatives of their species. Seedlings shall have a minimum top growth of 18". The diameter of the root collar (the part of the root just below ground level) shall be at least 3/8". The roots shall be well developed and at least 4" long. No more than twenty-five percent (25%) of the root system (both primary and auxiliary/fibrous) shall show evidence of being cut (pruned) or stripped from the plant during the digging process. Substantial auxiliary/fibrous roots shall be present.
- Timing of Planting: The best time to plant seedlings is while they are dormant, prior to spring budding. The most suitable months for planting are March and April, when the soil is moist. November and early December are also acceptable planting times for this region as cool and cloudy weather is considered ideal. Planting shall occur within one growing season of the issuance of grading/building permits and/or reaching the final grades and stabilization of planting areas.
- Seeding Planting: Tree seedlings can be hand planted using a dibble bar or sharp-shooter shovel. It is important that the seedling be placed in the hole so that the roots can spread out naturally; they should not be twisted, balled up, or bent. Moist soil should then be packed firmly around the roots. Seedlings should be planted at a depth where their roots collar is just below the ground surface. Air pockets should not be left after closing the hole which would allow the roots to dry out. See planting details for further explanation. If the contractor wishes to plant by another method, the preparer of this tree conservation plan must be contacted and give his approval before planting may begin.
- Soil: Upon the completion of all grading operations, a soil test shall be conducted to determine what soil preparation and soil amendments, if any, are necessary to create good tree growing conditions. Soil samples shall be taken at a rate that provides one soil sample for each area that appears to have a different soil type (if the entire area appears uniform, then only one sample is necessary), and submitted for testing to a private company.
- Soil Improvement Measures: The soil shall then be improved according to the recommendations made by the testing company.
- Fencing & Signage: Final protective fencing shall be placed on the visible and/or development side of planting areas. The protective fence shall be installed upon completion of planting operations. Signs shall be posted per the signage detail on this sheet.
- Planting Method: Consult the Planting Detail(s) shown on this plan.
- Mulching: Apply 2" thick layer of woodchip or shredded hardwood mulch (as noted) to each planting site (see detail shown on this plan).
- Groundcover Establishment: The remaining disturbed area between seedling planting sites shall be seeded and stabilized with white clover seed at the rate of 5lbs./acre.
- Mowing: No mowing shall be allowed in any planting area.
- Survival Check for Bond Release: The seedling planting is to be checked at the end of each year for two years to assure that no less than 75% of the original planted quantity survives.
- Source of Seedlings: Md. Forest, Park and Wildlife Service in Bowie, Md.; Phone (301) 464-3065. Ruppert Nurseries, Inc., Laytonville, Maryland; Phone: (301)-482-0300.

The company of choice shall make recommendations for improving the existing soil. The soil will be tested and recommended for corrections of soil texture, pH, magnesium, phosphorous, potassium, calcium and organic matter.



10/1/2025	10/1/2025
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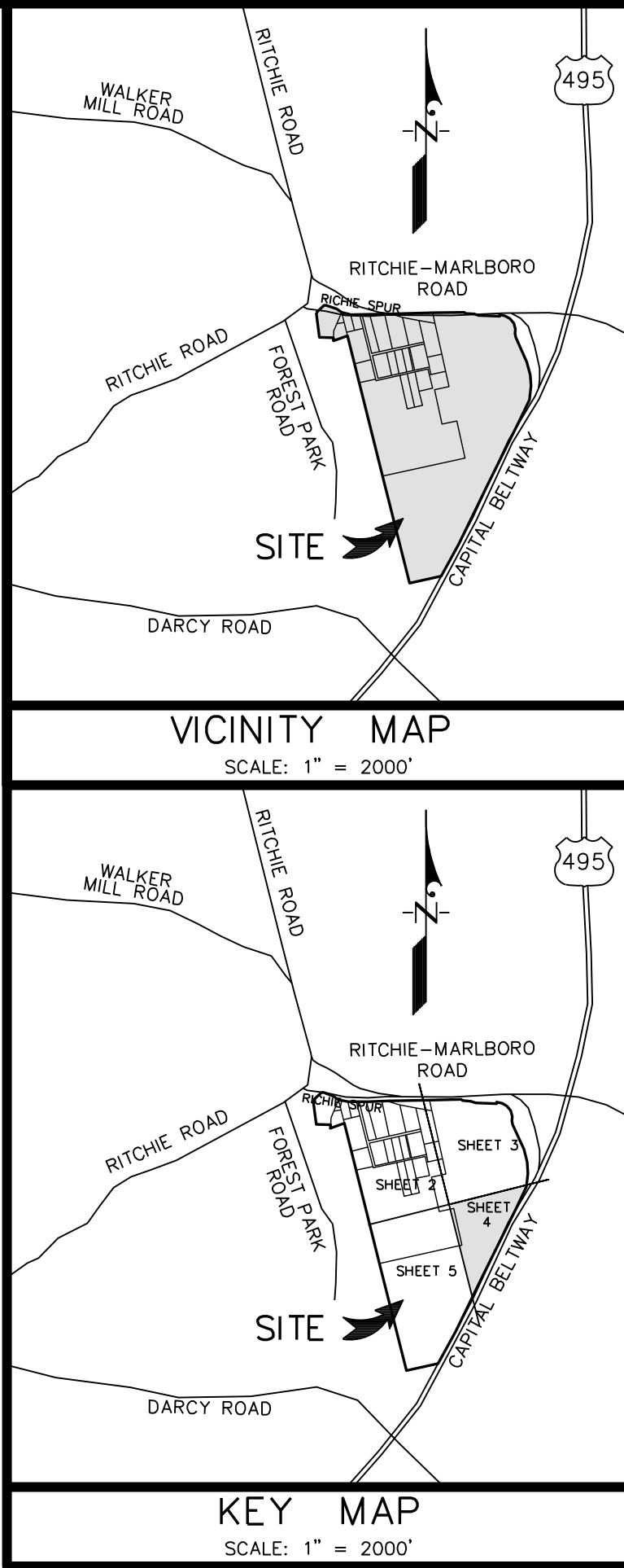
MATCH LINE " C-C " (SEE SHEET 3 OF 5, BDAI DWG. NO. 54.009-Z)



MATCH LINE " D-D " (SEE SHEET 5 OF 5, BDAI DWG. NO. 54.011-Z)

LEGEND

- PROPERTY BOUNDARY
- EX. CONTOUR
- PROP. CONTOUR
- EX. TREELINE (BEFORE TIMBER HARVEST)
- EX. TREELINE (AFTER TIMBER HARVEST)
- LOD (ULTIMATE LIMITS)
- PRIMARY MANAGEMENT AREA (PMA)
- WATERS OF THE U.S.
- WETLAND
- EX. WETLAND BUFFER (25')
- EX. FLOODPLAIN
- PRESERVATION AREA
- REFORESTATION AREA
- TREE PROTECTION SIGN
- TREE PROTECTION FENCE
- PROJECT PHASE LINE
- 65 dBA Ldn NOISE CONTOUR
- EX. ZONE



Field check the re-afforestation area according to the following schedule:

- Year 1: Site Preparation and Tree Planting
Survival check once annually (September-November, see Note 1)
Watering if needed (2 x month)
Control of undesirable vegetation as needed (1 x in June & 1 x in September min.)
- Year 2-3: Reinforcement planting if needed (see Note 2)
Survival check once annually (September-November)
Control of undesirable vegetation as needed (1 x in May & 1 x in August min.)
- Year 4-5: Reinforcement planting if needed (see Note 2)
Survival check once annually (September-November)

- Notes:
- Survival Check: Check planted stock against plant list (or as-built) by walking the site and taking inventory. Plants must show vitality. Submit field data forms (Condition Check Sheets) to owner after each inspection. Remove all dead plants.
 - Reinforcement Planting: Replace dead or missing plants in sufficient quantity to bring the total number of live plants to at least 75% of the number originally planted. If a particular species suffers unusually high mortality, replace with an alternate plant type.
 - Miscellaneous: Fertilization or watering during years 1 through 3 will be done on an as needed basis. Special return operations or recommendations will be conducted on an as needed basis. Remove perimeter fencing and signage after year 5 based on the date planted.

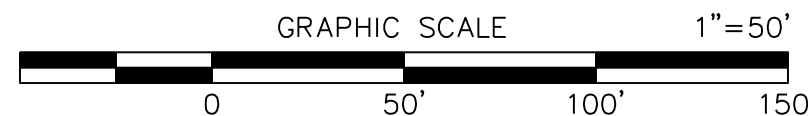
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
FOR OFFICIAL USE ONLY

APPLICATION NAME: RITCHIE STATION MARKETPLACE
APPLICATION NO.: DSP-04080-28
TCP NO.: TCP11-203-01-07

SIGNATURE APPROVAL OF THIS PLAN IS IN ACCORDANCE WITH PLANNING DIRECTOR APPROVAL DATED NOVEMBER 20, 2023.
SIGNATURE APPROVAL DATE: 11/20/23
A. L. Doran
AUTHORIZED SIGNATURE

Prince George's County Planning Department, M-NCPPC Environmental Planning Section TREE CONSERVATION PLAN APPROVAL TCP II - 203 - 91			
Approved by	Date	DRD #	Reason for Revision
00 John P. Markovich	10-21-04	N/A	Timber Harvest
01 Robert C. Metzger	10-08-05	DSP-04080	Whole site understructure
02 Katina Shoulters	8-31-07	DSP-04080/01	Sams club, retaining wall & welcome center
03 Katina Shoulters	12-28-07	DSP-04080/02	Minor Revisions
04 Megan K. Reiser	12-28-16	DSP-04080/18	Develop Parcel 20 and Parcel 22
05 Chuck Schneider	11-19-19	DSP-04080/22	Develop Parcel 28 Auto Spa
06 Chuck Schneider	09-11-20	DSP-04080/23	Update Parcels 21, 22 & 23
07 Alexander Givdof	11-29-2023	DSP-04080/26	Develop Parcel 35-38

TREE CONSERVATION - TYPE II FOR RITCHIE STATION MARKETPLACE MELWOOD DISTRICT No.15 PRINCE GEORGE'S COUNTY, MARYLAND



OWNER/DEVELOPER
RITCHIE HILL, LLC
4640 FORBES BOULEVARD
LANHAM, MARYLAND 20706-4323

DATE	REVISIONS DESCRIPTION	BY
02-27-23	Revised to Update Parcels 35-38	SAC
07/23/21	Revised to Update Parcels 21, 22 & 29	FBW
01/15/20	Revised to update Parcels 21, 22 & 23	PCN
10/28/19	Revised to add Parcel 28 Auto Spa	PCN
10/20/16	Revised for DSP-04080/18 and to update the current layout and parcels	PCN

TCP SHEET 4 OF 5
WISC 200' SHEET SERIES 203 SE 8
ADC MAP BK LOCATION 19 G-748 AND H-748

10/17/23
DATE
D. Hunter Michael
Qualified Professional
COMAR 08.19.06.01

12/13/07 Revised for Lot 4 layout/ DSP-04080/01
7/9/07 Revised per PGCPB No. 07-35 resolution for DSP-04080/02
9/26/06 Revised to include Phase 2 rough grading
9/19/05 Revised to address MNCPPC EPS resolution comments
7/22/05 Revised to address MNCPPC EPS resolution comments and to reflect revised floodplain study information.

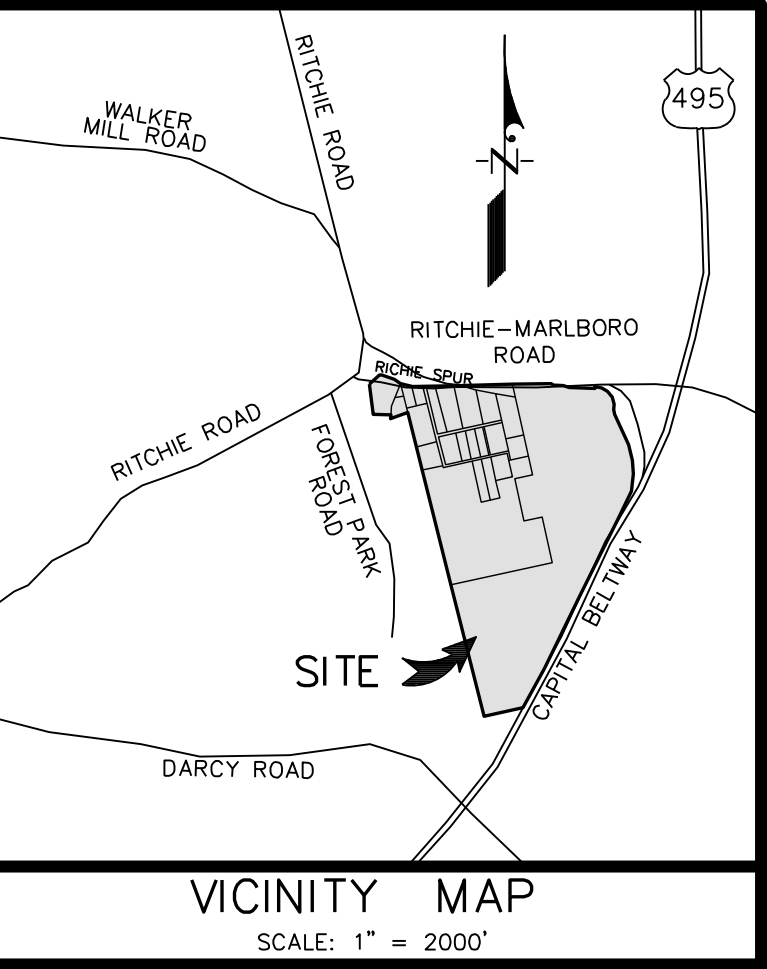
MR
SS
MR
KH
BY
DATE
OCTOBER 2023

MR
KM
MR
MR
BY
DATE
OCTOBER 2023

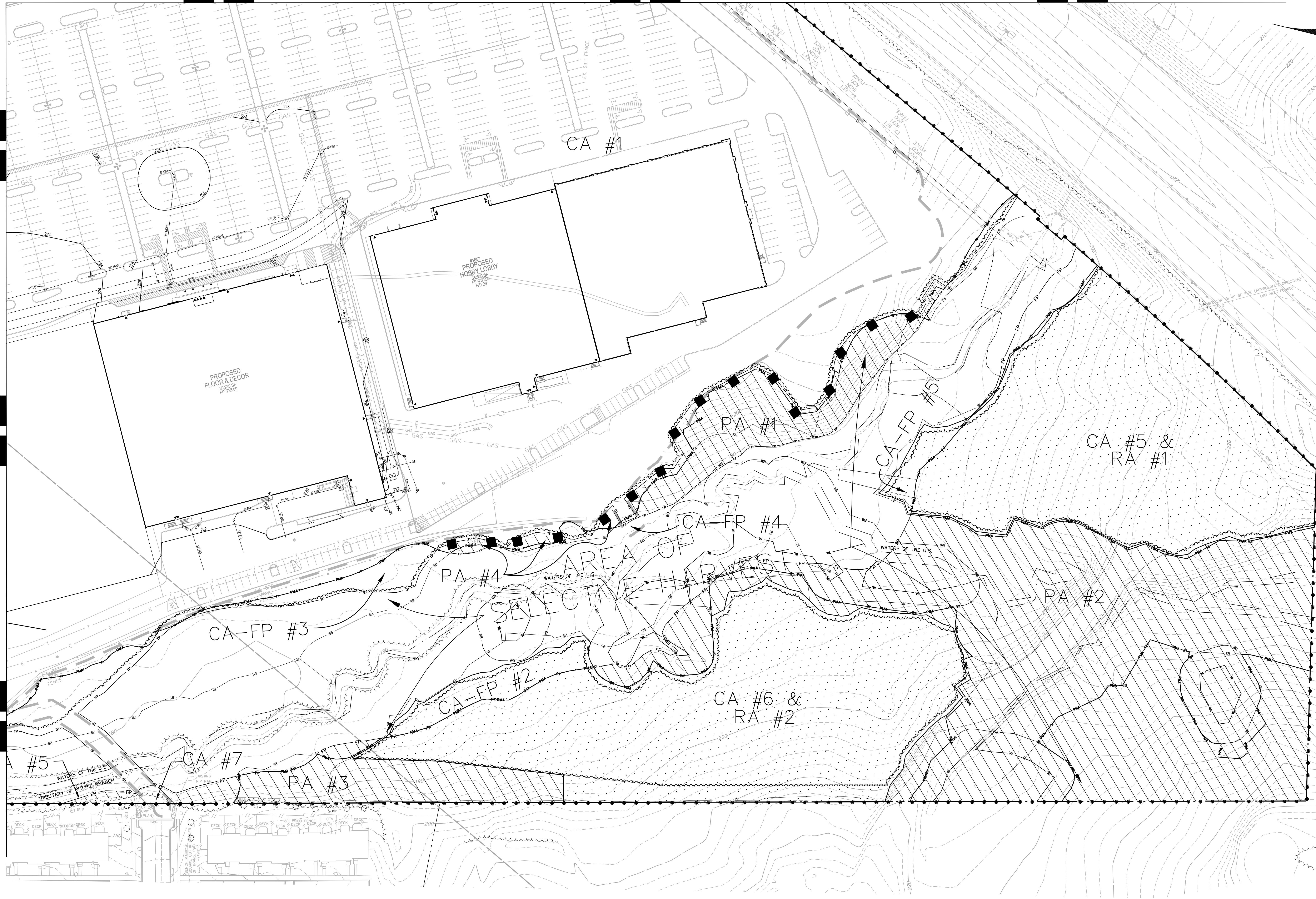
ATWELL
866.850.4200
11721 WOODHURST RD, SUITE 200
RITCHIEVILLE, MD 20701
301.430.0000

J-97064
54.010-Z

MATCH LINE " D-D " (SEE SHEET 4 OF 5, BDAI DWG. NO. 54.010-Z)



MATCH LINE " B-B " (SEE SHEET 2 OF 5, BDAI DWG. NO. 54.008-Z)



LEGEND

PROPERTY BOUNDARY
EX. CONTOUR
PROP. CONTOUR
EX. TREELINE (BEFORE TIMBER HARVEST)
EX. TREELINE (AFTER TIMBER HARVEST)
LOD (ULTIMATE LIMITS)
PRIMARY MANAGEMENT AREA (PMA)
WATERS OF THE U.S.
NONTIDAL WETLAND

EX. WETLAND BUFFER (25')
EX. FLOODPLAIN
PRESERVATION AREA
REFORESTATION AREA
TREE PROTECTION SIGN
TREE PROTECTION FENCE
PROJECT PHASE LINE
65 dBA Ldn NOISE CONTOUR
EX. ZONE

PRE-CONSTRUCTION ACTIVITIES

- Prior to any disturbance of the site, the tree save lines shall be field located by surveying techniques and the appropriate tree protective device (see detail) shall be erected along these designated lines. Only after the tree protective devices have been installed shall any tree cutting or other clearing, grubbing or grading operations begin. All protection devices shall remain in place until all construction has ceased in the immediate vicinity. Devices shall be maintained throughout construction. Attachment of signs, or any other objects, to trees is prohibited. No equipment, machinery, vehicles, materials or excessive pedestrian traffic shall be allowed within protected areas.
- After the boundaries of the retention area have been staked and flagged and before any disturbance has taken place on site, a pre-construction meeting of the construction site shall take place. The developer, contractor or project manager, and appropriate local inspectors shall attend.
- Reforestation planting shall be done after the final grading is established, stabilized and approved by SCD. Reforestation techniques and methods must comply with the details and specifications provided hereon.

OWNER/DEVELOPER

RITCHIE HILL LLC
4640 FORBES BOULEVARD
LANHAM, MARYLAND 20706-4323



TREE CONSERVATION - TYPE II

FOR

RITCHIE STATION

MARKETPLACE

MELWOOD DISTRICT No.15

PRINCE GEORGE'S COUNTY, MARYLAND

GRAPHIC SCALE 1"=50'

0 50' 100' 150'

Prince George's County Planning Department, M-NCPPC Environmental Planning Section TREE CONSERVATION PLAN APPROVAL TCP II - 203 - 91				
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TCP SHEET 5 OF 5
WDCS 200' SHEET SERIES 203 SE 8
ADC MAP BK LOCATION 19 G-7&8 AND H-7&8

10/17/23
DATE
D. Hunter Michael
Qualified Professional
COMAR 08.19.06.01

7/9/07
7/26/06
9/19/05
7/22/05

Revised for L&L layout/ DSP-04080/01
Revised to include Phase 2 rough grading
Revised to address MNCPPC EPS concerns
REVISED TO ADDRESS MNCPPC EPS RESOLUTION COMMENTS AND TO REFLECT REVISED FLOODPLAIN STUDY INFORMATION.

MR
MR
MR
MR

SS
MR
KH

DATE
OCTOBER 2023

REVISIONS

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